

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	HOWARD TRIEBWASSER, 4713 B Parkway, Sacramento CA 95823				
OWNER	ST. LUKE'S LUTHERAN CHURCH, 7595 Center Parkway, Sacramento, CA 95823				
PLANS BY	David Kelly, 4600 Goyce Parkway, Sacramento, CA				
FILING DATE	6/4/87	ENVIR. DET.	NEG DEC 6.29/87	REPORT BY	JP/vf
ASSESSOR'S-PCL. NO.	050-0020-049				

- APPLICATION:
- A. Negative Declaration
 - B. Special Permit to operate a private day care and elementary school for up to 120 children and add a 1,196+ sq. ft. restroom addition to an existing church in the R-1 zone.

LOCATION: 7595 Center Parkway

PROPOSAL: The applicant is requesting the necessary entitlements to expand an existing day care and elementary school for 54 children to 120 children at St. Luke's Lutheran Church.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1986 South Sacramento Community Plan Designation:	Residential 4-8
Existing Zoning of Site:	R-1
Existing Land Use of Site:	St. Luke's Lutheran Church

Surrounding Land use and Zoning:

North: Single Family Residential; R-1
South: Single Family Residential; R-1
East : Single Family Residential and Church; County
West : Park and School, R-1

Parking Required:	55 Spaces
Parking Provided:	90 Spaces
Property Dimensions:	Irregular
Square Footage of Building:	Existing Building: 17,800 sq. ft.
Square Footage of Proposed Addition:	1,196+ sq. ft.
Height of Proposed Addition:	17 ft. , one story
Exterior Building Materials:	Brick and cement plaster
Roof Material:	Composition Shingle

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use and Zoning

The subject site consists of 4.5+ acres located in the Single Family (R-1) zone. The 17,800+ square foot St. Luke's Lutheran Church is located on the site (P1370). Surrounding land uses are single family residences to

the north, south and east, a church to the east, and Nielsen Park to the west. The site is designated for residential use by the 1974 General Plan and Residential 4-8 by the 1986 South Sacramento Community Plan.

B. Applicant's Proposal

A day care center has been operated at the church site for approximately 15 years. It appears that this use was established without Planning Commission review and approval. The facility's hours of operation are 6:30 a.m. to 6:00 p.m. Monday through Friday. Presently, the site is licensed by the State Department of Social Services Community Care Licensing for 54 children. The facility also offers first and second grade classes which are taught by an instructor with an elementary teaching credential from the State of California.

The applicant proposes to increase the number of children in the day care center to 100. This would allow the facility to offer extended day care for children who go to school at another location and then need a place to stay until their parents can pick them up and take them home. Presently, the facility has a waiting list of parents who wish to place their children in the extended day care program. The facility would also continue to operate an elementary school for first and second grades for approximately 20 children. In order to increase the number of children in the facility, the State requires additional restrooms. The applicant is requesting a special permit to increase the day care (pre-school and extended day care) and private elementary school use to accommodate a total of 120 children and to add 1,196± square feet to the existing church structure. The square footage addition would consist of a kitchen, office, storage room and two restrooms.

C. Site Plan Design

The submitted site plan indicates that the proposed restroom, kitchen, office and storage addition will be located off of the north side of the existing church fellowship hall, 25 feet east of the Center Parkway right-of-Way. This location is proposed as the proposed restrooms will be convenient for both church members that use the fellowship hall and children in the adjacent classrooms.

The site plan also indicates a trash dumpster, storage area and chain link fence adjacent to the northern driveway and 25 feet from Center Parkway. Planning staff recommends that the trash enclosure and storage area be screened by a six foot high decorative masonry wall and that the masonry wall continue to north property line in lieu of a six foot high chain link fence. This wall will screen the view of the trash dumpster and the unimproved area of the church along the north property line from the Center Parkway public right-of-way. Staff also recommends that trees and/or shrubs be planted in this landscaped setback area.

City Planning Commission
Sacramento, California

Members in Session:

Subject: Special Permit to operate a private day care and elementary school for up to 120 children and add a 1,196_± sq. ft. addition to an existing church in the R-1 zone.

Location: 7595 Center Parkway (St. Luke's Church).

Summary:

On July 9, 1987, the Planning Commission continued the special permit request to the July 23, 1987 meeting so that members of St. Luke's Lutheran Church, the day care center operators and residents of the neighborhood could meet and discuss the proposed day care center expansion. The meeting between these groups has been set for Monday July 20, 1987. Planning staff will give a verbal report of the outcome of this meeting at the July 23, 1987, Planning Commission Meeting.

Respectfully submitted,


Will Weitman,
Senior Planner

City Planning Commission
Sacramento, California

Members in Session:

Subject: Special Permit to operate a private day care and elementary school for up to 120 children and add a 1,196+ sq. ft. addition to an existing church in the R-1 zone.

Location: 7595 Center Parkway (St. Luke's Church).

Summary:

On July 9, 1987, the Planning Commission continued the Special Permit request to the July 23, 1987 meeting so that members of the St. Luke's Lutheran Church, the day care center operators and residents of the neighborhood could meet and discuss the proposed day care and school expansion. The purpose of the meeting was to attempt to find a compromise on the type of use and number of children. The neighbors and church/day care operators have not been able to reach an agreement on the proposed school use and number of children on the site.

BACKGROUND INFORMATION: Residents of the adjacent neighborhood, church representatives, the day care operators, Planning Staff and Councilman Kastanis met on Monday, July 20, 1987. Then neighbors and the applicant were able to agree on: a location for the trash enclosure; that they did not want any type of fence or wall adjacent to Center Parkway; and that the proposed 1,196+ sq. ft. restroom addition was not an issue (Exhibit 3). The neighbors and the applicant, however, were not able to reach a compromise on the total number of children permitted on the site and the issue of whether or not a school should be operated and the number of grades in the school (Exhibit 1).

On Tuesday, July 21, Planning Staff recommended a compromise of a maximum of 100 children at the site and operation of a school grades kindergarten through third grade. This recommendation was unacceptable to both the neighbors and the applicant.

On Wednesday, July 22, the church indicated that they would revise their proposal to kindergarten through third grade, but leave the maximum number of children at 120.

RECOMMENDATION: Based on the Planning Commission's and City Councilperson's desire to work out a compromise staff recommends the following:

- A. Ratification of the Negative Declaration;
- B. Approval of the Special Permit subject to the following revised conditions and based upon Findings of Fact in the original staff report.

Conditions

1. The day care center and elementary school is permitted for a maximum of 100 children. The elementary school is limited to grades kindergarten through third grade. Hours of operation shall be 6:30 a.m. to 6:00 p.m., Monday through Friday. Children shall not be allowed to play in the playgrounds areas (east and west) before 8:00 a.m. The maximum number of children permitted on the western playground (existing playground), at any time, shall be 30 children.
2. The applicant shall place on file with the Planning Division, evidence of filing an affidavit with the County Department of Education for the private elementary school by September 30, 1987. School enrollment shall be indicated on this affidavit or otherwise provided to the Planning Division.
3. The applicant shall submit revised site plans, floor plans and elevations to the Building Department for review and approval prior to issuance of building permits. These plans shall include the following:
 - a. Landscaping adjacent to Center Parkway and the new building addition as shown on Exhibit 3.
 - b. A trash enclosure as shown on Exhibit 3. The trash enclosure shall be constructed of solid masonry material with decorative exterior surface finish compatible to the main church structure. The main enclosure gates shall have decorative solid heavy gauge metal gates and be designed with cane bolts to secure the gates when in the open position. The trash enclosure walls shall be six feet in height except for the walk in access walls which may be lower for security purposes.
 - c. A floor plan for the proposed classroom areas. Applicant shall indicate on the plan the total number children and whether the classrooms shall be used for day care use, school use, or both uses. The Building Division shall check this plan for occupancy load and exiting requirements.
 - d. Floor plans and elevations for the proposed 1,196+ sq. ft. addition. The building addition shall be painted the same color as the existing church structure.

