

CITY OF SACRAMENTO PLANNING COMMISSION
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT <u>Abdy Taberi, 9718 Fair Oaks Boulevard #E, Fair Oaks, California 95628</u>
OWNER <u>Abdy Taberi, 9718 Fair Oaks Boulevard #E, Fair Oaks, California 95628</u>
PLANS BY <u>West Home Construction, 9718 Fair Oaks Boulevard #E, Fair Oaks, California 95628</u>
FILING DATE <u>February 25, 1992</u> ENVIR. DET. <u>Exempt (15303a, 15305a)</u> REPORT BY <u>Cindy Gnos</u>
ASSESSOR'S PCL. NO. <u>027-0341-012</u>

- APPLICATION:**
- A. Variance to reduce the west side setback from five feet to three feet four inches in order to construct a 1,205 square foot single family residence on 0.07± vacant acres in the Standard Single Family (R-1) zone.
 - B. Variance to reduce the east side setback from five feet to one foot eight inches.

LOCATION: South side of 37th Avenue, 145 feet west of Power Inn Road

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 1,205 square foot residence on a 25 foot wide parcel.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
South Sacramento Community Plan Designation:	Residential (4-8 du/na)
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family; R-1	Front:	25'	25'- 0"
South: Single Family; R-1	Side(E):	5'	1'- 8"
East: Vacant; R-1	Side(W):	5'	3'- 4"
West: Single Family; R-1	Rear:	15'	74'- 0"

Property Dimensions:	25' x 120'
Property Area:	0.07± acres
Parking Required:	One car garage
Parking Provided:	One car garage
Square Footage of Residence:	1,205 square feet
Height of Building:	13 feet, one story
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Vertical wood siding
Roof Materials:	Composition Shingle

APPLC.NO. P92-046

MEETING DATE April 23, 1992

ITEM NO. 18

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PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 0.07± acres in the Standard Single Family (R-1) zone. The subject parcel is vacant and is 25 feet wide. The General Plan designates the site Low Density Residential (4-15 du/na). The South Sacramento Community Plan designates the site Residential (4-8 du/na). The surrounding zoning is all Standard Single Family (R-1). The land use to the north, south and west is single family. The property to the east is a vacant parcel which is also only 25 feet wide.

B. Applicant's Proposal

The applicant is requesting a variance to reduce the side yard setbacks for the property in order to construct a 1,205 square foot single family residence. The applicant is requesting a variance for one side to be reduced from five feet to three feet, four inches, and the other side from five feet to one foot, eight inches.

C. Staff Analysis

Staff has no objection to the variance requests. The parcel is only 25 feet wide. The Zoning Ordinance requires a residence be a minimum of 20 feet wide. This leaves only five feet available for side yard setbacks. The applicant has chosen to provide three feet, four inches on one side and one foot, eight inches on the other. The shifting of the house to one side rather than in the center, allows windows to be placed on at least one side of the house. If both the side setbacks were 2.5 feet, no windows would be allowed. The submitted plans do indicate, however, windows on the east side. These windows are not allowed. The building code does not allow openings within three feet of the property line.

The building has been designed with a single car garage. The applicant has designed the structure this way to minimize the amount of garage visible at the street. The applicant has also designed the structure so the front door, as well as a large window from the living room, faces 37th Avenue. The applicant should provide a raised panel metal garage door, a raised panel front door, and gridded window facing the front as indicated on the submitted plans. The applicant should however, shift the entrance closer to the street. This would reduce the dominance of the garage, as well as add more area to the living room. The applicant should also add a gridded window in the center on the west side of the garage. The applicant proposes T1-11 siding and composition shingle roof. Staff suggests the front elevation have horizontal lap siding. The lap siding should wrap a minimum of two feet on the east and west sides of the house. The roof material should also be a minimum of 25 year rated laminated dimensional composition shingles. Staff also suggests that the mechanical equipment not be roof mounted. It should either be in the attic or on the ground in the rear yard.

D. Agency Comments

The proposed project was reviewed by Traffic Engineering, Engineering Development Services, Building Inspections, Fire, the South Sacramento Area Community Planning Advisory Council, and the Southeast Area Neighborhood Association. The following comments were received:

Engineering Development Services

1. The sewer main in 37th Avenue may need to be extended to make a service connection.
2. Water is available in 37th Avenue.

Building Division and Fire Department

The structure shall have fire rated construction and no openings less than three feet from the property line.

