

DESIGN CRITERIA

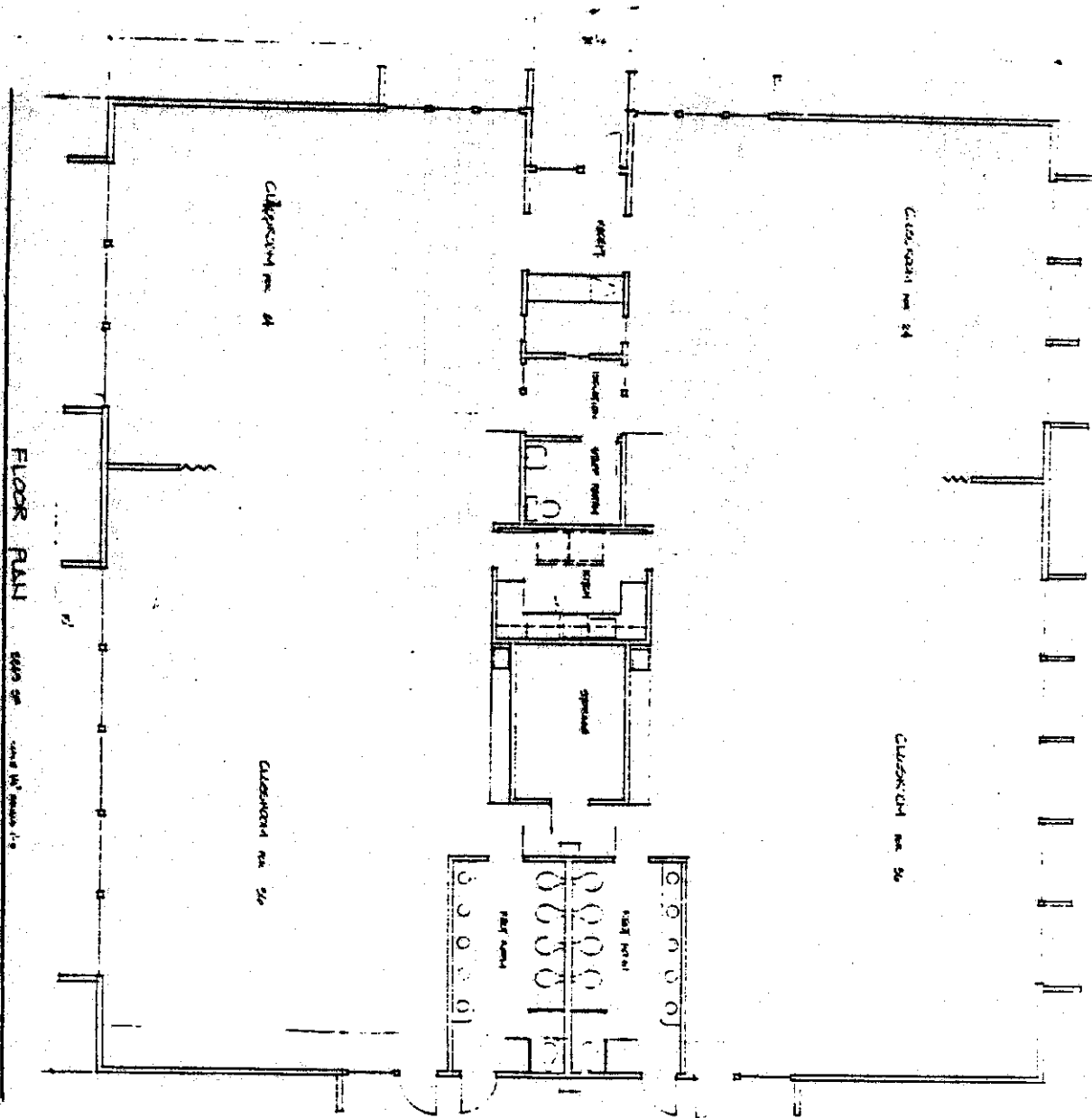
LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
 - a. Compatible with one another and with existing material on the site;
 - b. Complimentary to building design and architectural theme;
 - c. Varied in size (one and five-gallon shrubs, five and 15 gallon, and 24-inch box trees).
2. Landscape treatment shall include:
 - a. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc. may result in erosion or other problems;
 - b. Larger specimens of shrubs and trees along the site periphery;
 - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two-story structures;
 - d. Consistency with energy conservation efforts;
 - e. Trees located so as to screen parking areas and private first floor areas and windows from second-story units;
 - f. Undulating landscaped berms located along street frontages and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher;
 - g. The utilization of Evergreen trees in the landscaped areas adjacent to the shopping center site;
 - h. Sufficient tree plantings in conjunction with the carports to comply with the 50% shading requirement of surfaced areas.

