

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 0309324

Insp Area: 2

Thos Bros: 317 C1

Site Address: 1427 TENEIGHTH WY SAC

Parcel No: 012-0361-020

Sub-Type: NGAR

Housing (Y/N): N

CONTRACTOR

OWNER

CHAMPOMIER SYLVIA
1427 TENEIGHTH WY
SACRAMENTO CA 95818

ARCHITECT

Nature of Work: 525 SF DETACHED GARAGE TO REPLACE EXISTING GARAGE DUE TO TERMITE DAMAGE

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

[Signature] I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvement is not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

[Signature] I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

[Signature] I am exempt under Sec. _____ B & PC for this reason: _____
Date 6-24-03 Owner Signature *[Signature]*

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 6-26-03 Applicant/Agent Signature *[Signature]*

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:
_____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

_____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

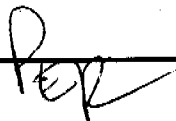
_____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 6-26-03 Applicant Signature *[Signature]*

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

City of Sacramento Planning Division
PLANNING REVIEW FOR BUILDING PERMIT SUBMITTAL

ADDRESS: 1427 Teneighth Way	APN: 012-0361-020
DRPB AREA / PUD / SPD: None	ZONING: R-1
EXISTING LAND USE: SFR w/ detached garage	
PROPOSED USE: Reconstruct garage, slightly largely, with storage loft above	
PLANNING STAFF WILL CHECK ONE OR MORE OF THE ITEMS BELOW:	
<input type="checkbox"/>	Planning review is NOT required.
<input type="checkbox"/>	Use is NOT allowed; applicant CANNOT submit for plan check.
<input type="checkbox"/>	Requires APPLICATION(s): PC ZA IR ER DR PB
	Required Planning application must be submitted <i>before</i> project can be submitted for plan check.
<input type="checkbox"/>	Application(s) IN PROGRESS: Applicant may submit for concurrent building permit plan check, at applicant's risk. Building Division must check with Planning staff and/or SITE before issuing building permit.
<input type="checkbox"/>	Application(s) COMPLETED: Building permit must conform to approved plans and comply with all conditions of approval. Do NOT issue building permit prior to end of 10 day appeal period.
<input checked="" type="checkbox"/>	Plans may be submitted for plan check. Plan checker(s) shall confirm compliance with Zoning Ordinance requirements and all applicable development standards <i>prior to issuance</i> of building permit.
<input checked="" type="checkbox"/>	Meets setback & lot coverage requirements as shown on site plan provided.
<input checked="" type="checkbox"/>	Plans to be submitted have been stamped/signed by Planning counter staff.
<input type="checkbox"/>	Route to SITE for plan check and inspection.
<input type="checkbox"/>	Preliminary review ONLY; the information on this form must be reviewed again and confirmed at the time of building permit submittal.
COMMENTS: Lot area = 6970 (Metroscan); 50 x 142 = 7100 Lot coverage = 2056 + 525 = 2581 / 6970 = 37 % Max wall height measured from lot grade = 10 feet; max overall height = 18 feet.	
DATE: 6/25/03	BY: Phil Reed 