4. Any proposed improvements (including landscaping) to the unimproved areas adjacent to the north property line and shown on the submitted site plan shall be subject to Planning Director review and approval. The Planning Director shall determine whether or not any proposals are major modifications and require Planning Commission review and approval.
5. The project shall comply with the noise limitations of the County Environmental Health Department.

Respectfully submitted,



Art Gee,
Principal Planner

EXHIBIT 1

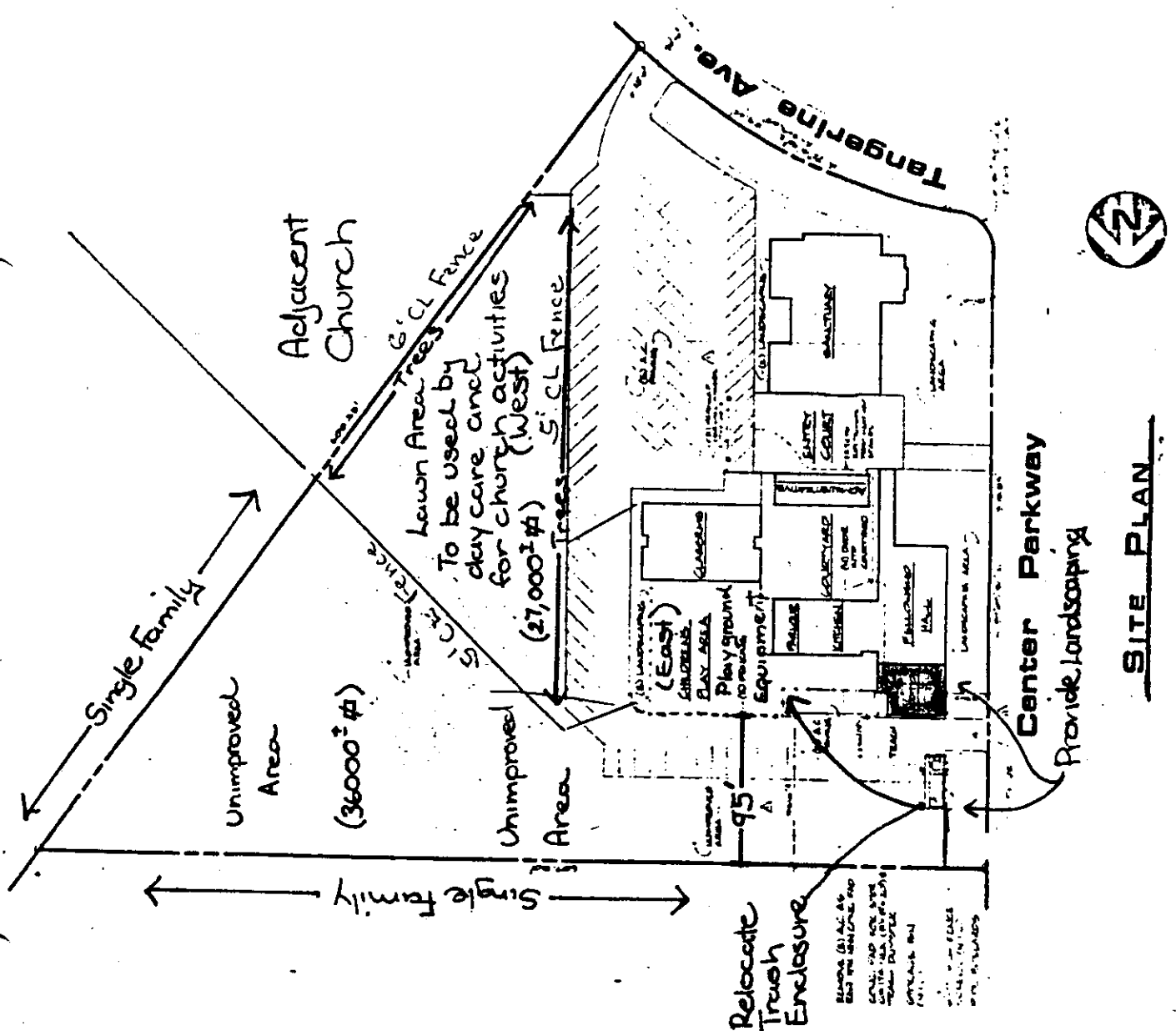
Existing facility	State-licensed day care 54 children	School Kindergarten				
Church's Proposed Facility 7-9-87CPC	State-licensed day care 100 children	School K-2			TOTAL CHILDREN 120	
Residents' Proposal 7-9-87CPC	State-licensed day care 54 children	No School			TOTAL CHILDREN 54	
Church's Proposal 7-20-87 Neighborhood Meeting	State-licensed day care 100 children	School K-6 Maximum enrollment of school, 45		Max. 30 kids on existing playground at one time	TOTAL CHILDREN 120	
Residents' Proposal 7-20-87 Neighborhood Meeting	State-licensed day care 80 children	No School		Max. 30 kids on existing playground at one time	TOTAL CHILDREN 80	
Planning Staff's Proposal 7-21-87	State-licensed day care 100 children	School K-3		Max. 30 kids on existing playground at one time	TOTAL CHILDREN 100	
Church Board Proposal 7-22-87	State-licensed day care 100 children	School K-3		Max. 30 kids on existing playground at one time	TOTAL CHILDREN 120	
Planning Staff Recommendation 7-24-87	State-licensed day care 100 children	School K-3		Max. 30 kids on existing playground at one time	TOTAL CHILDREN 100	

EXHIBIT 2

Site Plan

Sheet Index	
10	Architectural
11	Site Plan
A1	Site Plan
A2	Site Plan
A3	Site Plan
B1	Structural
B2	Structural
B3	Structural
B4	Structural
B5	Structural
B6	Structural
B7	Structural
B8	Structural
B9	Structural
B10	Structural
B11	Structural
B12	Structural
B13	Structural
B14	Structural
B15	Structural
B16	Structural
B17	Structural
B18	Structural
B19	Structural
B20	Structural
B21	Structural
B22	Structural
B23	Structural
B24	Structural
B25	Structural
B26	Structural
B27	Structural
B28	Structural
B29	Structural
B30	Structural
B31	Structural
B32	Structural
B33	Structural
B34	Structural
B35	Structural
B36	Structural
B37	Structural
B38	Structural
B39	Structural
B40	Structural
B41	Structural
B42	Structural
B43	Structural
B44	Structural
B45	Structural
B46	Structural
B47	Structural
B48	Structural
B49	Structural
B50	Structural
B51	Structural
B52	Structural
B53	Structural
B54	Structural
B55	Structural
B56	Structural
B57	Structural
B58	Structural
B59	Structural
B60	Structural
B61	Structural
B62	Structural
B63	Structural
B64	Structural
B65	Structural
B66	Structural
B67	Structural
B68	Structural
B69	Structural
B70	Structural
B71	Structural
B72	Structural
B73	Structural
B74	Structural
B75	Structural
B76	Structural
B77	Structural
B78	Structural
B79	Structural
B80	Structural
B81	Structural
B82	Structural
B83	Structural
B84	Structural
B85	Structural
B86	Structural
B87	Structural
B88	Structural
B89	Structural
B90	Structural
B91	Structural
B92	Structural
B93	Structural
B94	Structural
B95	Structural
B96	Structural
B97	Structural
B98	Structural
B99	Structural
B100	Structural