TRASH ENCLOSURES

1. Sturdy enclosure walls shall be constructed to reduce maintenance.
2. Design and materials shall match or complement the residential structures.
3. Metal plate doors, if used, shall have wood veneer and/or wood battens.
4. Walls shall be a minimum six feet in height; more if necessary for adequate screening.
5. The enclosures shall be screened with landscaping.
6. The enclosures shall be adequate in capacity, number and distribution.

FLOOR PLANS

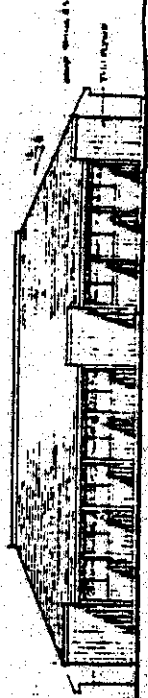


SHEET NO.	JOB	DATE	REVISIONS	MERRY KILL GRENCHY HALL BLDG SACRAMENTO, CA		JAMES R. LOEN ARCHITECT	
	313	5-14-84		20 - 10-84		648 NORTHFIELD DRIVE, SACRAMENTO, CA. 95823 (916) 522-4211	

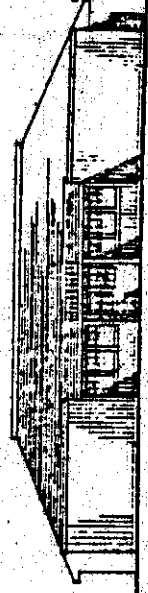
JAMES R. LOEN ARCHITECT 1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO. 80202 (303) 733-1111	MERRY HILL COUNTRY SCHOOL ARCHITECTURE, CO.	SHEET NO. 100 JOB DATE 5/19/84	5/19/84	3/20/84
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ELEVATIONS

