

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

Permit No: 0012349

Insp Area: 2

Site Address: 7832 CALZADA WY SAC  
Parcel No: 117-1310-026  
N

JACINTO VILLAGE UNIT 1 LOT 26

Sub-Type: NSFR  
Housing (Y/N):

CONTRACTOR  
J&L PROPERTIES  
3434 MARCONI AV. STE. C  
SACRAMENTO CA. 95821

OWNER

ARCHITECT

Nature of Work: MP 1872 2 STORY 8 ROOM SFR

**CONSTRUCTION LENDING AGENCY:** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 660234 Date 10-16-02 Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above-mentioned property for inspection purposes.

Date 10-16-02 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier RELIANCE INS CO Policy Number NWA2047932-00 Exp Date 11/18/2000

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 10-16-02 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

NO. 5718 P. 2/15  
12349

Project Address: 7832 CANZADA WZ Assessor Parcel # 117-131-26  
Lot Number: 26 Subdivision Jacinto Village Unit: 1

OWNER INFORMATION:

Legal Property Owner: J&L Properties Phone# 916-487-3434  
Owner Address: 3434 Marconi Ave City Sacto State CA Zip 95821

CONTRACTOR INFORMATION:

Contractor: J&L Properties Lic. # 660088 Phone # 487-3434 Fax 487-3815

PROJECT INFORMATION:

Land Use Zone R1A Occupancy Group R3 Construction Type VN Fed Code 1A  
No. of Stories: 2 No. of Rooms: \_\_\_\_\_ Street Width: \_\_\_\_\_  
1<sup>st</sup> Floor Area 983 2<sup>nd</sup> Floor Area 887 Basement \_\_\_\_\_ Roof Material \_\_\_\_\_

AREA IN SQUARE FOOT OF:

Dwelling/Living 1872  
Garage/Storage 683  
Decks/Balconies \_\_\_\_\_  
Carports \_\_\_\_\_

SCOPE OF WORK: New SFD: PLAN 575

FOR OFFICE USE ONLY

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
  - a) Assessor's Parcel Number
  - b) New Floor Area
  - c) Owners Name
  - d) Project Address

Date: \_\_\_\_\_ Received by: (staff) \_\_\_\_\_ Permit # \_\_\_\_\_

Print in black ink. If printing, press hard for four copies

**PART I To be completed by APPLICANT**

OWNER'S NAME ~~XXXXXXXXXXXXXXXXXXXX~~ JAL Properties  
 OWNER'S ADDRESS 2424 MARCONI AVE SAC CA 95821  
 PROJECT ADDRESS 7832 CALZADA WY  
 PARCEL NUMBER 117-136-26 LOT NO. 26  
 SUBDIVISION NAME VENICE VILAGE UNIT 1  
 NUMBER OF UNITS 1  
 APPLICANT'S SIGNATURE [Signature]  
 TITLE OF APPLICANT \_\_\_\_\_  
 DATE 10/2/2000 PHONE NUMBER 487-3434

**PART II To be completed by BUILDING DEPARTMENT**

PLAN IDENTIFICATION NUMBER 57 J  
 BUILDING TYPE  
 RESIDENTIAL (  ) APARTMENT/CONDOMINIUM (  ) COMMERCIAL/INDUSTRIAL (  )  
 SQUARE FEET OF CHARGEABLE BUILDING AREA 1872  
 SIGNATURE \_\_\_\_\_  
 TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**PART III To be completed by SCHOOL DISTRICT OFFICIAL**

SCHOOL DISTRICT 811511  
 DISTRICT CERTIFICATION NO. 26676  

EXEMPT	COMMENTS	SQ FT X \$	= \$
<input checked="" type="checkbox"/> RESIDENTIAL/APT/CONDO	<u>1872</u>	<u>2.05</u>	<u>3837.60</u>
<input type="checkbox"/> COMMERCIAL/INDUSTRIAL	<u>1872</u>	<u>1.14</u>	<u>2134.08</u>
OTHER FEE	TYPE	SQ FT X \$	= \$
TOTAL FEES COLLECTED	<u>0</u>	<u>3.19</u>	<u>5971.68</u>

This Certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.