David Kelly
 Civil Engineer
 4800 Oak
 Parkway
 Lakeland, FL 33809
 License No. 12587
 State of Florida
 Professional Seal



P87-265

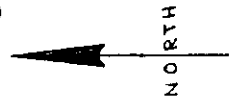
7-9-87
 7-23-87

Item X

EXHIBIT 3

- LANDSCAPE PLAN - (NIC)
(w/ REVISIONS TO SITE PLAN)

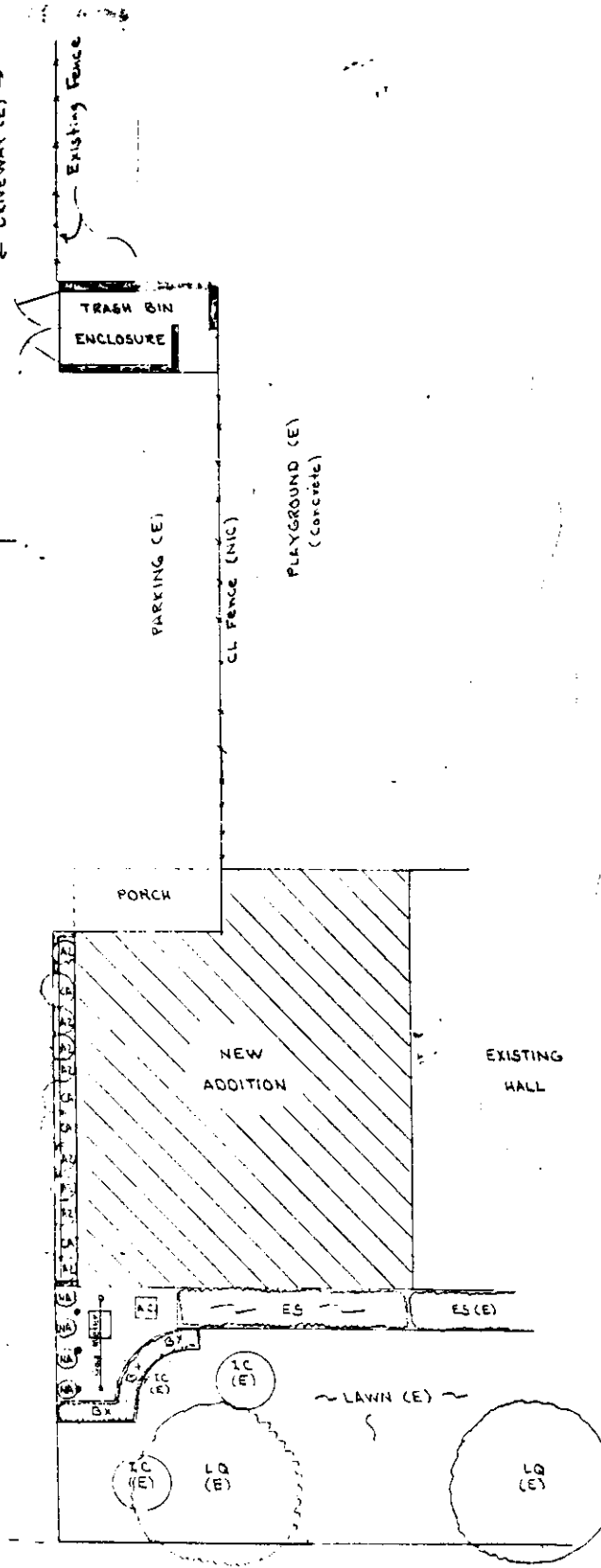
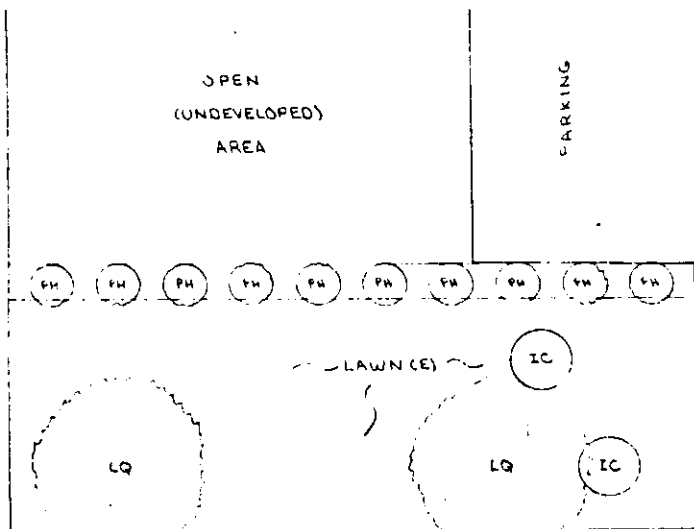
Scale 1/8" = 1'
(All Landscape Planting by Owner)



- PLANT LIST -

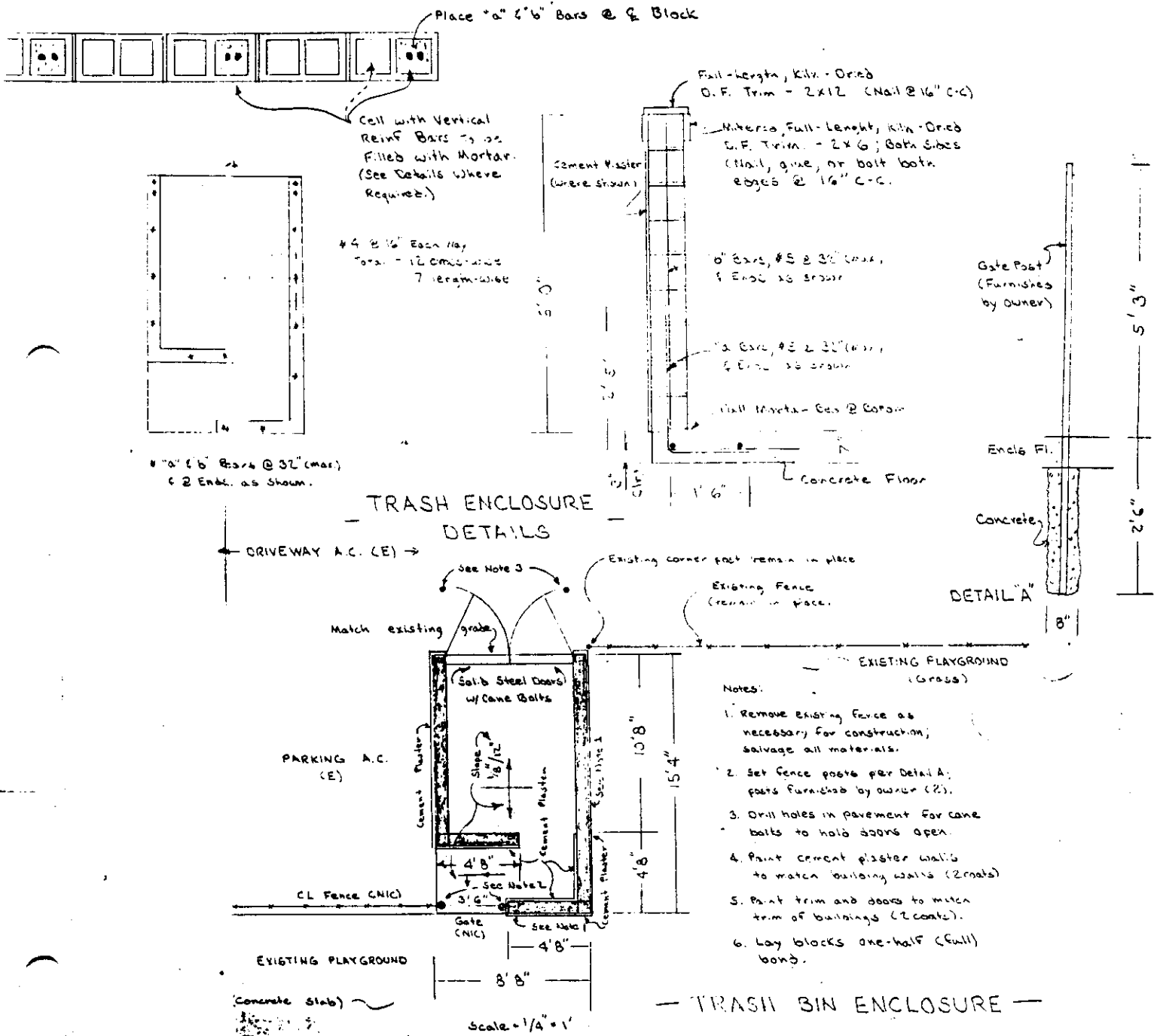
PLT CODE	BOTANICAL NAME	COMMON NAME	PLT SIZE	NO. PLTS
LQ	LIQUIDAMBAR	SWEET GUM	3 Gal	2
IC	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	5 Gal.	2
PH	PHOTINA FRASERI	PHOTINIA	2 Gal.	10
ES	ESCALLONIA ROSEA	ESCALLONIA	2 Gal.	7
BX	EUYUS M. JAPONICA	JAPANESE BOXWOOD	2 Gal.	7
VA	NANDINA DOMESTICA	HEAVENLY BAMBOO	2 Gal.	4
CA	CAMELLIA SASANQUA	CAMELLIA	5 Gal.	4
FZ	AZALEA (BELGIAN/INDIA)	AZALEA	2 Gal.	8