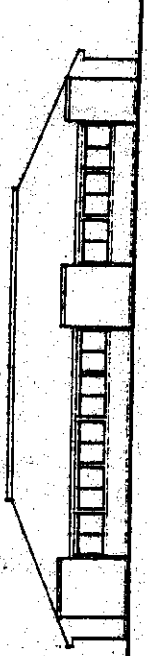
P 84213



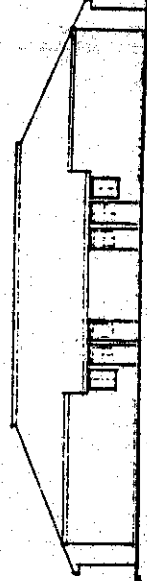
WEST ELEVATION



SOUTH ELEVATION



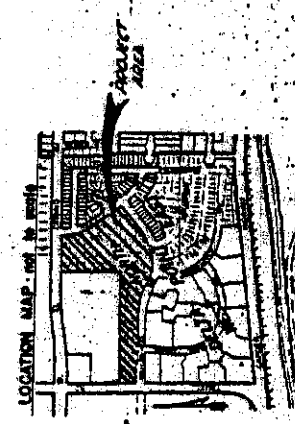
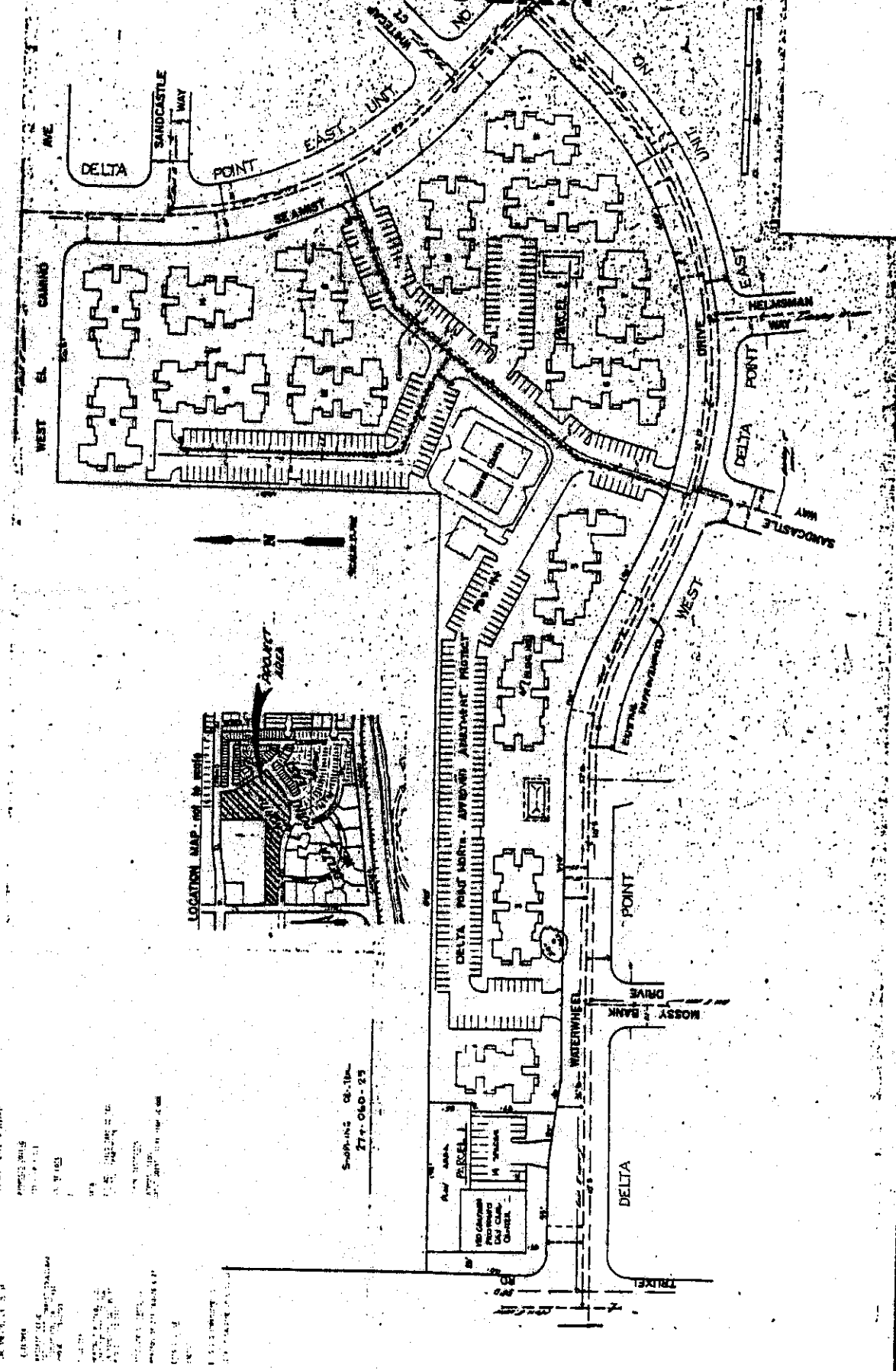
EAST ELEVATION