As the authorized school district official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.

**AUTHORIZED SIGNATURE**

SIGNATURE [Signature]  
 TITLE \_\_\_\_\_ DATE 10/13/00

COUNTY SANITATION DISTRICT NO. 1  
 SACRAMENTO REGIONAL COUNTY SANITATION DISTRICT  
**SEWER IMPACT FEE**  
 PERMIT AND CALCULATION SHEET

10/13/2010

APPLICATION NO.		BLDG PERMIT NO: <b>CITY</b>	
GENERAL INFORMATION			
THIS PERMIT GOOD ONLY WHEN VALIDATED BY THE CASHIER			
<p><b>263789</b></p> <p><b>10/12/2010</b></p>		<p>THIS PERMIT TO CONNECT EXPIRES ONE YEAR FROM DATE OF ISSUANCE</p>	
FEE CALCULATION		BUILDING USE	
INSPECTION		RESIDENTIAL SF <input type="checkbox"/>	MF <input type="checkbox"/>
CSD-1	<b>473</b>	COMMERCIAL USE	UNITS
SRCSD	<b>2404</b>		
CONSTRUCTION			
IN-LIEU			
<b>TOTAL FEE</b>	<b>2877</b>		
APN: <b>117-131-26</b>			
DESCRIPTION/SUBDIVISION: <b>TACINTO VILLAGE UNIT 1</b> LOT: <b>26</b>			
PROPERTY ADDRESS: <b>782 CAZARDA WAY</b>			
OWNER: <b>JAL PERENCES</b>			
MAILING ADDRESS: <b>3434 MAREMONI AVE</b>			
CITY-STATE-ZIP: <b>SAC CA 95821</b> PHONE: <b>487-3434</b>			
ADDITIONAL FEES MAY BE DUE IF CHANGES IN USE INCREASE SEWER IMPACT.			
APPLICANT SIGNATURE: 			
CONSOLIDATED UTILITY BILLING USE ONLY			
ACCT		INPUT	START

*Handwritten notes:*  
Date  
Sub

G1-27 T.B. PRINTING (702) 571-3018



# WesPac

insulation  
a MASCO Company



809 North Market Blvd, Ste. 11 • Sacramento, CA 95834  
(916) 927-7149 • Fax (916) 927-4257  
Lic. #487478

## Installed Insulation Certificate

We certify that the building insulation listed herein is installed in conformance with current energy conservation regulations, California Administrative Code, Title 24, State of California

R FACTOR	AREA	TYPE	INCHES/DIAGS (DOWN)
R-30	Ceiling area	Fiberglass Batt	10.25"
R-19	Ceiling area	Fiberglass Batt	6.5"
R-13	Ext wall	Fiberglass Batt	3.5"
R-19	Ext wall	Fiberglass Batt	6.5"

Certified by Anthony Jimenez  
Title Secretary

LAGUNA POINT  
Address or Lot Number  
01/29/01  
Date Installed  
Phase #

**N**orman

**S**cheel

**S**tructural

**E**ngineer

Sacramento  
5022 Sunrise Blvd.  
Fair Oaks, CA 95628  
(916) 336-9585

NORMAN SCHEEL  
Structural Engineer  
Email: [norm@nssa.com](mailto:norm@nssa.com)

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Davis, CA 95616  
(530)753-5300  
(530)753-5380(fax)

TRACY HARRIS P.E.  
Project Engineer  
Email: [tracy@nssa.com](mailto:tracy@nssa.com)

DARRELL PEREIRA  
Design Engineer  
Email: [darrell@nssa.com](mailto:darrell@nssa.com)