(E) = Existing



CENTER PARKWAY

EXHIBIT 3



City Planning Commission
Sacramento, California

Members in Session:

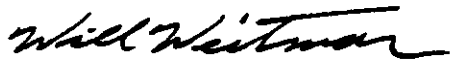
Subject: Special Permit to operate a private day care and elementary school for up to 120 children and add a 1,196± sq. ft. addition to an existing church in the R-1 zone.

Location: 7595 Center Parkway (St. Luke's Church).

Summary:

On July 9, 1987, the Planning Commission continued the special permit request to the July 23, 1987 meeting so that members of St. Luke's Lutheran Church, the day care center operators and residents of the neighborhood could meet and discuss the proposed day care center expansion. The meeting between these groups has been set for Monday July 20, 1987. Planning staff will give a verbal report of the outcome of this meeting at the July 23, 1987, Planning Commission Meeting.

Respectfully submitted,



Will Weitman.
Senior Planner

On the eastern portion of the subject site, the church has fenced off approximately one half acre with a five foot high chain link fence. This area is landscaped and irrigated and is used for church functions, such as picnics, and as part of the children's play area for the day care center. The remaining three quarter acres of open area along the north and east property lines adjacent to single family residences is unimproved. The church has no plans to improve this area at this time. Planning staff has no objections if the half acre area is continued to be used as a play area for the day care center, as the area is not directly adjacent to any residential uses (Exhibit A). Staff wishes to note that any proposed improvements to the unimproved areas will require Planning Director review and approval, or Planning Commission review if major improvements are proposed. Planning staff would discourage locating any of the children's playground in this area due to its proximity to the single family residences.

D. Building Design

The existing church exterior materials are cement plaster, brick and a composition shingle roof. The proposed exterior for the 1,196+ square foot addition is cement plaster and a composition shingle roof. Staff recommends that the plaster be painted the same color as the existing building. Staff also recommends that additional trees and/or shrubs be located in the setback area adjacent to the addition to replace the ones that will be removed due to the new construction and to enhance the appearance of the subject site. An air conditioning unit and gas meter are proposed for location in the setback area. These mechanical items are also required to be screened and/or landscaped.

E. Parking and Circulation

The proposed project has been reviewed by the City Traffic Engineering Division. They have indicated that the site is located on a major street and that the additional children will not result in a significant increase in trip generation.

Ninety parking spaces are located on the subject site. This number of parking spaces will more than adequately serve the needs of the day care facility.

F. Neighborhood Comments

An adjacent property owner has called Planning staff to express his concern regarding the increase in children at the subject site. He is concerned that 120 children will result in an increase in the noise level of the neighborhood. Additional testimony will be provided at the Planning Commission hearing.

The operator of the day care center, Mrs. Wiggins, has indicated to Planning staff that there should not be an increase in noise due to the increase in children at the facility. By State law they are required to separate the pre-school children from the school age children except for special events such as picnics and field trips. They are also limited as to the number of children they can have out on the playground at one time. They will continue to have a maximum of two classes, or 24 children out on the playground at one time, therefore, all 120 children would not be outside all at one time. What will increase is the number of times the children are out on the playground in the afternoon due to the arrival of the extended day care children at the facility.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have a significant adverse effect on the environment and has filed a Negative Declaration.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the Negative Declaration.
- B. Approval of the special permit request, subject to conditions and based upon findings of fact which follow.