South Sacramento Community Planning Advisory Council

Recommend denial for the request for the west side variance. The plans should be revised to create a zero-lot-line on the east side of the parcel. This would allow the adjacent 25 foot wide parcel and this parcel to share the same common fire wall on the property line in the center and better utilize property and leave more distance between the structures adjoining these two parcels. The structure to the west has a fire place on the east side. This is not a safe condition with only six feet between the chimney and the roof line next door.

Staff has reviewed the recommendation of the South Sacramento Community Planning Advisory Council. If the parcel were to have no setback on the east side, a maintenance easement would be required and may be impossible to obtain. This would also dictate that the adjacent property be developed as a zero-lot-line. Staff recommends the setbacks be provided as indicated on the submitted plans.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined the project, as proposed, is exempt from Environmental Review pursuant to State EIR Guidelines (CEQA Sections 15303a and 15305a).

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Approve the Variance to reduce the west side setback from five feet to three feet four inches subject to conditions and based upon findings of fact which follow.
- B. Approve the Variance to reduce the east side setback from five feet to one foot eight inches subject to conditions and based upon findings of fact which follow.

Conditions

- 1. The applicant shall comply with all Building Code requirements, including fire rated construction and no openings within three feet of the property line.
- 2. The applicant shall submit a revised site plan for review and approval of the Planning Director which shifts the entrance closer to the street.
- 3. The applicant shall submit revised elevations to the Planning Director for review and approval prior to the issuance of Building Permits. The revised elevations shall include:
 - a. add a gridded window in the center on the west side of the garage;
 - b. the front elevation and two feet along the east and west sides of the house shall have horizontal lap siding;
 - c. the roof material shall be a minimum of 25 year rated laminated dimensional composition shingles; and
 - d. the applicant shall provide a raised panel metal garage door, a raised panel front door, and gridded window facing the front as indicated on the submitted plans.
- 4. Mechanical equipment shall not be mounted on the roof. It should either be in the attic or on the ground in the rear yard.

Findings of Fact

- 1. Granting the variances does not constitute a special privilege extended to an individual property owner in that other property owners on a 25 foot wide lot would be granted setback variances.

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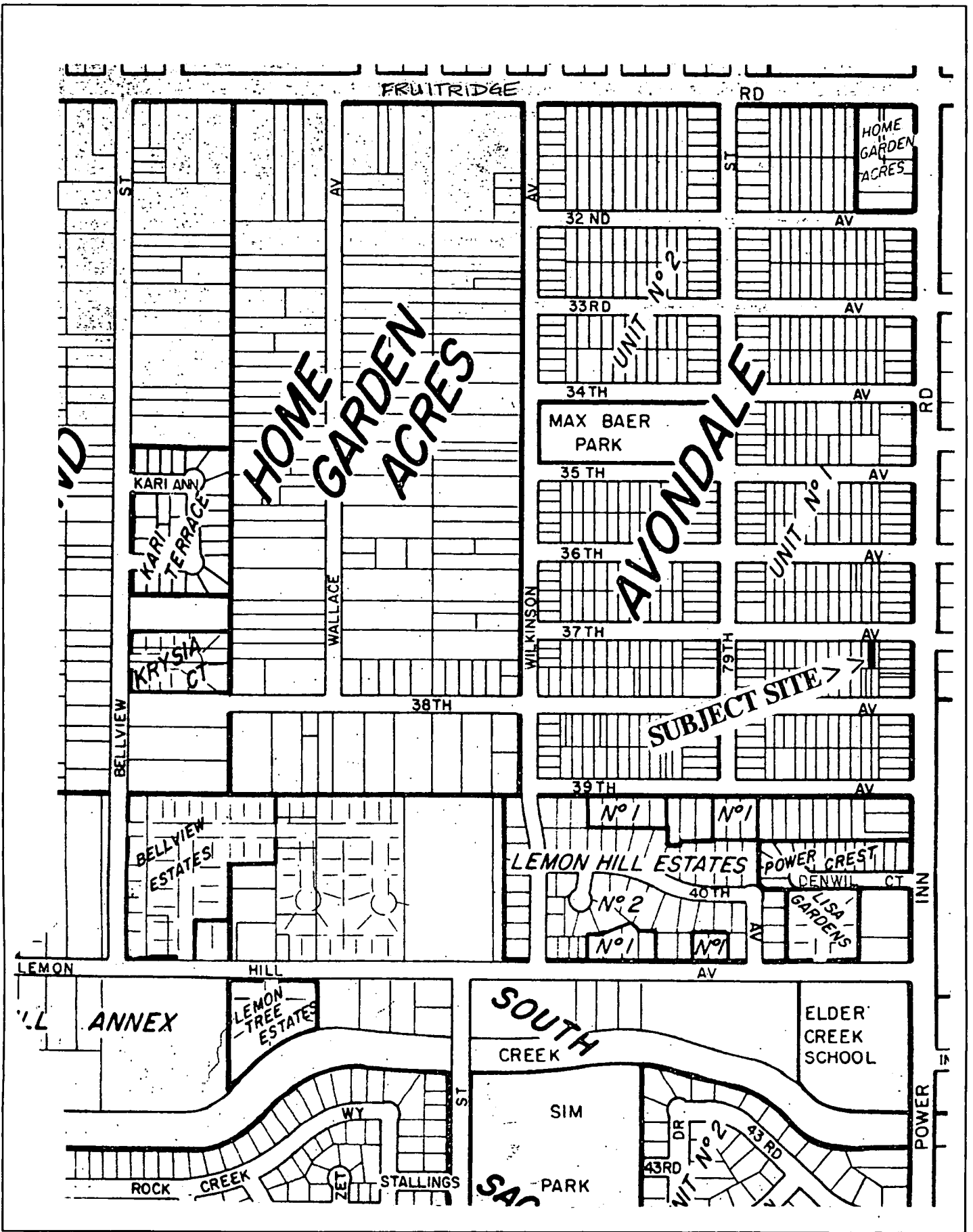
2. Granting the variances does not constitute a use variance in that single family residences are allowed in the Standard Single Family (R-1) zone.
3. The project will not be injurious to the public safety and welfare in that all Building Code requirements will be satisfied and there is adequate open space on the parcel.
4. The project is consistent with the General Plan and South Sacramento Community Plan which designate the site for Low Density Residential (4-15 du/na) and Residential (4-8 du/na) uses.