November 10, 2000

JTS Communities  
3434 Marconi Ave. Suite A  
Sacramento, CA 95821

Detail  
423

Re: Relocation of girder truss layout at front of upper story  
Plan 116SP / NN (#99159 / 20067)

To whom it may concern:

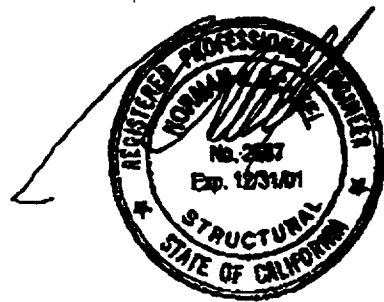
This letter is to verify that for the above plan an alternate girder truss layout has been reviewed by this office. The alternate layout consists of the following:

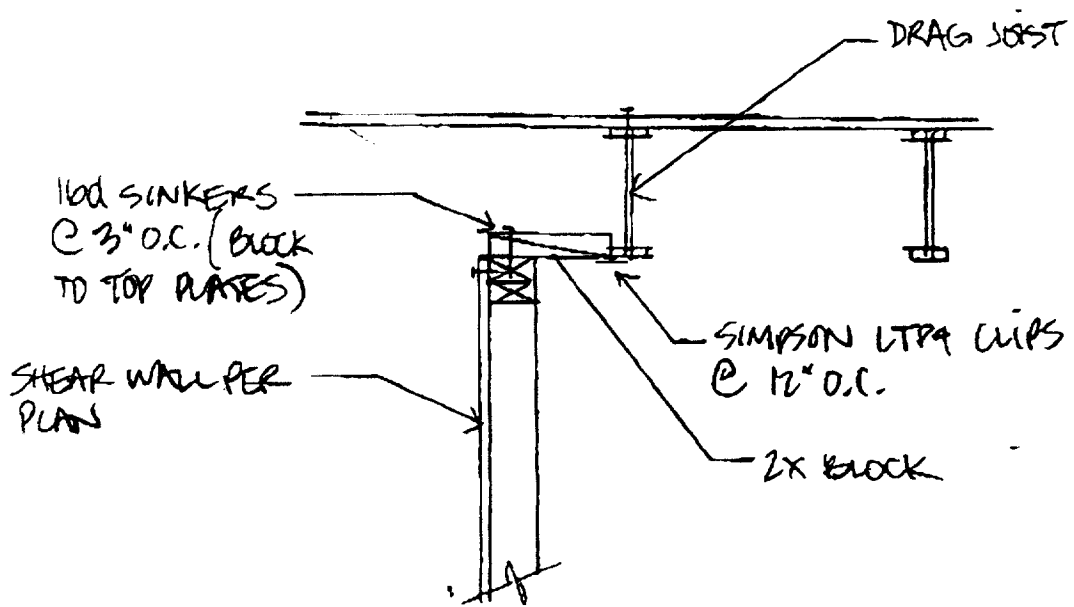
- Relocating the girders currently shown on the plans to be in-line with the upper story shear wall. This includes relocating all support posts to be under the girder trusses in their new locations.
- The Simpson CMST14 Strapping and blocking that ties the front, left girder to the roof sheathing could be eliminated. This would also eliminate the need for detail 423 and 468.
- Simpson MSTC28 Straps must be installed from both ends of the front, left girder truss to the top plates to complete the drag/chord tie. The front, right girder truss will be attached to the top plates with a Simpson CS16 Strap on the left end only.

If you have any questions please contact Paulo Ibañez.

NORMAN SCHEEL  
STRUCTURAL ENGINEER

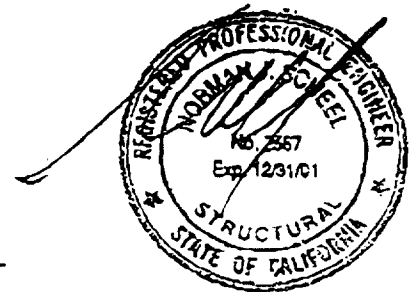
Pl:pi





○ SHEAR TRANSFER AT OFFSET JOIST N.T.S.