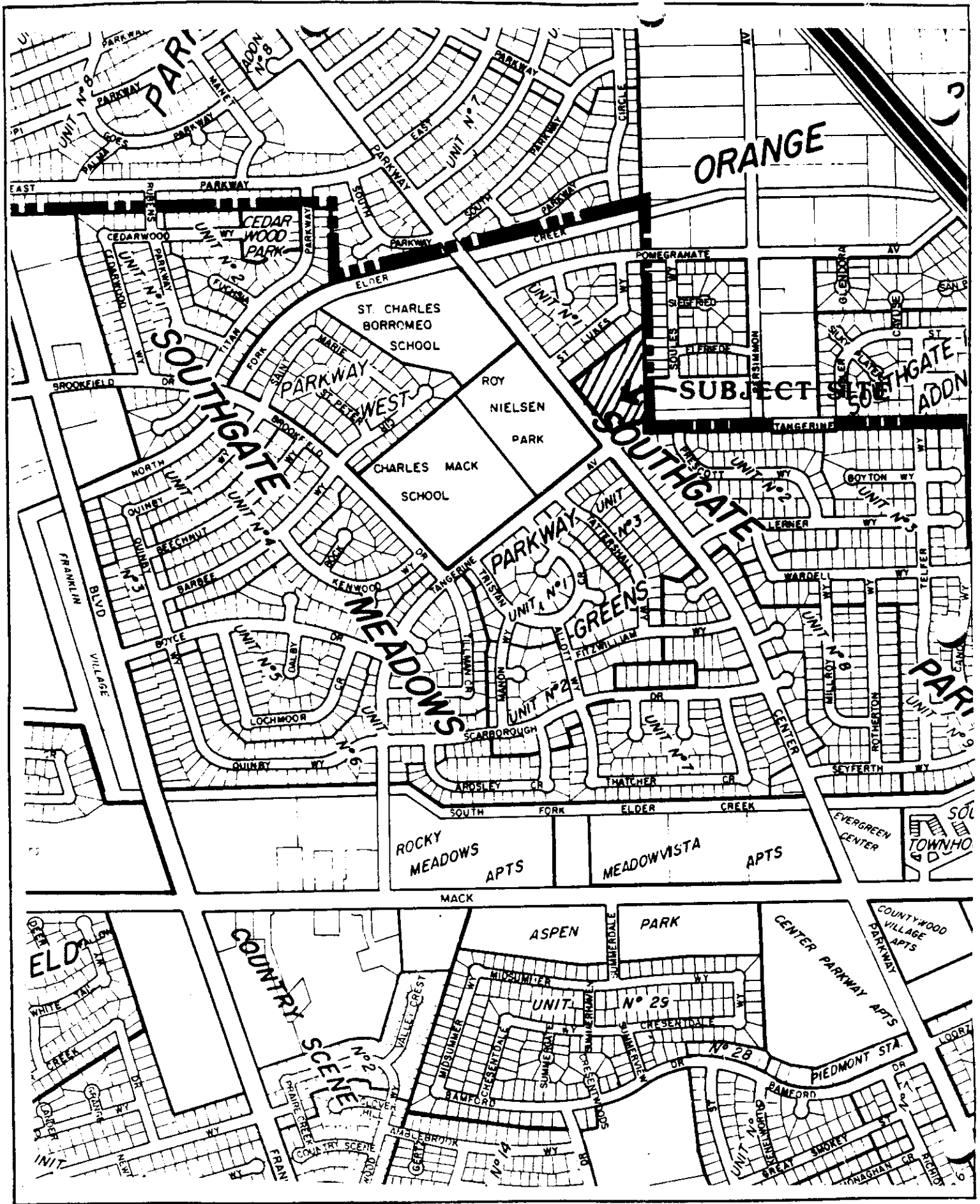
Conditions

1. The day care center and elementary school is permitted for a maximum of 120 children. Hours of operation shall be 6:30 a.m. to 6:00 p.m. Monday through Friday.
2. Landscape plans shall be submitted for Planning Director review and approval prior to issuance of building permits. The landscape plans shall indicate trees and/or shrubs in the 25 foot landscape setback adjacent to the required masonry wall and the new building addition.
3. The applicant shall provide screening of all mechanical and utility equipment in the 25 foot landscaped setback area subject to Planning Director review and approval.
4. A six foot high decorative masonry wall shall be provided behind the 25 foot landscaped setback between the north driveway and the north property line. The proposed design, materials and color of the wall shall be subject to Planning Director review and approval prior to issuance of building permits.
5. The proposed trash enclosure and storage area shall be incorporated into the east side of the required masonry wall. The trash enclosure shall meet Zoning Ordinance requirements and revised plans submitted for review and approval prior to issuance of building permits.

6. Any proposed improvements, (including landscaping) to the improved areas adjacent to the north property line and shown on the submitted site plan, shall be subject to Planning Director review and approval. The Planning Director shall determine whether or not any proposals are major modifications and require Planning Commission review and approval.
7. The building addition shall be painted the same color as the existing church structure.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the church and day care center is compatible with adjacent single family, church and neighborhood park uses.
2. The project, as conditioned, is not detrimental to the public health, safety or welfare, nor will it result in the creation of a nuisance in that:
 - a. the proposed use will not significantly alter the characteristics of the area;
 - b. the outdoor play area is not directly adjacent to any single family residential uses;
 - c. adequate landscaping and parking are provided.
3. The proposed project, is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for residential use by the 1986 South Sacramento Community Plan and proposed church and day care use conforms with the plan designation.