GARAGE REMODEL
 1427 Teneighth Way
 Sacramento, CA 95818

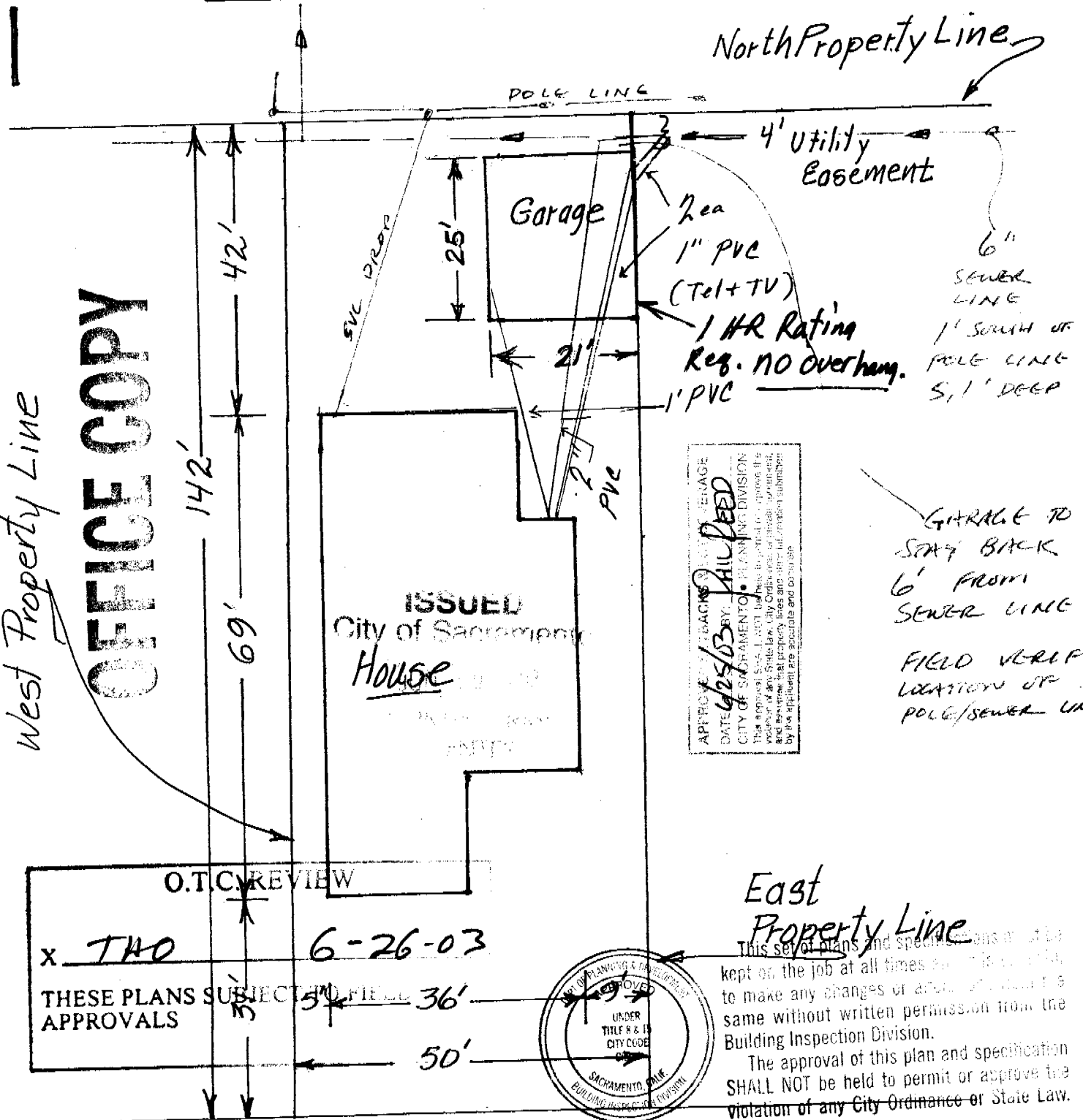
Parcel No. 012-361-20

North Property Line



West Property Line

OFFICE COPY

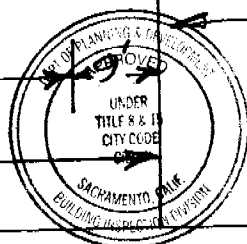


APPROVED FOR BAGGAGE
 DATE 6/25/03 BY PAUL DEED
 CITY OF SACRAMENTO - PLANNING DIVISION
This approval does not constitute an approval of any State law, City Ordinance or other governmental action. The City of Sacramento is not responsible for any property loss or damage, and no liability shall be held against the City of Sacramento for any such loss or damage.

GARAGE TO STAY BACK 6' FROM SEWER LINE

FIELD VERIFY LOCATION OF POLE/SEWER LINE

O.T.C. REVIEW
 x TAO 6-26-03
 THESE PLANS SUBJECT TO FIELD APPROVALS



East Property Line

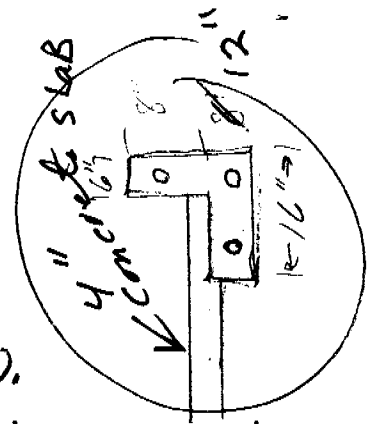
This set of plans and specifications shall be kept on the job at all times and shall not be used to make any changes or additions without the same without written permission from the Building Inspection Division.
 The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

Site Map
 Scale: 1" = 20'

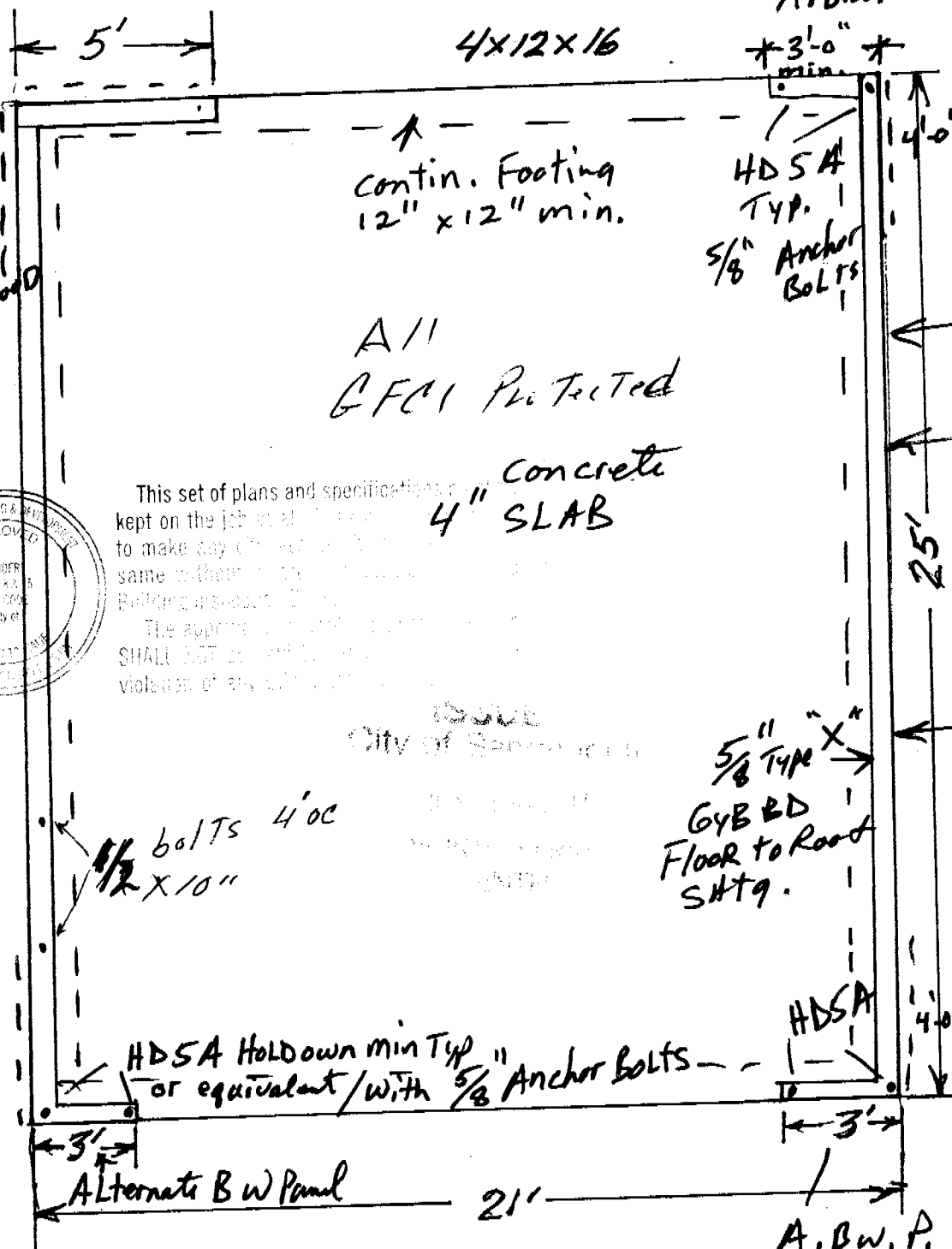
'Teneighth Way'