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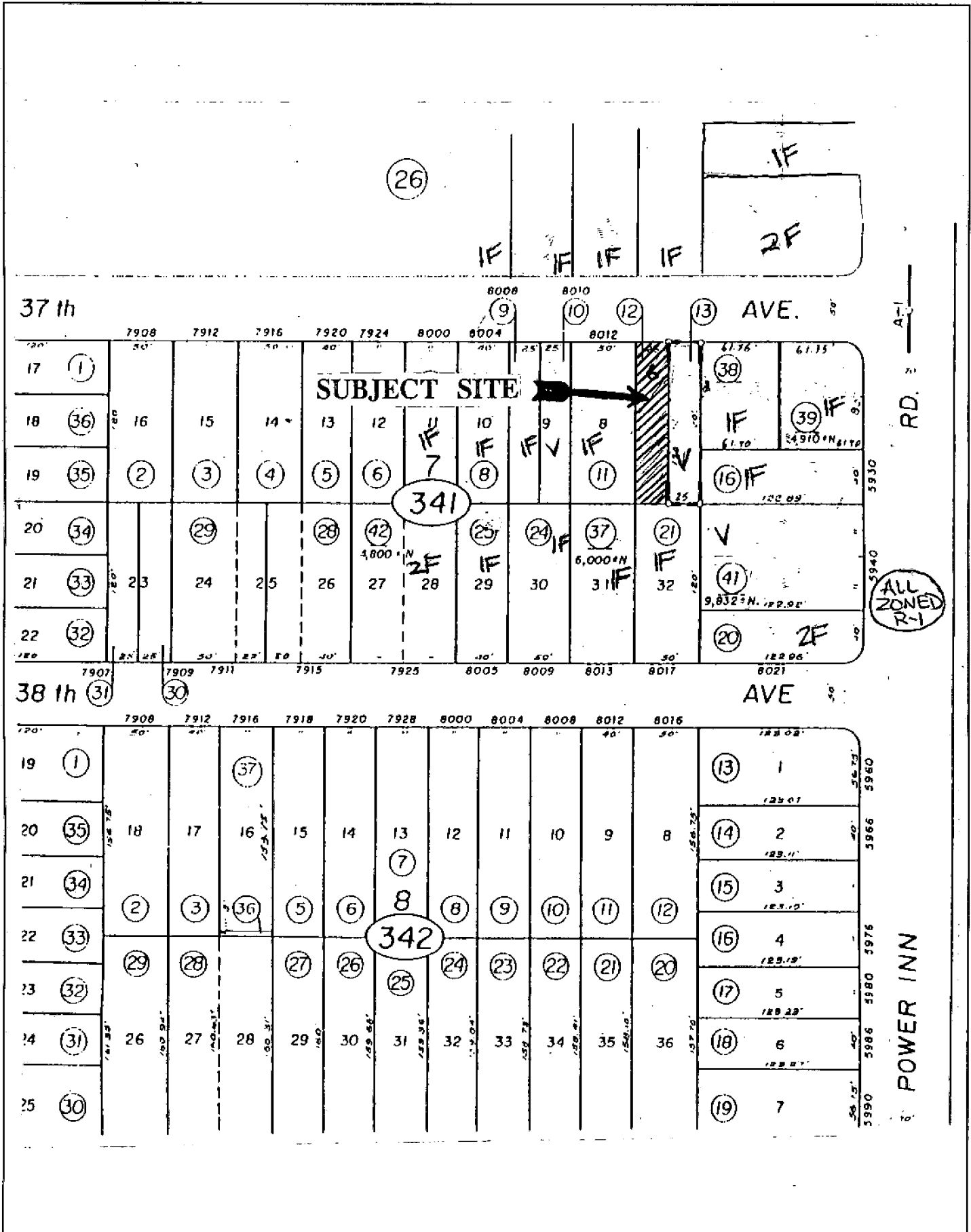
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VICINITY MAP