ORANGE

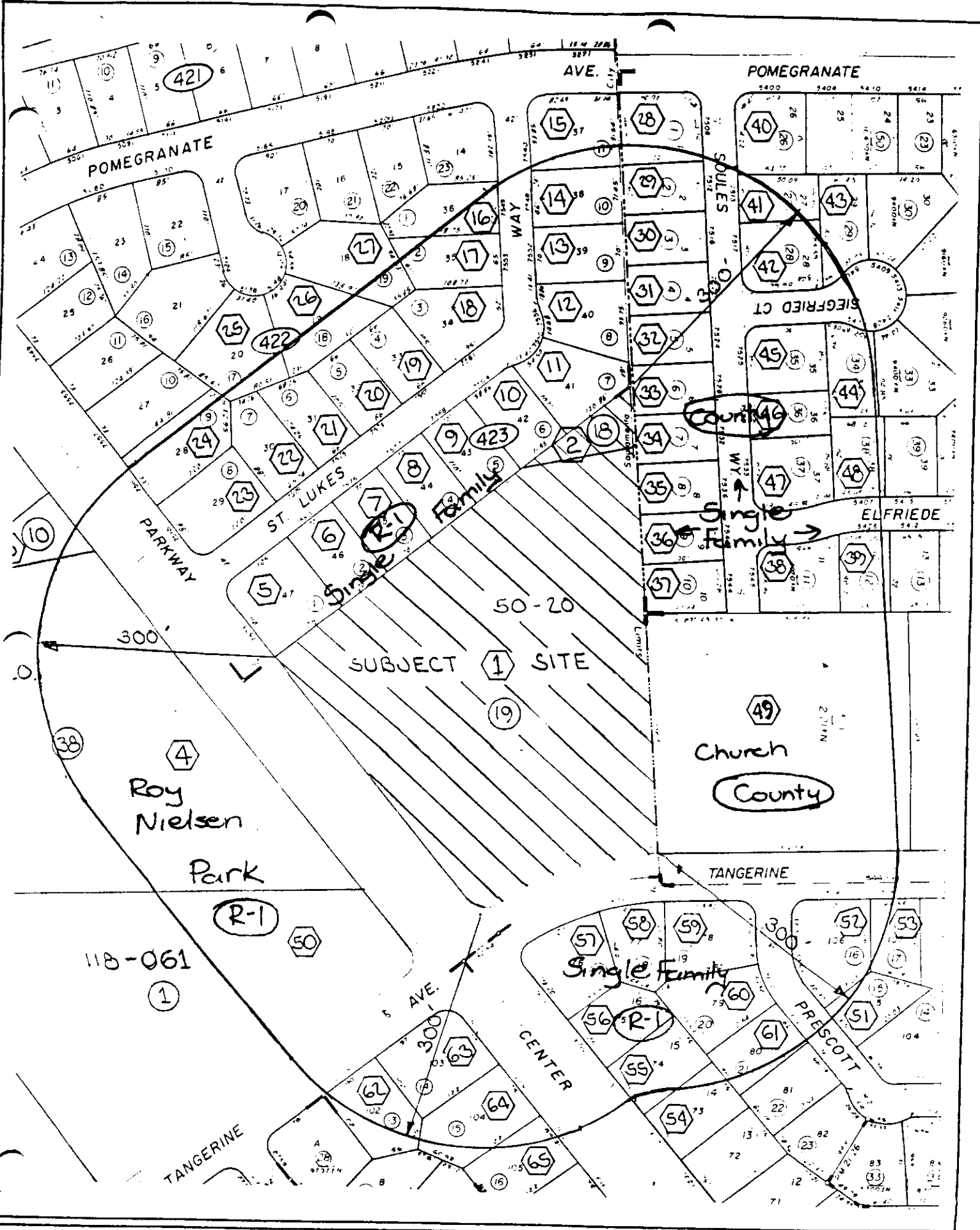
SUBJECT SITE ADDN

VICINITY MAP

P87-265

Item 6

7-23-87



P87-265

LAND USE & ZONING MAP

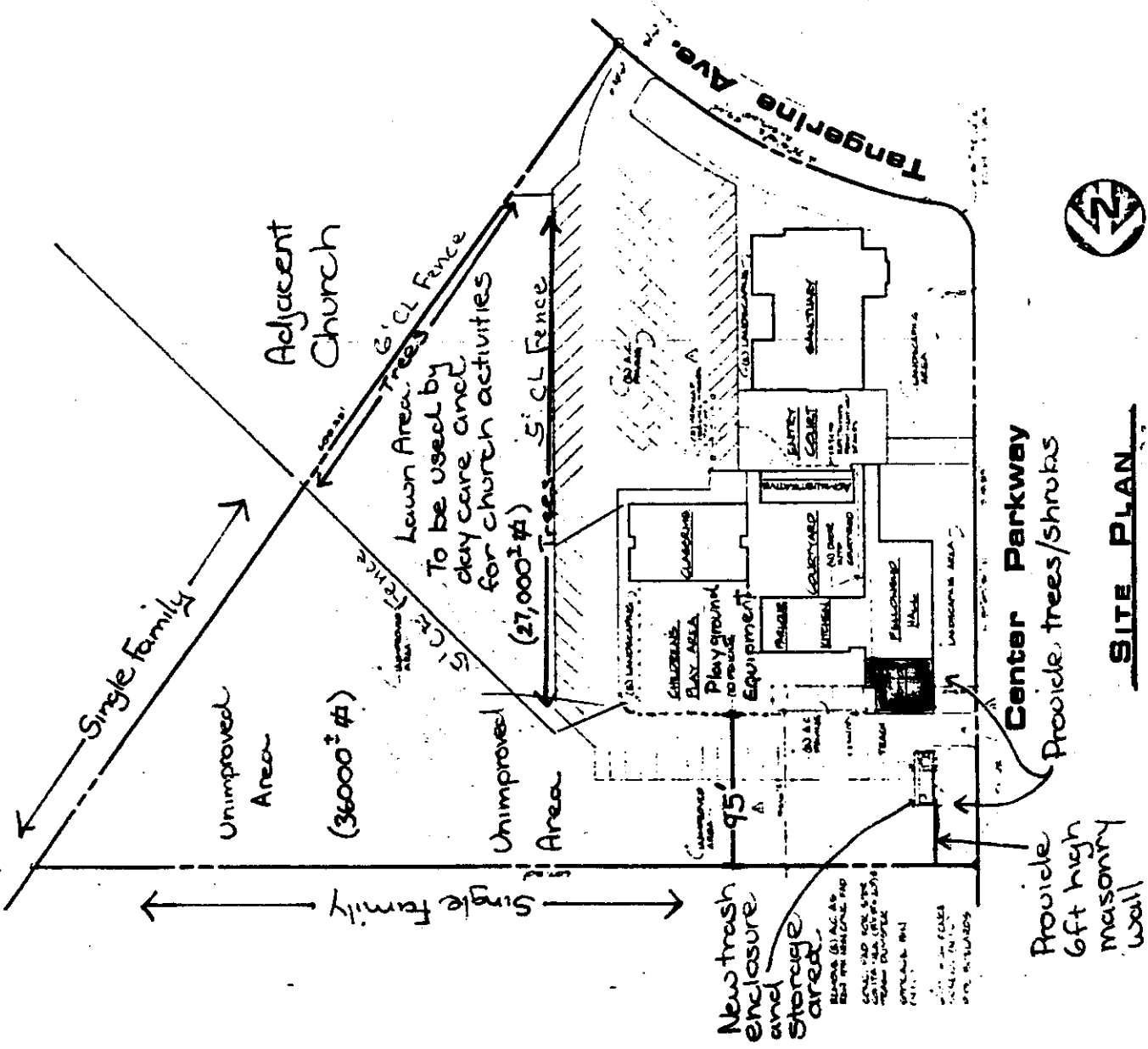
Item 6

7-13-87

Sheet	Index
ARCHITECTURAL	
A1	Site Plan & Foundation
A2	Structural
A3	MECHANICAL
MECHANICAL	
M1	MECHANICAL PLAN
M2	MECHANICAL PLAN & ROOF & CEILING PLAN
M3	MECHANICAL PLAN & ROOF & CEILING PLAN
ELECTRICAL	
E1	ELECTRICAL PLAN
E2	ELECTRICAL PLAN & ROOF & CEILING PLAN
PLUMBING	
P1	PLUMBING PLAN
P2	PLUMBING PLAN & ROOF & CEILING PLAN
HVAC	
H1	HVAC PLAN
H2	HVAC PLAN & ROOF & CEILING PLAN
ENERGY	
EN1	ENERGY PLAN

EXHIBIT A

Site Plan



P87-265

7-9-87
7-23-87

Item

6

David Kelly
Civil Engineer
4800 Goya
Beverly Hills, CA 90210
Tel: 877-8778

St. Lukes Lutheran Church
7888 Center Parkway
Beverly Hills, CA 90210
Tel: 877-8778