0309324

Parcel No 012-361-20
FOUNDATION DETAIL



Braced
 Wall Panel
 4'-0"
 3/8" Plywood
 TYP



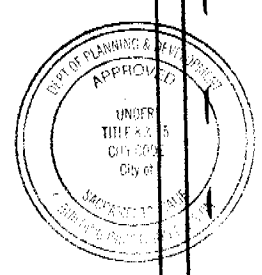
Foundation detail

NO overhang this side.

NO openings in wall.

1-HR Rated Wall
 3 coat stucco EXT /

3/8" plywood under stucco
 Nailed 6" Edge
 12" Field
 ALL EXT. walls

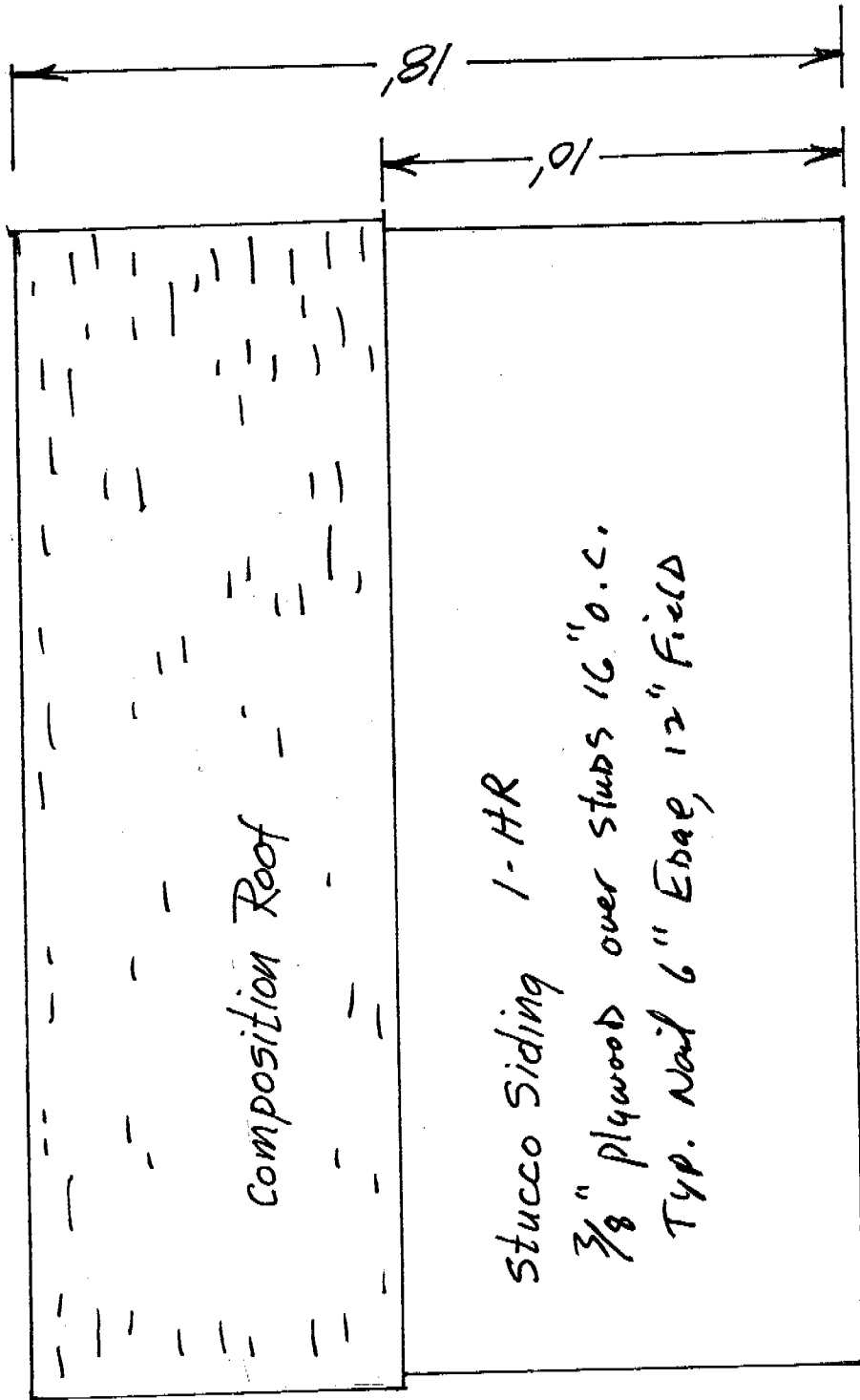
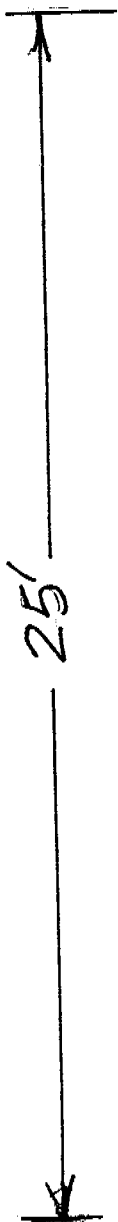