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LAND USE & ZONING MAP

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SHEET INDEX	
1	SITE PLAN
2	UTILITY PLAN / FOUNDATION PLAN / FLOOR PLAN
3	DETAILS / SECTION / ROOF PLAN
4	ELEVATIONS

AREAS	
LIVING AREA	991 SF
GARAGE	738 SF
COVERED PORCH	36 SF
TOTAL COVERED	1765 SF
LOT SIZE	300 SF
PERCENT OF COVERAGE	58.8%

CONTRACTOR:
ENGINEER:

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. SUCH REGULATIONS SHALL BE CONSIDERED A PART OF THESE PLANS AND TAKE PRECEDENCE OVER ANY INFORMATION SHOWN OR IMPLIED BY THESE DRAWINGS.
2. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL TO THE ATTENTION OF THE DESIGNER ANY DISCREPANCIES OR OMISSIONS ON THESE PLANS BEFORE BEGINNING WORK.
4. ANY DEVIATION FROM THESE PLANS IN METHOD OR SPECIFIED MATERIALS SHALL BE APPROVED BY THE DESIGNER PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR AND SERVICES TO COMPLETE CONSTRUCTION LEAVING THE BUILDING AND SITE IN A FINISHED AND OPERATING CONDITION CLEAN AND FREE OF DEBRIS, UNLESS SPECIFIED OTHERWISE BY CONTRACT BETWEEN OWNER AND CONTRACTOR.
6. ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL EXAMINE THE SITE AND THE CONDITIONS THEREON. PROPOSALS SHALL TAKE INTO CONSIDERATION ALL CONDITIONS THAT MAY AFFECT CONSTRUCTION.
7. DIMENSIONS TAKE PRECEDENCE OVER SCALE.