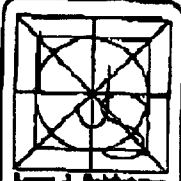
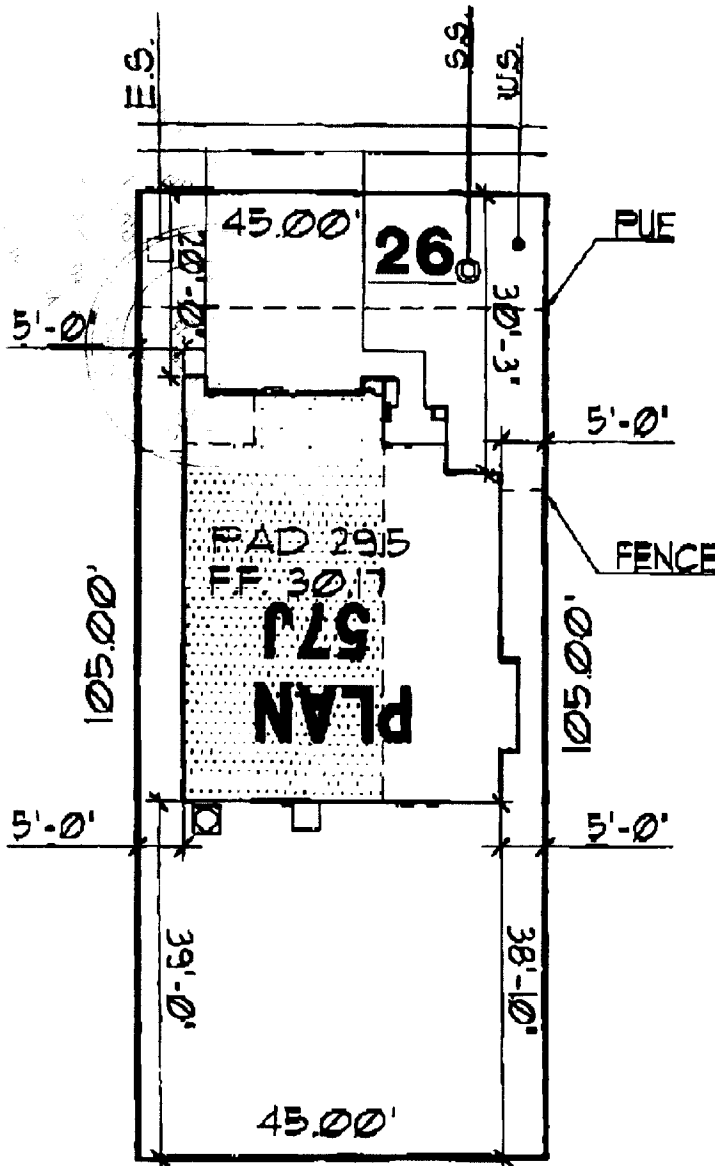
PLAN 116 ALT. SHEAR TRANSFER 11/17/00	1 OF 1
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Cam:

1 STORY HOUSE  
2 - CAR GARAGE  
4725 SQ. FT. OF LOT  
7832 STREET ADDRESS

### CALZADA WAY



Larry J. Archibald  
Architect  
No. 6718

REVISIONS

ORIGINAL  
SEP 18 2000  
Cindy Moreno

**JTS Communities**  
3434 Marconi Avenue  
Sacramento, CA 95821 (916) 487-3434  
Suite A

PROPOSED SITE PLAN  
JACINTO VILLAGE UNIT NO. 1  
SUBDIVISION

LAGUNA  
PONTE

Date: 9-18-00  
Drawn: [initials]  
Job:  
Scale: 1"=20'-0"  
Sheet:

APPROVED FOR RELEASE: *Scott Krueger* DATE: 9-19-00 APPROVED BY BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_