This set of plans and specifications is kept on the job site at all times to make any changes to the same without the approval of the Building Department. The approval of this plan SHALL NOT be construed as a violation of any other laws.

City of San Francisco

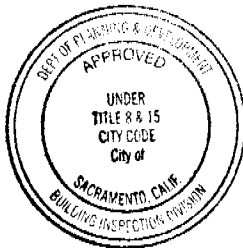
5/8" TYP X
 GYB BD
 Floor to Roof
 SAT9.

1/2" bolts 4'oc
 1/2" x 10"



Eastern Elevation
Garage Remodel
Parcel No. 012-361-20

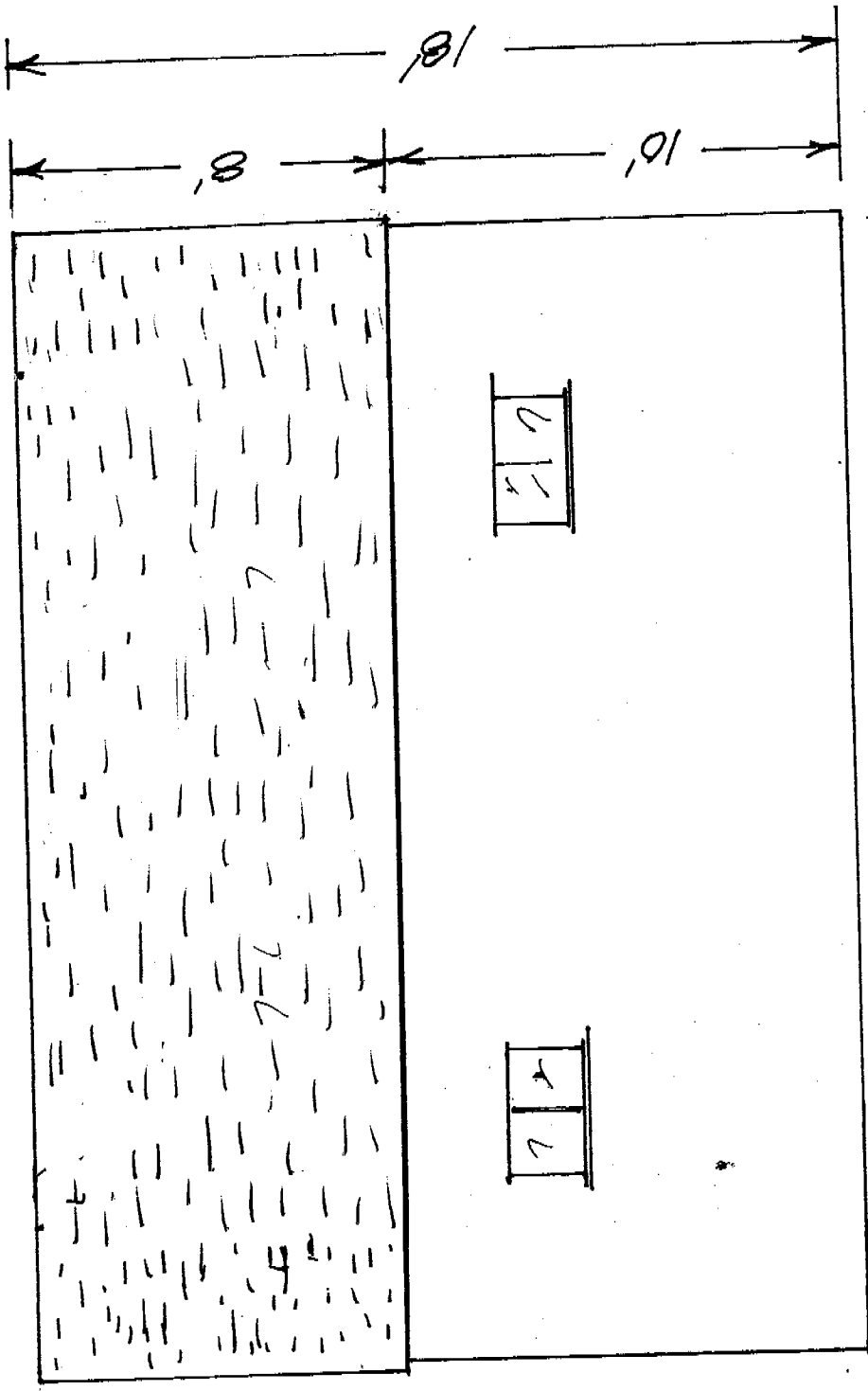
City of Sacramento
PLANNING & DEVELOPMENT
CITY ENGINEER



This set of plans and specifications shall be kept on the job at all times and the contractor shall not make any changes or alterations without written permission from the Building Inspection Division.