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ELECTRICAL NOTES

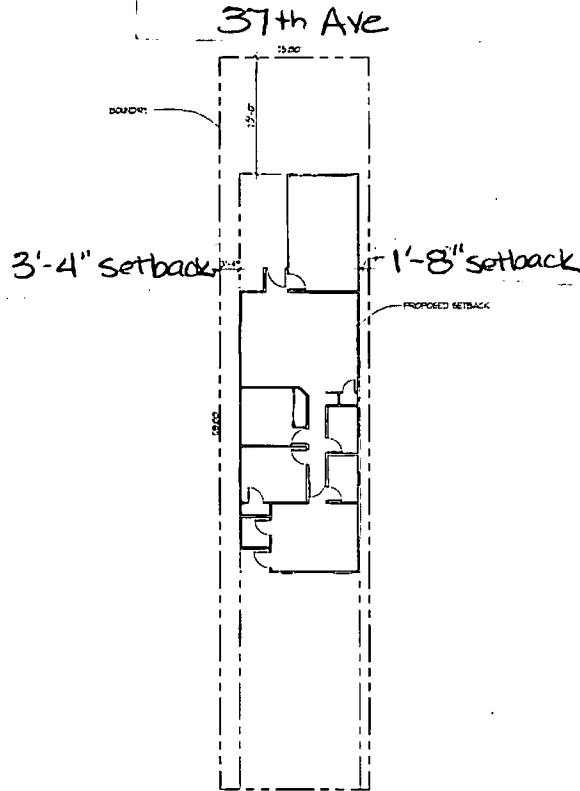
1. PROVIDE 100 AMP SERVICE PANEL WITH VERIFY APPROVAL AND LOCATION.
2. FIRE ALARM (SMOKE DETECTION) REQUIRED WITHIN 11' OF BUILDING PER SECTION 1103.02(C).
3. PROVIDE 100 AMP 120/240 VOLT SERVICE TO KITCHEN, NOOK, DINING, HALLWAY, AND PART 1' HOOK.
4. PROVIDE 1/2" INTERMITTENT 1/2" DRAIN LANTERN; SET BAR NEAR SINK, KITCHEN AND ALL EXTERIOR OUTLETS.
5. ALL BATHROOMS SHALL HAVE 2 AIR CHANGES PER HOUR MIN CAPACITY.

SYMBOLS

- 1 SINGLE POLE SWITCH
- 2 3 WAY SWITCH
- 3 4 WAY SWITCH
- 4 15 V DIMMER OUTLET
- 5 120 V DIMMER OUTLET
- 6 GROUND FAULT INTERRUPTER
- 7 SERVICE PANEL
- 8 EXHAUST FAN
- 9 NON-RECESSED LIGHTING FIXTURE
- 10 RECESSED LIGHTING FIXTURE
- 11 TRACK LIGHTING FIXTURE
- 12 SPOT LIGHTING FIXTURE
- 13 PHONE DETECTOR
- 14 TELEVISION
- 15 ALIGNMENT LIGHTING FIXTURE

NOTATION

1. ALL FOUNDATIONS SHALL BE ON UNIMPAIRED NATIVE SOILS OR ENGINEERED PILES AT OR EXCEEDING DEPTH SHOWN ON THESE PLANS.
2. ALL REINFORCING EMBEDMENTS SHALL BE MADE OVER EMBEDDATIONS. REINFORCING EMBEDMENTS SHALL BE CALLED BY CONTRACTOR. ALL WORK SHALL BE APPROVED PRIOR TO PLACEMENT OF CONCRETE.
3. CONTRACTOR SHALL OBTAIN A PROPER COMPRESSION STRENGTH OF SOIL FROM THE DATA.
4. REINFORCING BARS SHALL COVER REINFORCEMENTS:
 - A. CAST AGAINST AND EXPOSED TO EXPOSURE.
 - B. COVERED SURFACES.
 - C. TOP SURFACES.
 - D. BOTTOM SURFACES.
5. REINFORCING STEEL SHALL CONFORM TO ASTM A 618 AND INCLUDES MINIMUM TENSILE STRENGTH AND YIELD POINT. BARS AND LAPS AND GRAPES FOR BARS AND SMALLER STEEL SHALL BE HOT CLEAN AND FREE OF OILY RESIDUES.
6. ALL REINFORCING SHALL CONFORM TO ASTM A 618 AND SHALL BE LAPPED AT JOINTS. LAPS SHALL BE PLACED AT CENTERLINE OF BARS.
7. REINFORCING BARS SHALL BE PLACED AS LONG AS PRACTICABLE. REINFORCING BARS REQUIRED ENDING IN THE FIELD SHALL BE TIED INTO BARS AT CORNERS AND INTERSECTION BARS SHALL RETAIN A "STAPLE" OF 3" AT ALL SURFACES SHALL HAVE 1" LAPS. REINFORCING BARS SHALL BE PLACED AS LONG AS PRACTICABLE.



S I T E P L A N

SCALE: 1"=10'

APN: 027-0341-012
SACRAMENTO, CA.