NORTH ELEVATION

P 84979

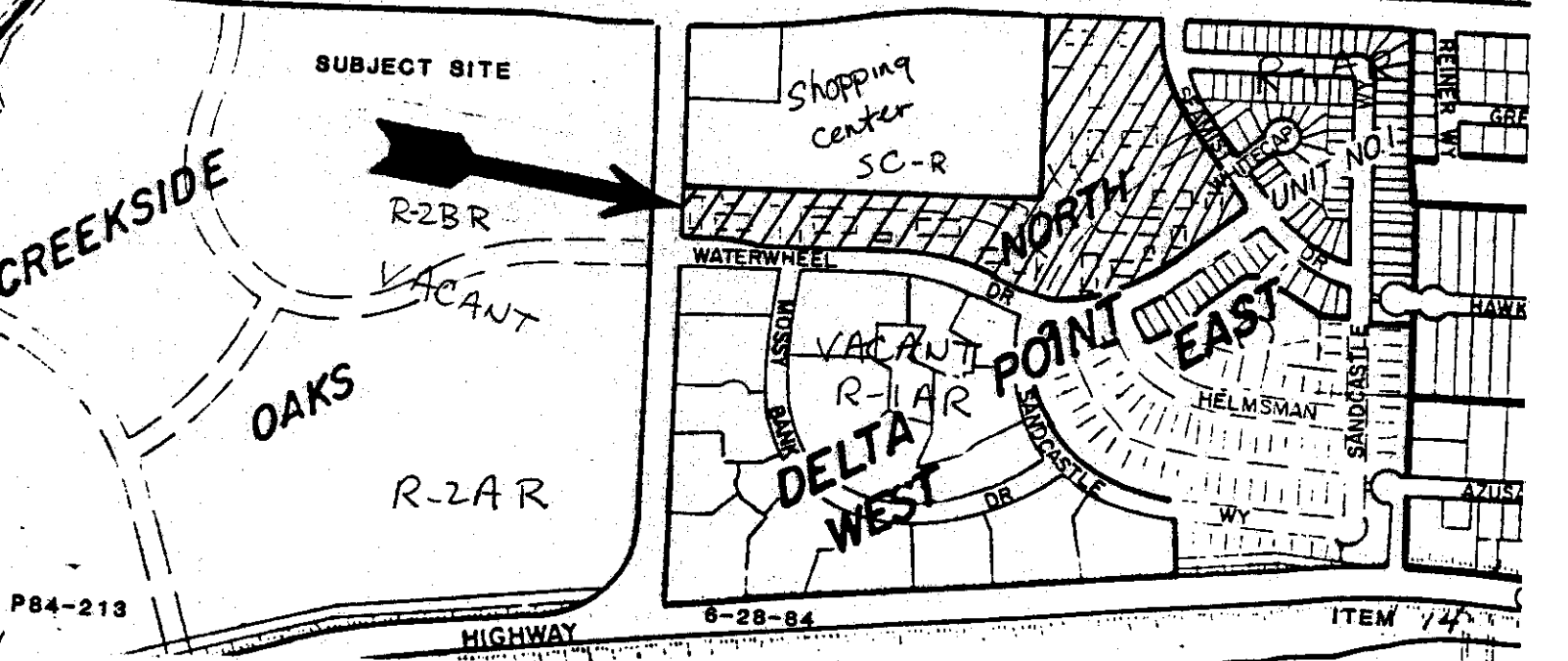
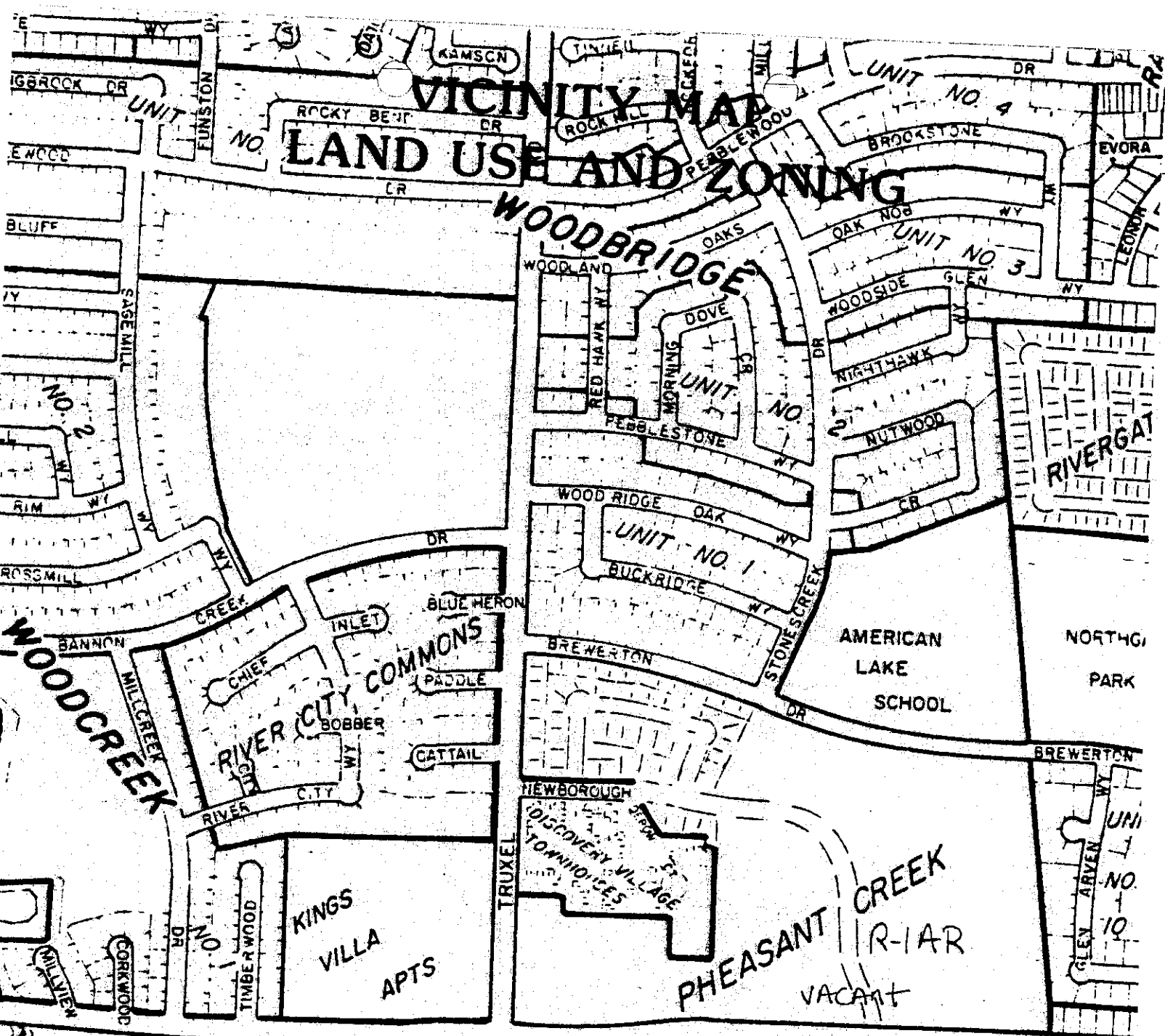
TENTATIVE MAP SITE PLAN