The approval of this plan and specifications SHALL NOT be held to permit or approve any violation of any City Ordinance or State law.

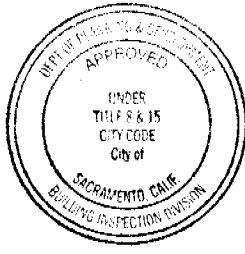
Scale 1" = 1/4"



Western Elevation
Garage Remodel
Parcel No. 012-361-20

189
City of Sacramento
JUN 11 1964
SACRAMENTO CITY CENTER

25'

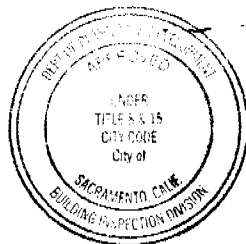
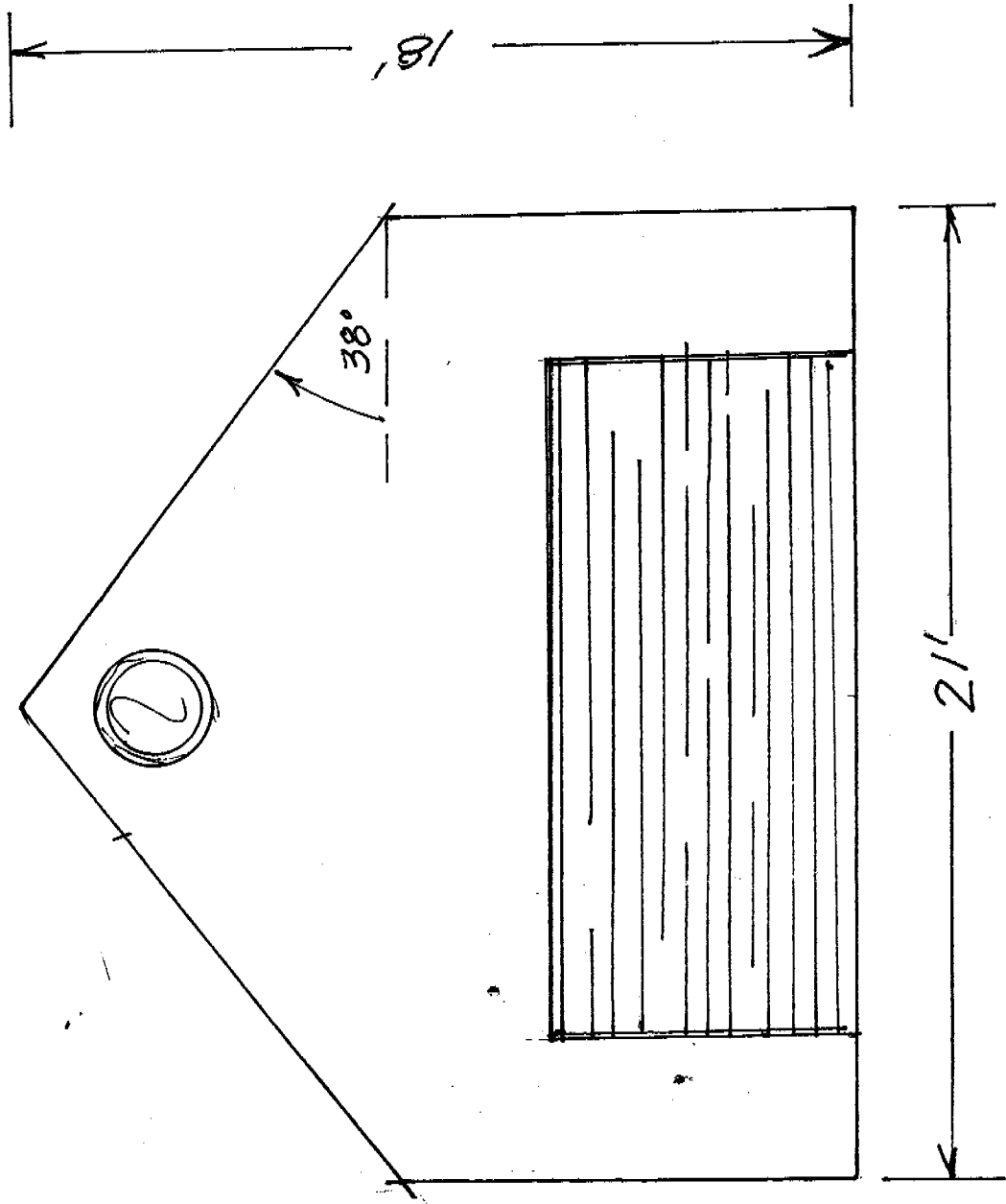