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EXHIBIT - A
SITE PLAN

SEW

DATE: NOV 1991
BY: J. H. H. A.
SITE PLAN

J. HASSLER
NOV 1991
1"=10'
(GETVAR DRAWING)

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CITY PLANNING DIVISION

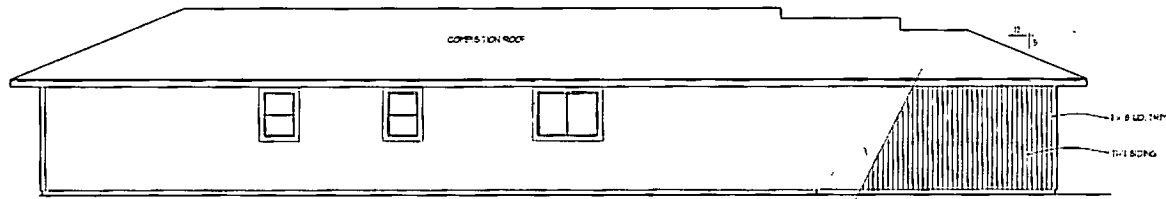
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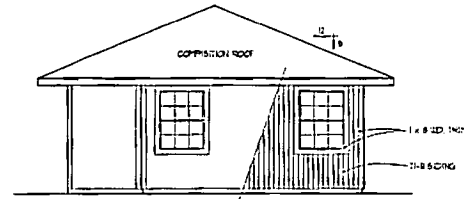
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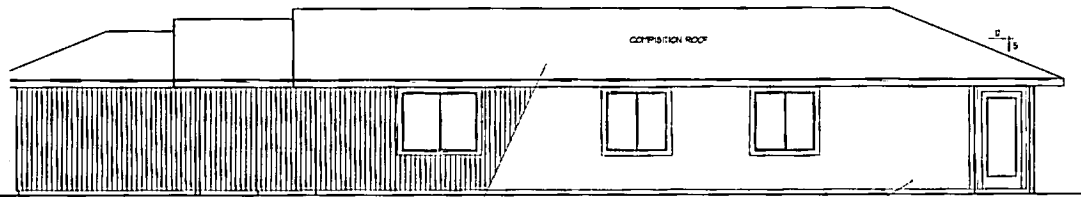
LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



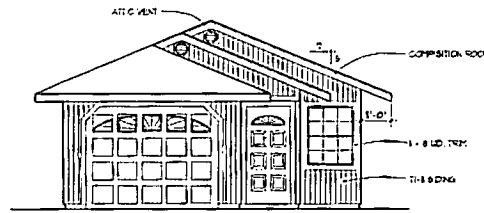
REAR ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"