PREPARED BY: MORTON & PITALO, INC.
 ENGINEERS, ARCHITECTS, PLANNERS
 1000 CALIFORNIA STREET, SACRAMENTO, CALIF. 95811
 DATE: 11/15/83
 SHEET NO. 27 OF 29
 PROJECT NO. 27-060-29

PREPARED BY: MORTON & PITALO, INC. ENGINEERS, ARCHITECTS, PLANNERS 1000 CALIFORNIA STREET, SACRAMENTO, CALIF. 95811 DATE: 11/15/83 SHEET NO. 27 OF 29 PROJECT NO. 27-060-29	SCALE: AS SHOWN LEGAL: 1" = 100'	DRAWN BY: ENGINEER: EXAMINER: DATE:	TENTATIVE PARCEL MAP DELTA POINT NORTH CITY OF SACRAMENTO CALIFORNIA FILE NO. 83-0003
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VICINITY MAP LAND USE AND ZONING



3. The project shall comply with the design criteria set forth in Exhibit 'E';
4. The applicant shall protect and retain the existing on-site Oak trees to the satisfaction of the Planning Director after consultation with the City Arborist prior to the issuance of building permits.

Findings of Fact - Special Permit

1. The approval of proposed day care center, as conditioned, is based upon sound principles of land use in that:
 - a) the day care center is compatible with adjacent land uses which include commercial uses, and multi-family residences;
 - b) adequate landscaping and building setbacks will be provided;
 - c) the day care center will provide a needed service in the surrounding neighborhood.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare nor result in the creation of a nuisance in that:
 - a) the project provides an adequate amount of parking and is located on a major street;
 - b) adequate landscaping will be required;
 - c) the proposed structure will be compatible with adjacent commercial and residential uses.
3. The project is consistent with the General Plan and the Delta Point (north) PUD Schematic Plan which designate the site for residential uses. Day care facilities are allowed in residential zones upon the granting of a special permit.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has reviewed the proposed project and has filed a Negative Declaration, based upon compliance with the following mitigation measure: "The applicant shall protect and retain the existing on-site Oak trees to the satisfaction of the Planning Director after consultation with the City Arborist prior to the issuance of building permits."

STAFF RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the Conditional Negative Declaration;
- B. Approval of Delta Point (north) PUD Schematic Plan to:
 reduce area for apartments and designate a day care center.
- C. Approval of the Tentative Map, subject to conditions which follow;
- D. Approval of the Special Permit, subject to conditions and based upon Findings of Fact which follow.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;
3. Pay off existing assessments or file the necessary segregation requests and fees to segregate existing assessments;
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
5. Pursuant to Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
6. Pay park fees and file final map prior to final approval by City of buildings currently under construction;
7. Provide an accoustical study concerning loading dock behind Bel Air Market and traffic on West El Camiono to the satisfaction of the City/County Health Department. Comply with any requirements of the report.