This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

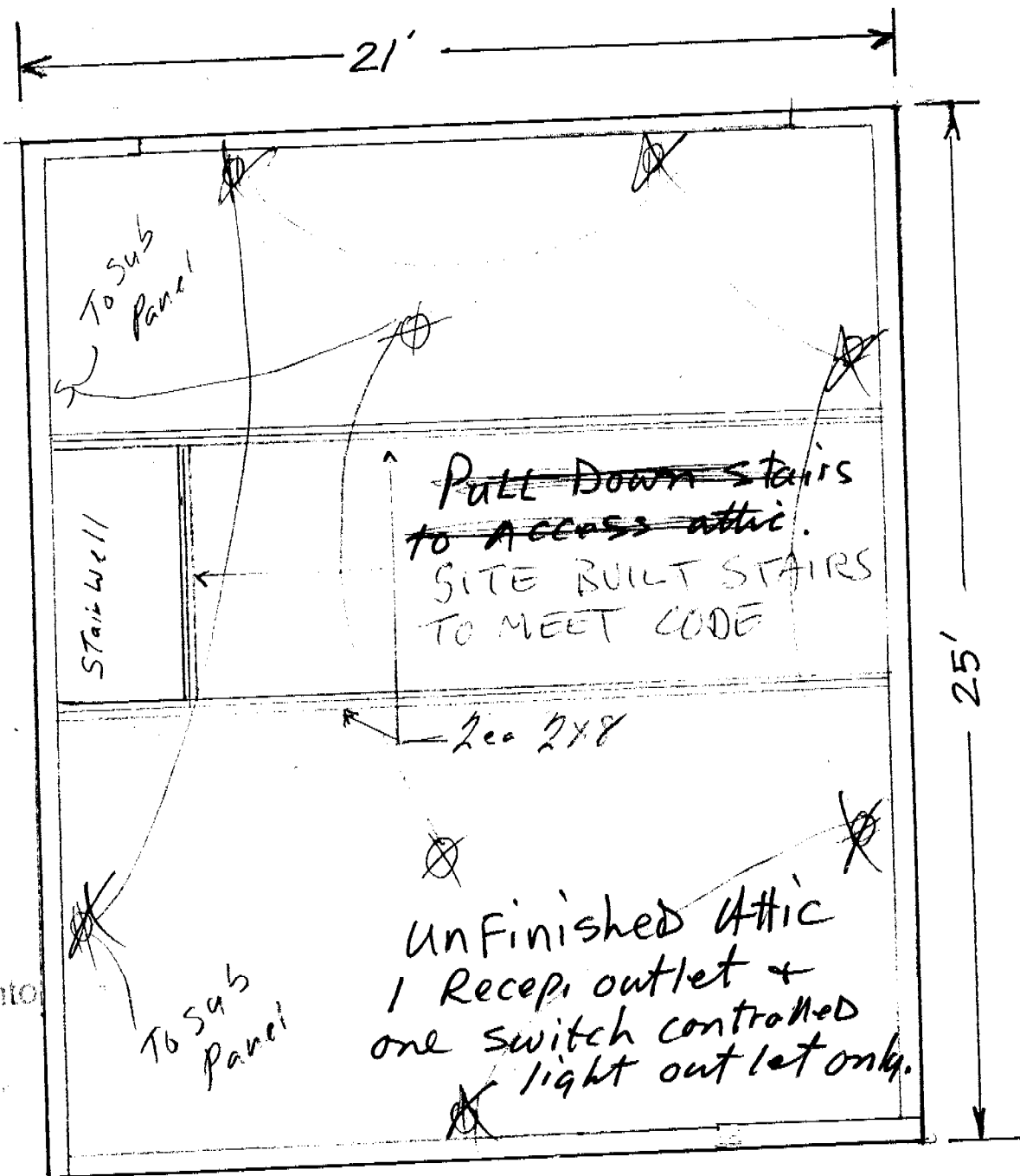
Scale 1" = 4'

Garage Remodel - Parcel No 012-361-20
Southern Elevation



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

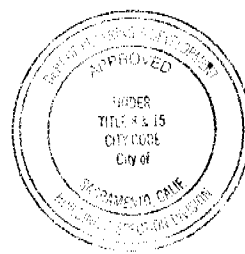
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



ISSUED
 City of Sacramento
 JUN 18 2003
 MARK PERMY
 CENTER

Garage Remodel
 Parcel No 012-361-20
 Garage attic floor

Top



This set of plans and specifications may be kept on the job at all times and it is a law to make any changes or alterations from the same without written permission from the Building Inspection Division.
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Schematic of Garage (Not to Scale)