DATE: 07/23/87
PROJECT: 0587
SHEET: 0111
DESCRIPTION: SITE PLAN
SCALE: AS SHOWN

A1
07/23/87

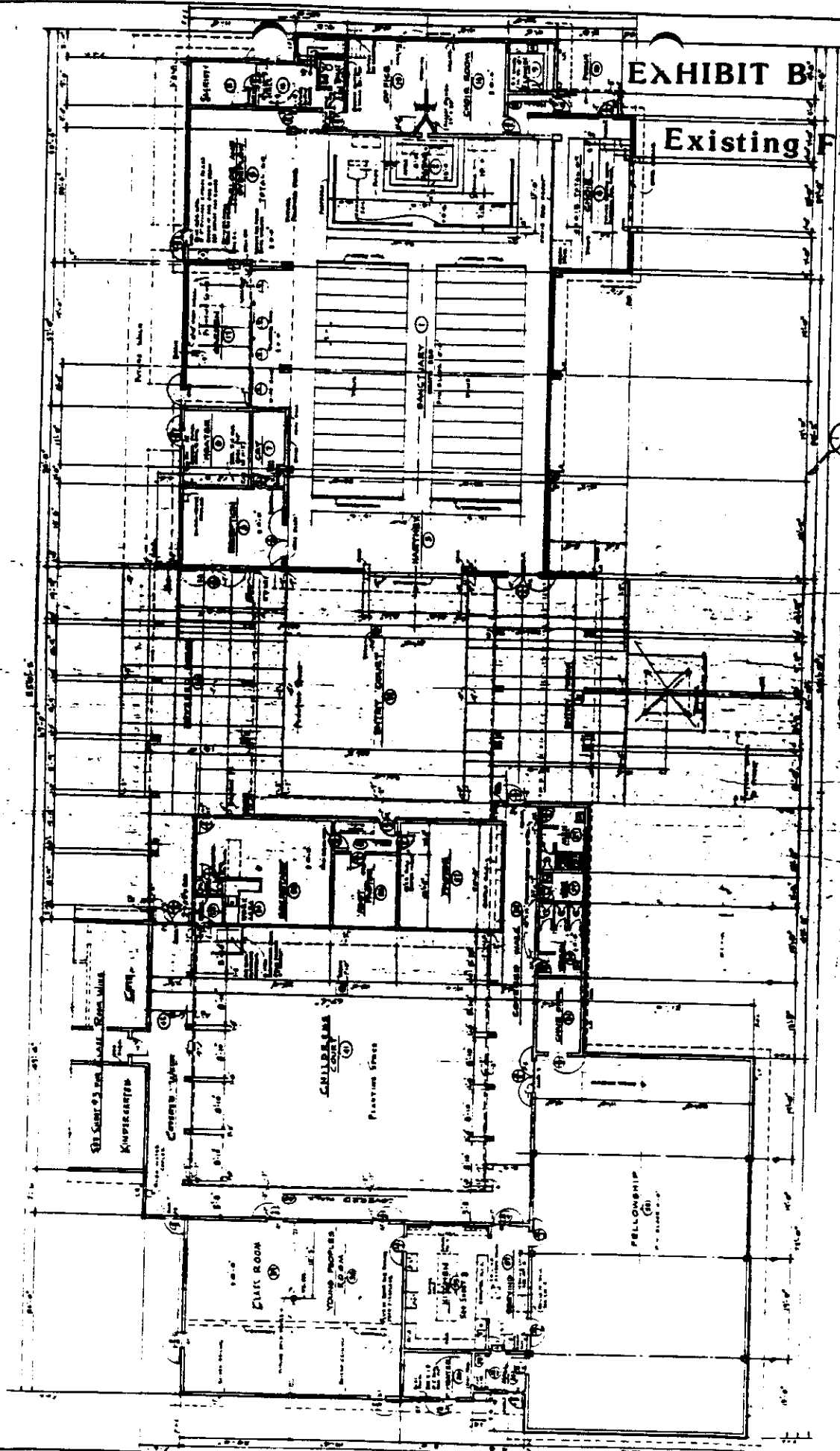


EXHIBIT B

Existing Floor Plan

S A T T E R L E E & T O M I C H A R C H I T E C T S

1940 S. BATTERED AVE.
 SACRAMENTO, CALIFORNIA

1940 S. BATTERED AVE.
 SACRAMENTO, CALIFORNIA

1940 S. BATTERED AVE.
 SACRAMENTO, CALIFORNIA

1940 S. BATTERED AVE.
 SACRAMENTO, CALIFORNIA

1940 S. BATTERED AVE.
 SACRAMENTO, CALIFORNIA

P87-265

7-9-87
7-23-87

Item 10

EXHIBIT D

Proposed Floor Plan



Room Finish Schedule

Room	Finish	Notes
101	Walls	Paint
101	Floor	Carpet
101	Ceiling	Acoustic Tile
102	Walls	Paint
102	Floor	Carpet
102	Ceiling	Acoustic Tile

Door Schedule

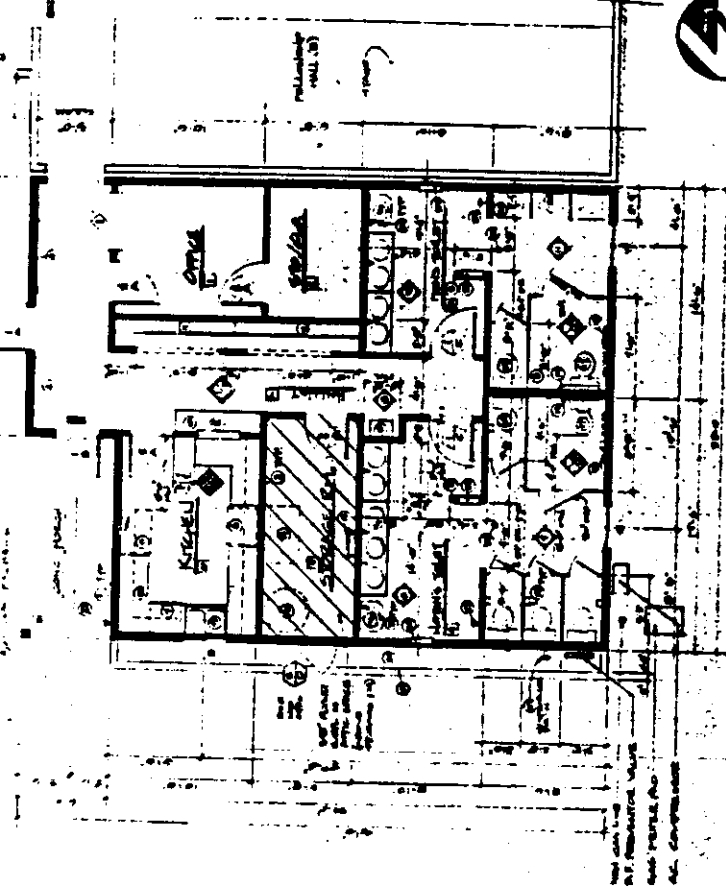
ID	TYPE	FINISH	NOTES
101	Swing	Paint	
102	Swing	Paint	

Hardware Schedule

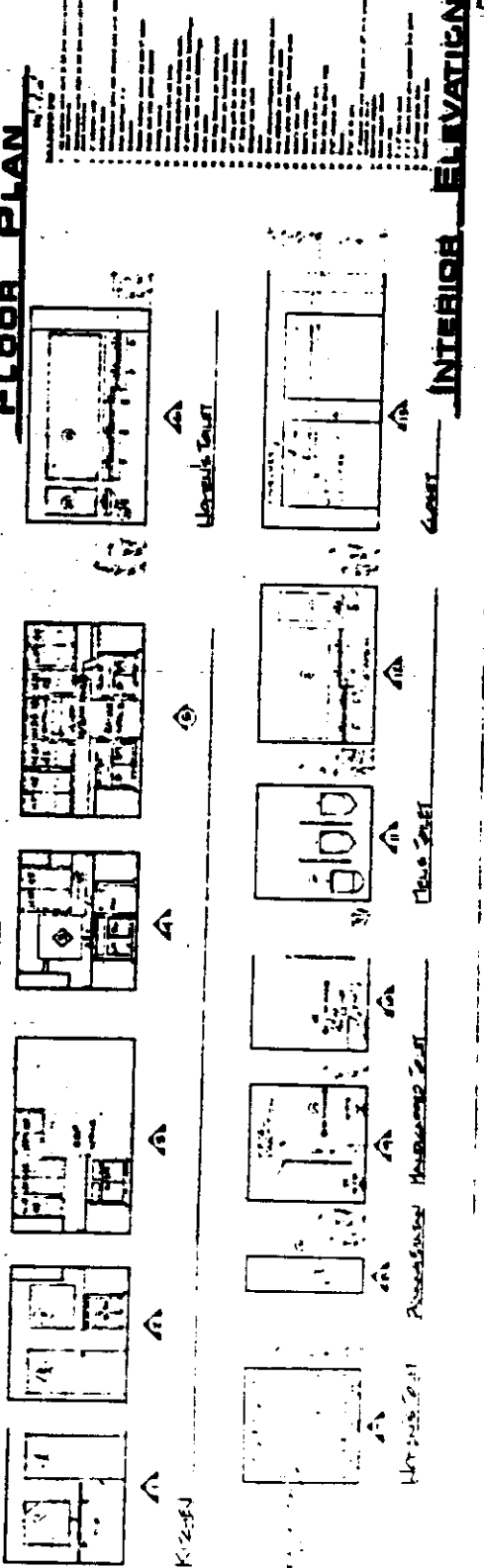
ID	TYPE	FINISH	NOTES
101	Knob	Paint	
102	Knob	Paint	