Informational Item: The applicant shall check with the County Sanitation District and meet all requirements.

Conditions - Special Permit

1. The proposed facility shall be limited to a maximum of 120 children;
2. Landscape and irrigation plans shall be submitted for staff review and approval prior to issuance of building permits;

3. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
 4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
 5. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
 6. Pay park fees and file final map prior to final approval by City of buildings currently under construction.
 7. Provide an accoustical study concerning loading dock behind Bel-Air Market and traffic on West El Camino to the satisfaction of the City/County Health Department. Comply with any requirements of the report.
- Informational Item: The applicant shall check with the County Sanitation District and meet all requirements.

BACKGROUND INFORMATION: On July 29, 1980, the City Council adopted the Delta Point PUD Schematic Plan which designated the subject site for apartments (P-8997). On June 9, 1983, the Planning Commission approved a special permit to develop 232 apartment units on the subject site (P83-144).

STAFF EVALUATION: Staff has the following comments regarding this request:

1. The subject site totals 10.3± acres and is located in the Delta Point PUD. The site is presently designated for 234 apartments on the PUD Schematic Plan. The applicant proposes to develop a day care center on 0.6 acres and 228 apartments on the balance of the site.
2. The applicant is also requesting a special permit to develop a day care center to be known as Merry Hill Country School. The day care center will accommodate 120 children and will operate Monday through Friday from tentatively 6 A.M. to 7 P.M. The center would employ approximately 13 persons. A 8,312 square foot fenced play area is proposed adjacent to the proposed structure and parking lot. The play area would be composed of grass and sand areas with standard playground equipment.
3. The applicant has indicated that a sign will be located on site; however, the location and size of the sign have not been determined at this time. A sign plan should be submitted to the Planning Department for review and approval prior to the issuance of any building permit.
4. Staff has no objections to a day care center located at this site. The proposed structure (earth tones, wood siding) is compatible with the proposed apartments to be constructed on Parcel No. 2. However, staff is concerned that the landscaping, open space and trash enclosure be compatible with the proposed apartment development on Parcel No. 2. Staff has included the desitn criteria approved for the apartment development (P83-144) and recommends that the criteria be adopted for this project.

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Morton & Pitalo, Inc., 1767 'J' Tribute Road, Sacramento, CA 95815				
OWNER	Treetops, Ltd., 600 W. North Market Blvd., Sacramento, CA 95834				
PLANS BY	Morton & Pitalo, Inc., 1767 'J' Tribute Road, Sacramento, CA 95815				
FILING DATE	5-25-84	50 DAY CPC ACTION DATE		REPORT BY	FG:bw
NEGATIVE DEC	6-6-84	EIR		ASSESSOR'S PCL NO	274-060-26 & 27 (portion)

- APPLICATION:**
- A. Ratify Negative Declaration
 - B. Amendment of Delta Point PUD Schematic Plan to delete 30 dwelling units and to designate a day care center
 - C. Tentative Map
 - D. Special Permit to construct a child care center for 120 children (P84-213)

LOCATION: SE corner of Truxel Road and Waterwheel Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a child care center for 120 children.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1978 South Natomas Community Plan Designation: Residential (22-29 du/ac; 4-21 du/ac PUD)
Existing Zoning of Site: R-3-R (PUD)
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Shopping Center; SC-R
South: Townhouses; R-1A(PUD)
East: Residences; R-1A
West: Vacant; R-2B-R

Parking Required: To be determined by Planning Commission
Parking Provided: 14 spaces
Property Dimensions: Irregular
Property Area: 10.3± acres
Square Footage of Lots: Parcel 1 = 0.6± acre; Parcel 2 = 9.7± acres
Square Footage of Building: 5,400
Height of Structure: 18 feet
Topography: Flat
Street Improvements: Under construction
Utilities: Available to site
Exterior Building Colors: Earth tones
Exterior Building Materials: Siding - T111 plywood; Roof - composition shingles

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On June 13, 1984, by a vote of seven ayes and two absent, the Subdivision Review Committee recommended approval of the tentative map. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;

APPLC. NO. P84-213

MEETING DATE June 28, 1984

CPC ITEM NO. 14