Garage Remodel

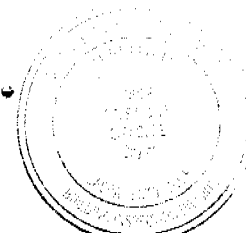
Parcel No. 012-361-20

1427 Teneighth Way

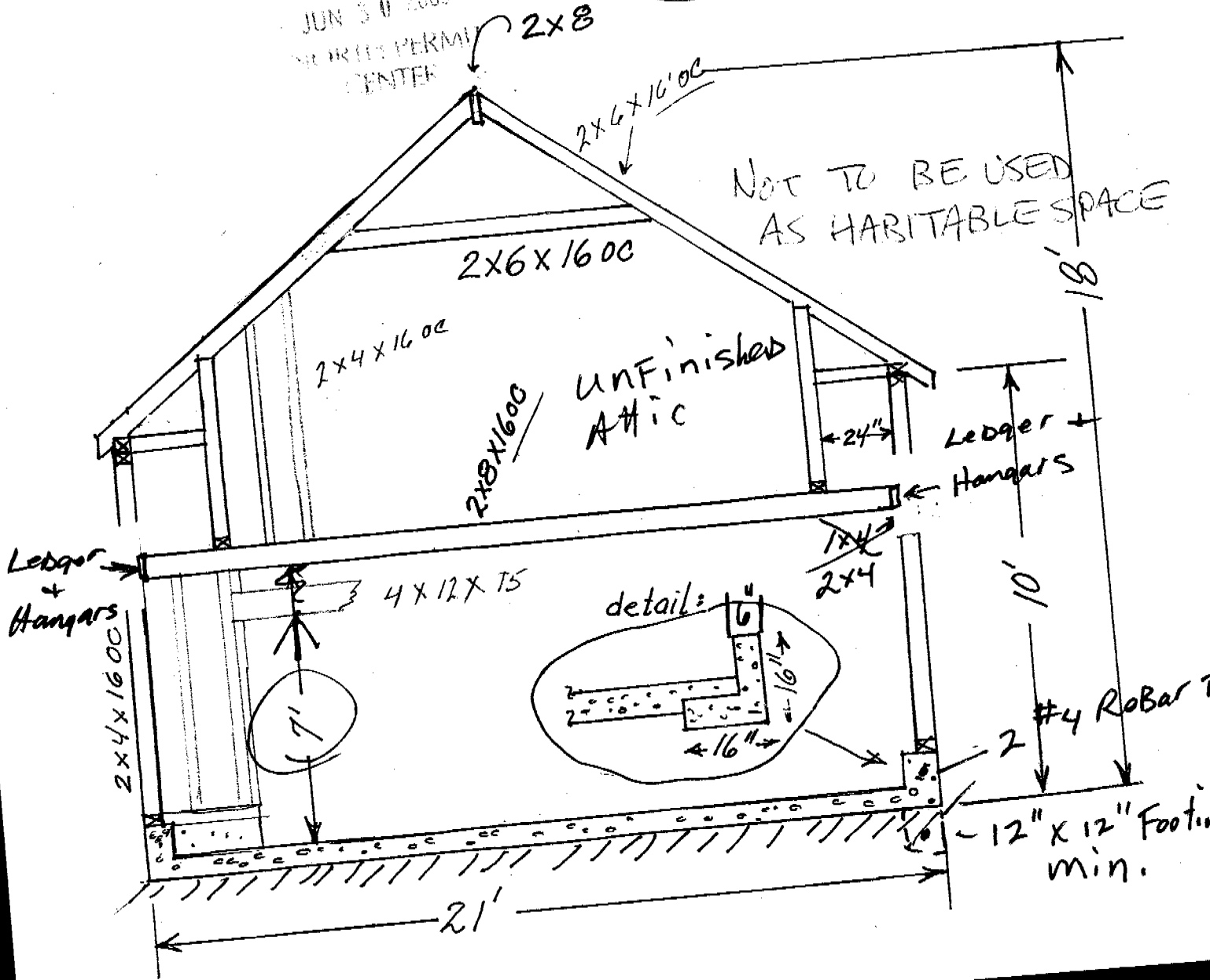
ISSUED
City of Sacramento

JUN 30 2003

SECURITY PERMIT
CENTER



For every specific violation.
The approval of this plan shall not be held to permit to approve the violation of any City Ordinance or State Law.



HDA/HD HOLD-DOWNS



Hold-downs are used to transfer tension loads between floors, to tie purlins to masonry or concrete, etc. Use HDAs and HDs for overturning requirements and other applications to transfer tension loads. All HDAs and the HD15 are self-jiggling, ensuring code-required minimum 7 bolt diameter spacing from the end of the wood member to the center of the first bolt hole.

HD6A, HD8A, HD10A and HD14A's seat design allows greater installation adjustability. An overall width of 3 1/4" for the HD6A, HD8A and HD10A, and 3 1/2" for the HD14A provides an easy fit in a standard 4x wall.

HDA SPECIAL FEATURES:

- Single piece non-welded design results in higher capacity.
- Load Transfer Plate eliminates the need for a seat washer.
- Fewer inspection problems.

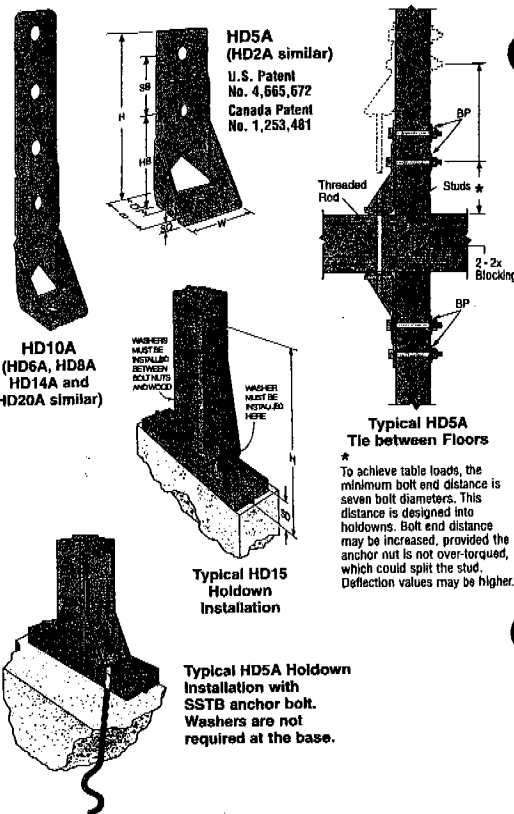
MATERIAL:

