

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0303477
Insp Area: 4
Thos Bros: 257-A5

Site Address: 2354 BAYLESS WY SAC
Parcel No: 201-0740-067
Housing (Y/N):

RYLAND GARDENS/N'BOROUGH II LOT G LOT 67
N

Sub-Type: NSFR

CONTRACTOR
RYLAND HOMES
1380 LEAD HILL BLVD. STE 108
ROSEVILLE CA. 95661

OWNER

ARCHITECT

Nature of Work: MP1541 2 STORY 6 ROOM SFR

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 054648 Date 3.25.03 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 3.25.03 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier AMERICAN HOME ASSURANCE Policy Number AOS WC7085227 Exp Date 06/01/2003

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3.25.03 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Project Address: 2354 BAYLESS WY Assessor Parcel # 201-0740-067
Lot Number: 67 Subdivision GARDENS LOTG NORTH BOROUGH II

OWNER INFORMATION:

Legal Property Owner: Ryland Homes Phone#: 788-8633
Owner Address: 3005 DOUGLAS #115 City Roseville State CA Zip 95661

CONTRACTOR INFORMATION:

Contractor: Ryland Homes Lic. # 54648 Phone # 788-8633 Fax 784-9805

PROJECT INFORMATION: PLAN 2 - MP1541

Land Use Zone RIA Occupancy Group R3 Construction Type VN Fed Code 1A
No. of Stories: 2 No. of Rooms: 6 Street Width: 41'
1st Floor Area 645 2nd Floor Area 896 Basement _____ Roof Material Tile
AREA IN SQUARE FOOT OF: 0303477
Dwelling/Living 1541
Garage/Storage 412
Decks/Balconies _____
Carports _____
SCOPE OF WORK: SFD.

FOR OFFICE USE ONLY

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
 - a) Assessor's Parcel Number
 - b) New Floor Area
 - c) Owners Name
 - d) Project Address

Date: _____ Received by: (staff) _____ Permit # _____

CERTIFICATION OF INSULATION

PART I GENERAL	ADDRESS OR TRACT			SACRAMENTO BUILDING PRODUCTS							
	Ryland Gardens Sac CA LOT # 67			<input checked="" type="checkbox"/> P.O. BOX 854, WEST SACRAMENTO, CA 95891 LIC. #202026 <input type="checkbox"/> 1309 MELODY ROAD, MARYSVILLE, CA 95901 LIC. #202026 <input type="checkbox"/> P.O. BOX 9651, FRESNO, CA 93793-9651 LIC. #202026 <input type="checkbox"/> P.O. BOX 1631, RENO, NV 89505 LIC. #10675 <input type="checkbox"/> 3326 A PONDEROSA WAY, LAS VEGAS, NV 89118 LIC. #10675 DATE INSULATION COMPLETED							
PART II AREAS INSULATED	WALLS			CEILING			FLOORS				
	(SQUARE FEET)			(SQUARE FEET)			(SQUARE FEET)				
	TYPE OF INSULATION			TYPE OF INSULATION			TYPE OF INSULATION				
	MATERIAL FIBERGLASS			MATERIAL FIBERGLASS			MATERIAL FIBERGLASS				
	FORM BATTS			FORM BATTS & BLOW			FORM BATTS				
	MANUFACTURER'S PRODUCT I.D.			MANUFACTURER'S PRODUCT I.D.			MANUFACTURER'S PRODUCT I.D.				
	MANUFACTURER			MANUFACTURER			MANUFACTURER				
	CT	OC	JM	CT	OC	JM	CT	OC	JM		
	R - VALUE INSTALLED 13	APPLIED THICKNESS 3 1/2"	R - VALUE INSTALLED 30	APPLIED THICKNESS 9" 12"	MIN. INSTALLED WEIGHT PER SQUARE FOOT	R - VALUE INSTALLED 19	APPLIED THICKNESS 5 1/2"				
	KNEE WALLS IF R-VALUE IS OTHER THAN WALLS ABOVE										
MATERIAL FIBERGLASS			FORM BATTS			R VALUE			MANUFACTURER		
									CT	OC	JM
AIR INFILTRATION SEALANT											
MATERIAL Foam						MANUFACTURER HILTI			HANDY FOAM		
THIS IS TO CERTIFY THAT INSULATION AND/OR SEALANT HAS BEEN INSTALLED IN CONFORMANCE WITH APPLICABLE CODES, MATERIAL STANDARDS AND REGULATIONS.											
SIGNATURE — INSULATION CONTRACTOR J.C.						TITLE MANAGER			DATE 12/1/03		
SIGNATURE — GENERAL CONTRACTOR						TITLE			DATE		
REMARKS											

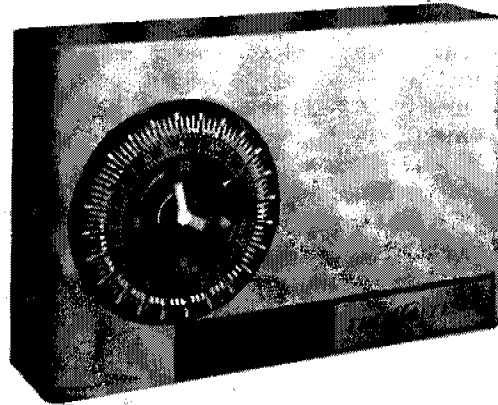
TMACII Timed Make-Up Air Control

TROL-A-TEMP

- Meets State Required Ventilation Codes for New Homes in Washington, Oregon, and Montana
- Easy to Wire 24 Volt Control
- 24 Hour Timer Programmable to 15 Minute Intervals
- Remote Override Capability
- Additional Output Contacts for Auxiliary Controls

The Trol-A-Temp® Timed Make-Up Air Control, Model TMAC™ is designed to meet minimum ventilation requirements, including those specified in the Washington, Oregon, and Montana state ventilation codes. The TMAC™ is a self contained timer and relay panel with easy wiring terminal blocks and flip top wiring case. The built-in 24 hour timer can be set up in minimum 15 minute intervals to control the fresh air damper, furnace fan and where required, central exhaust or bath fan. The TMAC™ System, when utilized with the exhaust fan, meets Super Good Cents specifications for mechanical ventilation.