Window Schedule

ID	TYPE	FINISH	NOTES
101	Double Hung	Paint	
102	Double Hung	Paint	



FLOOR PLAN



P87-265

7-9-87

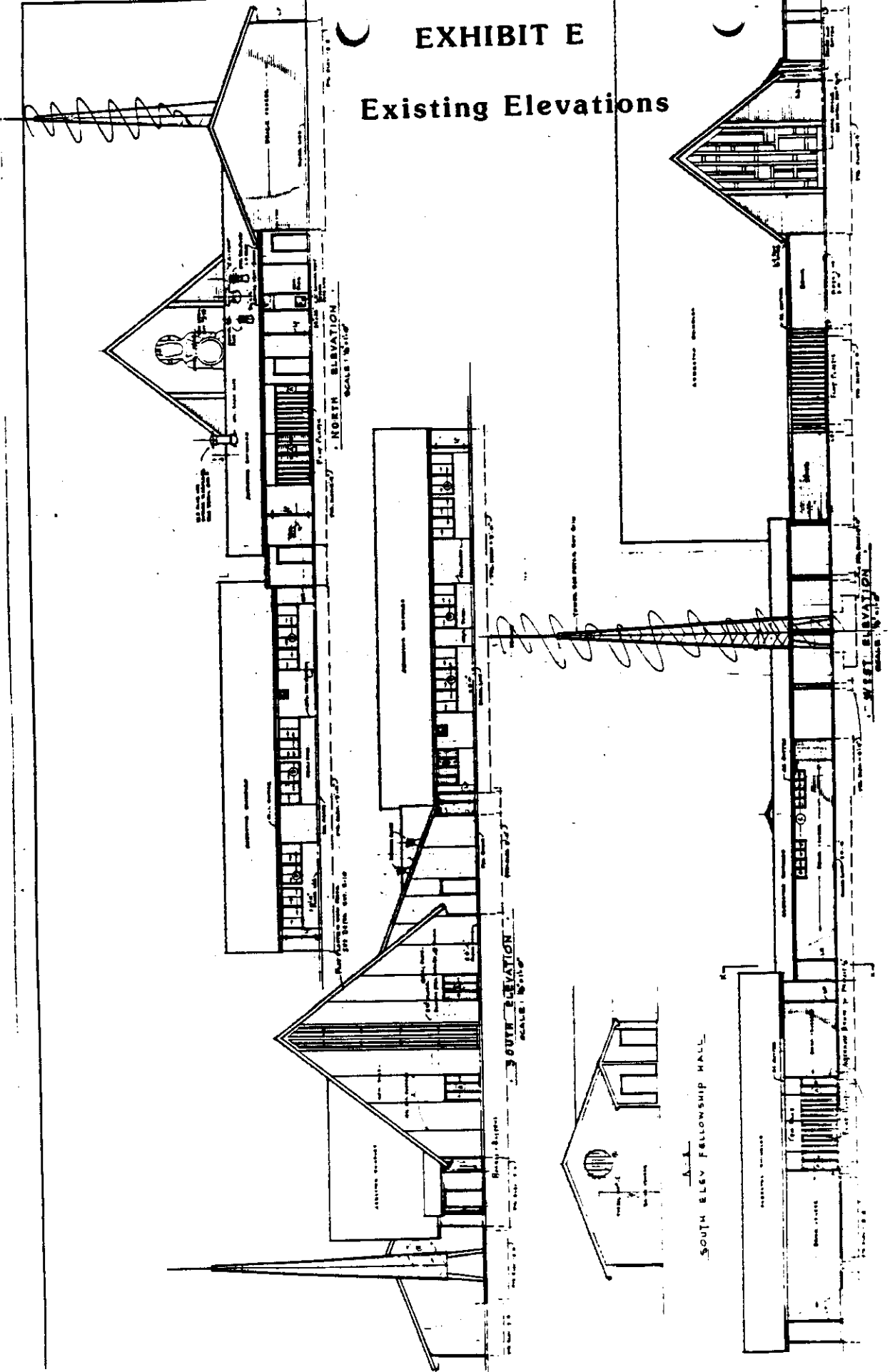
7-23-87

Item

6-

EXHIBIT E

Existing Elevations



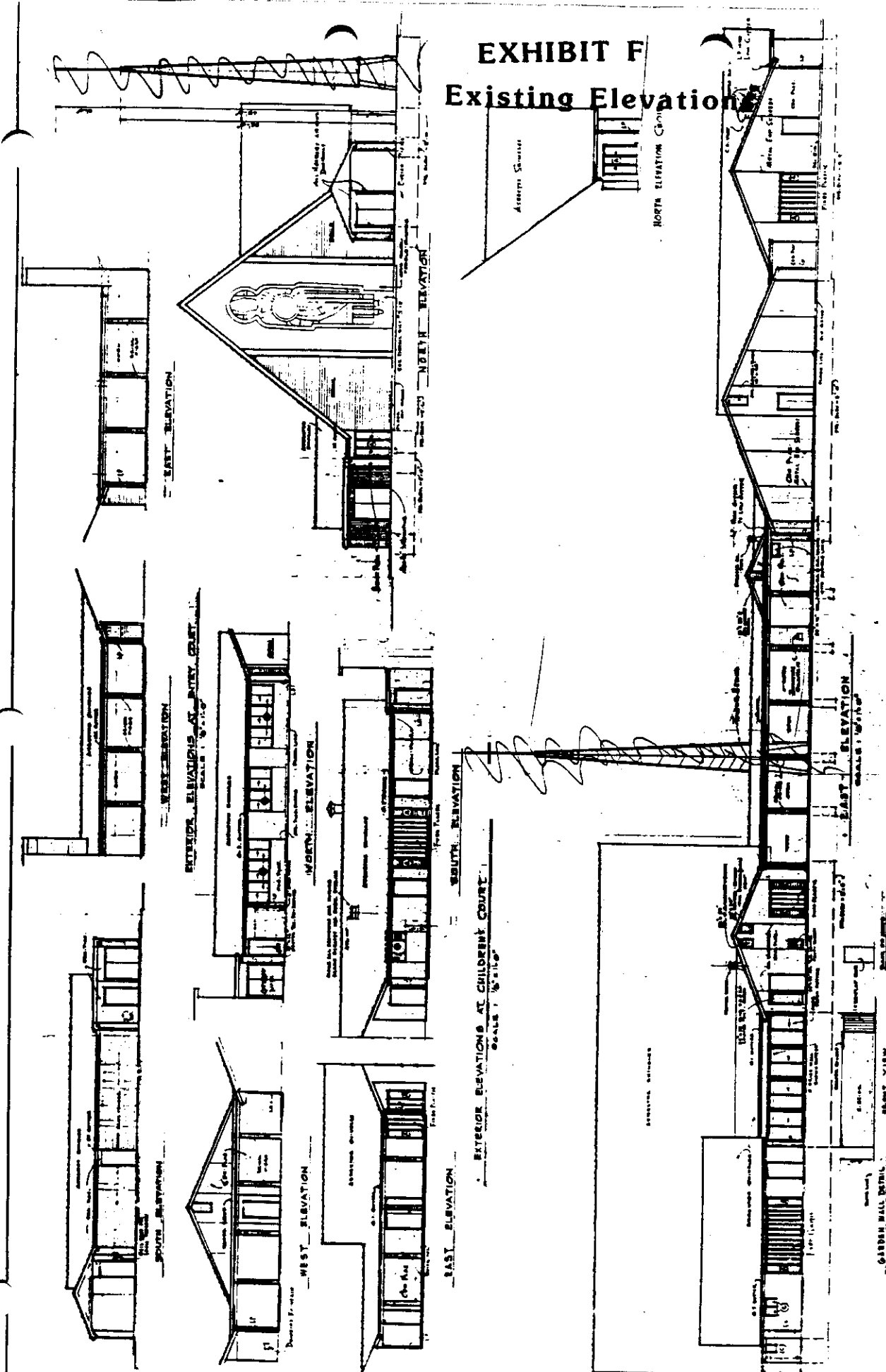
PROJECT NO. 4111		DATE	
S A T I E R L E & T O M I C H A R C H I T E C T S		DATE	
Ivan C. Osterloh, A.I.A.		DATE	
Richard A. Tomich, A.I.A.		DATE	
SACRAMENTO, CALIFORNIA		DATE	
S A I N T L U T H E R S		DATE	
LUTHERAN CHURCH		DATE	
SACRAMENTO, CALIFORNIA		DATE	

P87-265

7-9-87
7-23-87

Item 6

EXHIBIT F Existing Elevation



S A T T E R L E E & T O M I C H A R C H I T E C T S		PROJECT No. 671	
GARDEN WALL DETAIL		DATE UNIT	
CONTRACTOR		1-8-44	
OWNER		S A I N T L U K E S	
ARCHITECT		A M E R I C A N	
CLIENT		L U T H E R A N C H U R C H	
ADDRESS		S A C R A M E N T O C A L I F O R N I A	
DATE		S H E E T 1	
SCALE		S H E E T 2	
DRAWN BY		S H E E T 3	
CHECKED BY		S H E E T 4	
DATE		S H E E T 5	

P87-265

7-9-87
7-23-87

Item 2