RUCTION

EXHIBIT - B
ELEVATIONS

DATE: 09/92
REV DATE: 12/92
REV NO: 2
ENG NAME:
ELEVATIONS

D. HANBLER
UNING
099-ASCE

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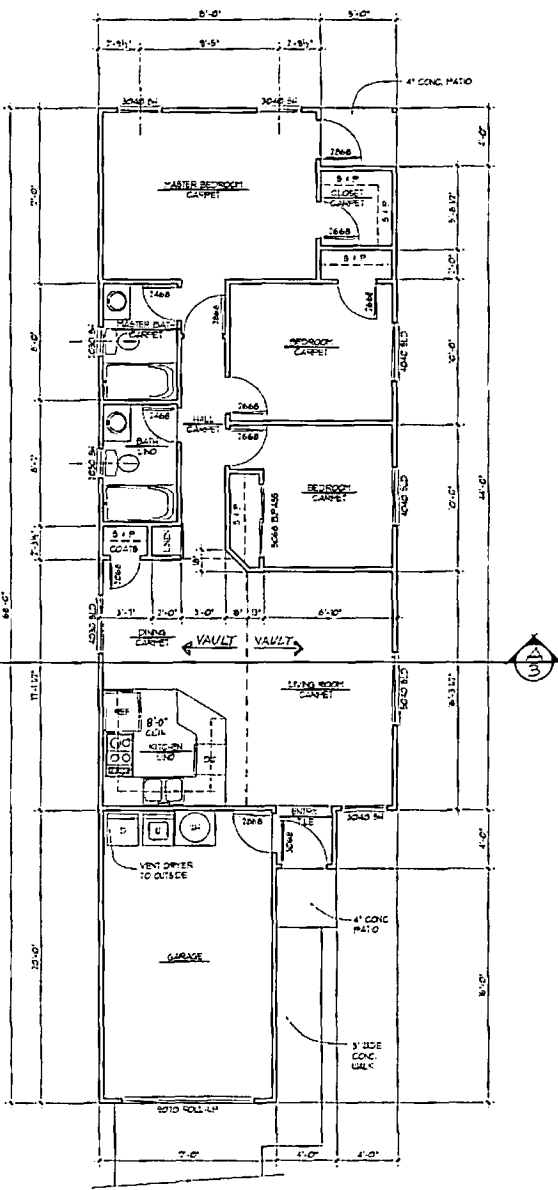
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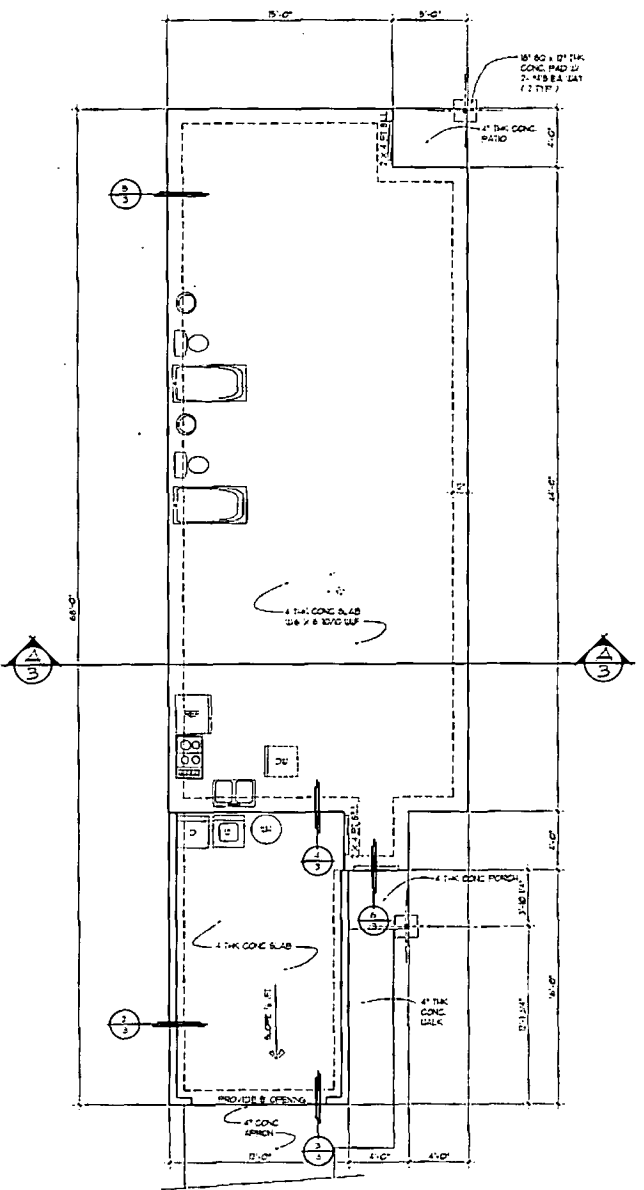
EXHIBIT - C FLOOR PLANS

SCALE: 1/4" = 1'-0"
 DATE: 07-81
 REV. NO.: A
 DRAWN BY: J. HANLEY
 CHECKED BY: J. HANLEY

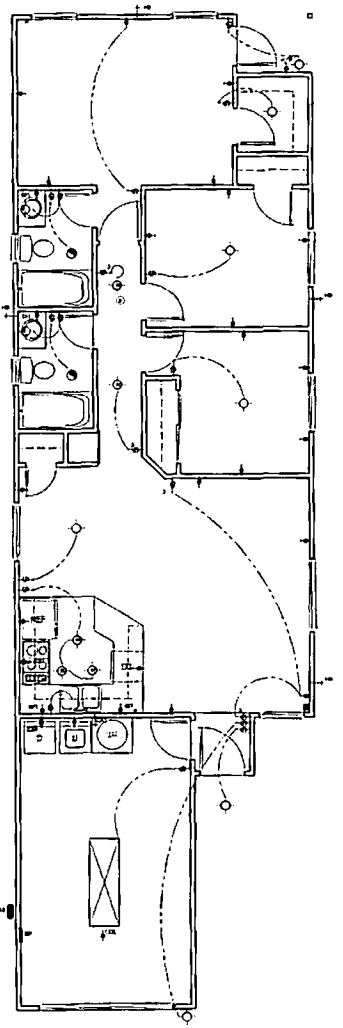
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FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



UTILITY PLAN
 SCALE: 1/4" = 1'-0"

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