

CITY OF SACRAMENTO

Permit No: 9811992

1231 I Street, Sacramento, CA 95814

Insp Area: 2

Site Address: 6288 SURFSIDE WY SAC

Sub-Type: ASFR

Parcel No: 0300790001

Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

ZAMPATHAS MANUEL & MARIE
6288 SURFSIDE WY
SACRAMENTO CA 95831

Nature of Work: NEW 3088SQ FT SFD 1344SQFT GAR 180SQFT PATIO

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 593254 Date Dec-30-98 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date Owner Signature

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Date Dec-98 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 229-98-UNIT # 0011131 Exp Date 01-01-99

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date Dec-30-98 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

**City of Sacramento Development Services Division
Planning and Zoning Information Request**

Project Address: 6288 Surfside Way

Assessor's Parcel Number: 030-0790-001

Current Land Use: vacant (2.5 story)

Description of Request/Proposed Use: new s.f. res with attached 4-car garage.

Zoning Designation: R1

Prior Applications for Project Site(P#,Z#,DRPB#): none

Comments: none

(based on plans dated Dec 4 '98 by Don Nguyen.)

Are There Any Planning Issues?: (Circle One) YES NO

Site Plan Check Required? (Circle One) YES NO no

Design Review/ Preservation Required?: (Circle One) YES NO

Planning Review by/Date: [Signature] 12-4-98

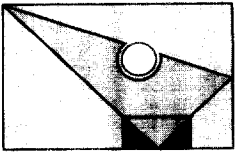
A list of items that must be reviewed by Planning is provided on the reverse side of this form.

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

CERTIFICATION OF COMPLIANCE

SCHOOL DISTRICT DEVELOPMENT FEES

PROPERTY OWNER'S NAME		RON NGUIEN	
OWNER'S ADDRESS		6288 SURESIDE WY. SACRAMENTO CA 95834	
PROJECT ADDRESS		6288 SURESIDE WY. SACRAMENTO CA 95831	
PARCEL NUMBER		030 - 0790 - 001 LOT NUMBER #1	
SUBDIVISION NAME		GRANGER DAIRY UNIT #2	
NUMBER OF UNITS		one	
APPLICANT'S SIGNATURE		<i>Ron Nguien</i>	
TITLE OF APPLICANT		OWNER	
DATE		TELEPHONE NUMBER	
PART I To be completed by BUILDING DEPARTMENT			
PLAN IDENTIFICATION NUMBER			
BUILDING TYPE (CHECK ONE)			
<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> APARTMENT/CONDOMINIUM <input type="checkbox"/> COMMERCIAL/INDUSTRIAL			
SQUARE FEET OF CHARGEABLE BUILDING AREA		3038	
SIGNATURE <i>[Signature]</i>			
TITLE <i>Asst En. P. C. Calk</i>		DATE <i>12/22/98</i>	
PART II To be completed by SACRAMENTO CITY UNIFIED SCHOOL DISTRICT			
DISTRICT CERTIFICATION NUMBER <i>10329</i>			
EXEMPT		COMMENTS	
RESIDENTIAL / APARTMENT / ETC.	<u>3088</u> SQ. FT. X \$ <u>1.72</u>	=	\$ <u>5311.36</u>
COMMERCIAL / INDUSTRIAL	_____ SQ. FT. X \$ _____	=	\$ _____
OTHER FEE _____	TYPE _____ SQ. FT. X \$ _____	=	\$ _____
TOTAL FEES COLLECTED.....			\$ <u>5311.36</u>
<p><i>This certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.</i></p> <p><i>As the authorized school district official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.</i></p>			
SACRAMENTO CITY UNIFIED SCHOOL DISTRICT			
SIGNATURE <i>[Signature]</i>			
TITLE <i>CIVIL ENGINEER</i>		DATE <i>12/23/98</i>	



DON BLESSEN, INC.
Structural Engineering
CAD Drafting

March 3, 1999

City of Sacramento
Building Inspection Division

RE: NGUYEN RESIDENCE

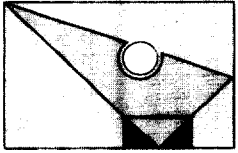
Where box nails were used in place of common nails, It is OK to reduce spacing by half for both edge/field conditions at shear walls.

If you should have any questions, please give me a call.

Sincerely,

Don Blessen, P.E.





DON BLESSEN, INC.
Structural Engineering
CAD Drafting

March 5, 1999

City of Sacramento
Building Inspection Division

RE: NGUYEN RESIDENCE

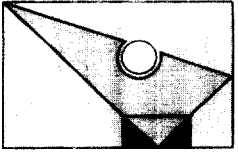
1. The shear wall nailing (1 1/2" o.c. to 2" o.c.) locations which use 2x studs, instead of the perscribed 3x studs) is okay as is - no change required because in my judgement the loss of strength in the edge members due to overnailing is more than made up with the increased field nailing.
2. The increased window sizes in the upper shear walls is okay as is - no change required. Shear wall 10 still is okay for the specified wall sections.
3. The specified vertical straps at the garage front are nominal in size only. And no calculated load was required on these straps. Therefore, mixing 16d common and 16d sinkers is okay.
4. It's okay to shear the walls on the inside face at the left / front section of the house. As usual the shear should run continous from the top plate of the wall section to the sole plate with all edges blocked.

If you should have any questions, please give me a call.

Sincerely,



Don Blessen, P.E.



DON BLESSEN, INC.
Structural Engineering
CAD Drafting

March 24, 1999

City of Sacramento
Building Inspection Division

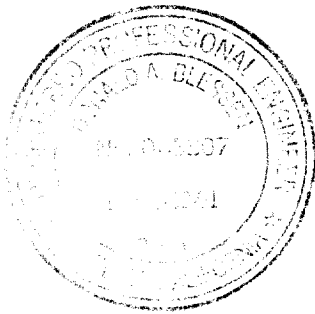
RE: NGUYEN RESIDENCE, 6288 SURFSIDE WAY

The deepened seat cuts at the rafters are OK as is, no change is required. This is because the rafters maximum span is dictated by the section properties of the rafter at mid-span and not at the support. The support section properties, in most cases, are not what governs the design of the rafter.

If you should have any questions, please give me a call.

Sincerely,

Don Blessen, P.E.



ELEVATION CERTIFICATE
FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077
 Expires July 31, 1999

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). You are not required to respond to this collection of information unless a valid OMB control number is displayed in the upper right corner of this form.

Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE	
BUILDING OWNER'S NAME MARIE ZAMPATHAS - RON NGUYEN (new owner)		POLICY NUMBER	
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER 6288 SURFSIDE WY. SACRAMENTO CA 95831		COMPANY NAIC NUMBER	
OTHER DESCRIPTION (Lot and Block Numbers, etc.) APN # 030 - 0790 - 001 - GRANGERS DAIRY UNIT #2 LOT #1			
CITY SACRAMENTO	STATE CA	ZIP CODE 95831	

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER 060266	2. PANEL NUMBER 0025	3. SUFFIX F	4. DATE OF FIRM INDEX July 1, 1998	5. FIRM ZONE AR	6. BASE FLOOD ELEVATION (in AO Zones, use depth) 19
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7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

1. Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level _____.
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
5. The reference level elevation is based on: actual construction construction drawings
 (NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

1. If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
2. Date of the start of construction or substantial improvement _____.