The TMAC™ System timer when programmed ON opens the fresh air damper, turns on the furnace fan, if not already on, and can also activate one or more exhaust fans. When the fresh air damper opens, outdoor air is drawn into the return air duct system by the furnace fan and circulated throughout the supply air system to each room in the home or office automatically. The TMAC™ System operates independently of the heating and cooling unit allowing your thermostat to still maintain your level of comfort. It also draws the outdoor air through your existing furnace filter or air cleaner providing clean, fresh air comfortably and quietly. When the timer is off, TMAC™ closes the fresh air damper and turns off the furnace fan, provided the thermostat is also not calling for the fan, and any other exhaust fans tied into the TMAC™ system.



The TMAC™ System, besides operating automatically from the timer, can also be operated manually by the override switch on the timer. The override switch allows the occupant to call for ventilation on demand. Other devices such as a humidity control, air quality sensors, etc., can control the TMAC™ to activate the system for ventilation.

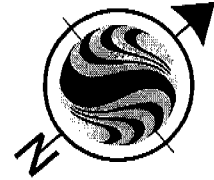
The TMAC™ System is almost a necessity in today's modern energy efficient homes. Today's homes are well insulated and provide little chance of any outdoor ventilation without opening the windows. TMAC™ provides a perfect low cost solution for controlling indoor air pollution.

The TMAC™ has a flip top cover for easy access to the components and wiring terminals. The cover has a hole for the timer face to be visible at all times. The slim, compact design requires minimal space and measures 6" wide x 4" high x 1.5" deep.

OPERATION

The TMAC™ uses the 24 hour timer to operate the self-contained relay. By setting the white timer levers out, this is the time when the relay will be energized. By setting the levers in, towards the clock face, this is the time for the relay to be de-energized. When the timer is set to be on and energize the relay, the TMAC™ provides 24 Volts to the M1 and M4 terminals to open the spring return damper. It

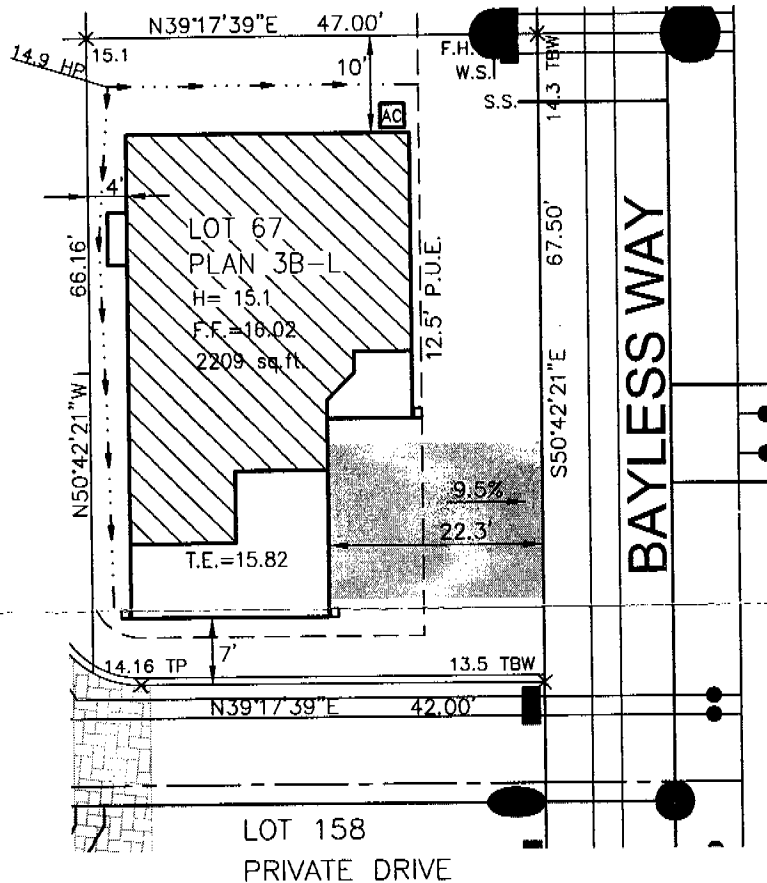




LOT 59
H=16.7

SCALE: 1" = 20'

LOT 68
H=15.6



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE EXCEPT FOR MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS-BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The employee of this plan and specification shall NOT be held to permit or approve the violation of any City Ordinance or State Law.

LEGEND:		
YARD SWALE	SS	
SOUND WALL	WS	
FENCE	DI	
DRAIN INLET	TP	
	TOP OF PAVEMENT	
	THRESHOLD ELEV.	
	DRIVEWAY	
	SLOPE	
	2ND FLOOR	
	TOP BACK CURB	TBC
	TOP BACK WALK	TBW
	RIGHT OF WAY	R/W
	HIGH POINT	HP
	GRADED ELEV.	15.5 X



A.P.N.:
ADDRESS:
TOTAL HOUSE AREA: 1948 sq. ft.
LOT AREA: 3170.33 sq. ft.
LOT COVERAGE: 34.49%
FRONT YARD PAVEMENT: 22.22%

Client/Project

RYLAND HOMES
RYLAND GARDENS
NORTHBOROUGH II LOT G

Title

LOT 67
FLOOR PLAN 3B-L
SEPTEMBER 2002
844 34006