See table
FINISH: HD2A, 5A, 6A, 8A, 10A—galvanized. HD8A may be ordered HDG; check with factory. HD14A, HD15, HD20A—Simpson gray paint

INSTALLATION:

- Use all specified fasteners. See General Notes.
- For an improved connection, use a steel nylon locking nut or a thread adhesive on the anchor bolt.
- Bolt holes shall be a minimum of 1/8" to a maximum of 1/4" larger than the bolt diameter (per 1997 NDS, section 8.1.2.1.).
- Standard washers are required between the base plate and anchor nut (HD15 only), and on stud bolt nuts against the wood. The Load Transfer Plate is an integral part of the HDA Hold-down and no washer is required. See page 10 for BP/LBP Bearing Plates.
- See SSTB Anchor Bolts, Simpson's Anchoring Systems and Additional Anchorage Designs for anchorage options. The design engineer may specify any alternate anchorage calculated to resist the tension load for a specific job.
- Locate on wood member to maintain a minimum distance of seven bolt diameters, distance is automatically maintained when end of wood member is flush with the bottom of the hold-down.
- To tie double 2x members together, the designer must determine the fasteners required to bind members to act as one unit without splitting.
- For hold-downs, anchor bolt nuts should be finger-tight plus 1/8 to 1/2 turn with a wrench, with consideration given to possible future wood shrinkage. Care should be taken to not over-torque the nut.
- Stud bolts should be snugly tightened (1997 NDS, section 8.1.2.4).
- For additional information, request T-HD.

CODES: BOCA, ICBO, SBCCI NER-393, NER-469;
 City of L.A. RR 24618, RR 25158 and RR 25293.
 HD6A and HD14A are not NER listed.

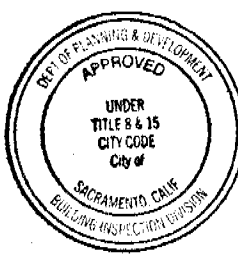


Model No.	Material		Dimensions								Fasteners		Avg. UN	Load					Hold-down Deflection at Highest Allowable Design Load	
	Base G	Body Gd	HB*	SB	W	H	B	SO	CL	Anchor Dia.	Qty	Dia		1555	2055	2565	2775	2760		
HD2A	7	12	4%	2 1/2	2 1/2	8	2 3/4	3/4	1 1/4	3/4	2	3/4	12150	1555	2055	2565	2775	2760	0.058	
HD5A	3	10	5%	3	3 1/4	9 1/4	3 3/4	1/2	2 3/4	3/4 or 1/2	2	3/4	20767	1870	2485	3095	3705	4010	3980	0.067
HD6A	3/4	7	6%	3 1/4	3 1/4	11 1/4	3 3/4	3/4	2 1/4	3/4	2	3/4	27333	—	—	—	—	—	—	0.041
HD8A	3/4	7	6%	3 1/4	3 1/4	14 1/4	3 3/4	3/4	2 1/4	3/4	3	3/4	28667	—	—	—	—	—	—	0.111
HD10A	3/4	7	6%	3 1/4	3 1/4	18 1/4	3 3/4	3/4	2 1/4	3/4	4	3/4	28667	—	—	—	—	—	—	0.269
HD14A	3/4	3	7	4	3 1/4	20 1/4	3 3/4	3/4	2 1/4	1	4	1	38167	—	—	—	—	11080	13380	0.215
HD20A	3/4	3	7	4	4 1/4	20 1/4	4 1/4	3/4	2 1/4	1 1/4	4	1	51383	—	—	—	—	11080	13380	0.250
HD15	3/4	3	7	4	3 1/4	24 1/4	4 1/4	3/4	2 1/4	1 1/4	5	1	55333	—	—	—	—	—	15305	0.082

1. Allowable loads have been increased 33% for earthquake or wind loading with no further increase allowed; reduce where other loads govern.
2. HD15 requires a minimum #6 nominal post. Minimum post size is required to ensure the load carrying capacity of the critical net section meets the hold-down capacity.
3. Use a minimum #6 nominal post for the HD14A and the HD20A. Minimum post size is required to ensure the load carrying capacity of the critical net section meets the hold-down capacity.
4. HB is the required minimum distance from the end of the stud to the center of the first stud bolt hole. End distance may be increased as necessary for installation.
5. The designer must specify anchor bolt type, length and embedment. See SSTB Anchor Bolts and Additional Anchor Designs.
6. See page 32 for anchor bolt retrofit.
7. Lag bolts will not develop the listed loads.
8. Hold-downs installed raised off the mudsill have larger deflection values. Consult Simpson for info.
9. Full tension loads apply when HD5A is used with a 3/4" anchor bolt.
10. See pgs 6, 7 for testing and other important information.
11. Deflection at Highest Allowable Design Load: The deflection of a hold-down measured between the anchor bolt and the strap portion of the hold-down when loaded to the highest allowable load listed in the catalog table. This movement is strictly due to the hold-down deformation under a static load test conducted on a steel jig.
12. For Hem Fir values request T-HEMFIR.

ISSUED
 City of Sacramento

JUN 30 2003
 NORTH BAY CENTER



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