

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Wednesday, July 7, 1999, the Zoning Administrator approved with conditions a parcel merger (File Z99-067). Findings of Fact and conditions of approval for the project are listed on pages 2-3.

**Project Information**

Request: Zoning Administrator Parcel Merger to merge two parcels into one parcel totaling 0.12± developed acres in the Heavy Industrial (M-2) zone.

Location: Northwest corner Merced Avenue and Power Inn Road (D6, Area 3)

Assessor's Parcel Number: 061-0081-013, 014

Applicant: Doug and Genevieve Mason  
2051 57th Street  
Sacramento, CA 95817

Property Owner:	City of Sacramento 915 I Street Sacramento, CA 95814	and	Doug and Genevieve Mason 2051 57th Street Sacramento, CA 95817
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Project Planner: Sandra Yope

General Plan Designation: Heavy Commercial or Warehouse  
Existing Land Use of Site: Single Family and Vacant  
Existing Zoning of Site: Heavy Industrial (M-2)

**Surrounding Land Use and Zoning:**

North: M-2; Industrial  
South: M-2; Office  
East: M-2; Industrial  
West: M-2; Single Family Residence

Property Dimensions: 86 feet x 112 feet  
Property Area: 0.12± acres  
Topography: Flat  
Street Improvements: Existing  
Utilities: Existing

Project Plans: Exhibit A

Legal Description: Exhibit B

Additional Information The applicant proposes to remove the common property line between two parcels to create a large single parcel that combines a remnant piece from Power Inn Road with the adjacent property. The western parcel is developed with a single family house and the remnant piece is vacant. The Zoning Ordinance and Building Code do not permit structures to cross property lines.

The project was noticed and staff received no calls.

Agency Comments

The proposed project has been reviewed by the City Utilities Department, the Building Division, and the Public Works - Transportation and Engineering Planning Divisions. The comments received pertaining to the lot line adjustment have been included as conditions.

Environmental Determination

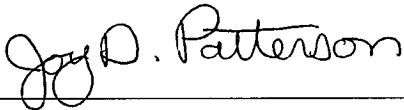
This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act Guidelines, Section 15305(a).

Conditions of Approval:

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees. (Public Works)
2. File a waiver of Parcel Map. (Public Works)
3. Pay off or segregate any existing assessments. (Public Works)
4. **Advisory Note:** The proposed project is located in the 100 year flood plain, designated as an AR zone (elevation 19 feet) on the Federal Emergency Management Agency (FEMA) Federal Insurance Rater Map (FIRMS) dated July 6, 1998. Within the AR zone the following regulations will apply:
  - \* All new residential and commercial development will be required to be constructed with the lowest floor, including basement, at or above the base flood elevation, or 3 feet above the highest adjacent grade, whichever is lower.
  - \* Commercial projects will have the option of flood proofing in lieu of the elevation requirements. (Public Works)
5. The proposed development is located within Sacramento County Sanitation District No.1. Contact the Regional Sanitation District for sanitary sewer conditions. (Utilities)
6. **Special Note:** The Army Corps of Engineers is currently considering reducing the estimated 100-year flows on the American River. If the estimated flows are reduced, the AR flood zone may be replaced with a less restrictive flood zone thus precluding the requirement to elevate or flood proof this project. Please contact the Department of Utilities at (916) 264-1400 prior to building design for an up-to-date status of the flood zone .

Findings of Fact:

1. The parcel merger is consistent with the General Plan which designates the site for Heavy Commercial or Warehouse.
2. All existing streets and/or utility easements of record are reserved.
3. The merger will not eliminate or reduce in size of the access way to any resulting parcel.
4. The resulting parcel conforms to the requirements of this Subdivision Ordinance, Chapter 40, the City's General Plan, the City's Comprehensive Zoning Ordinance, and the City's Building Code.



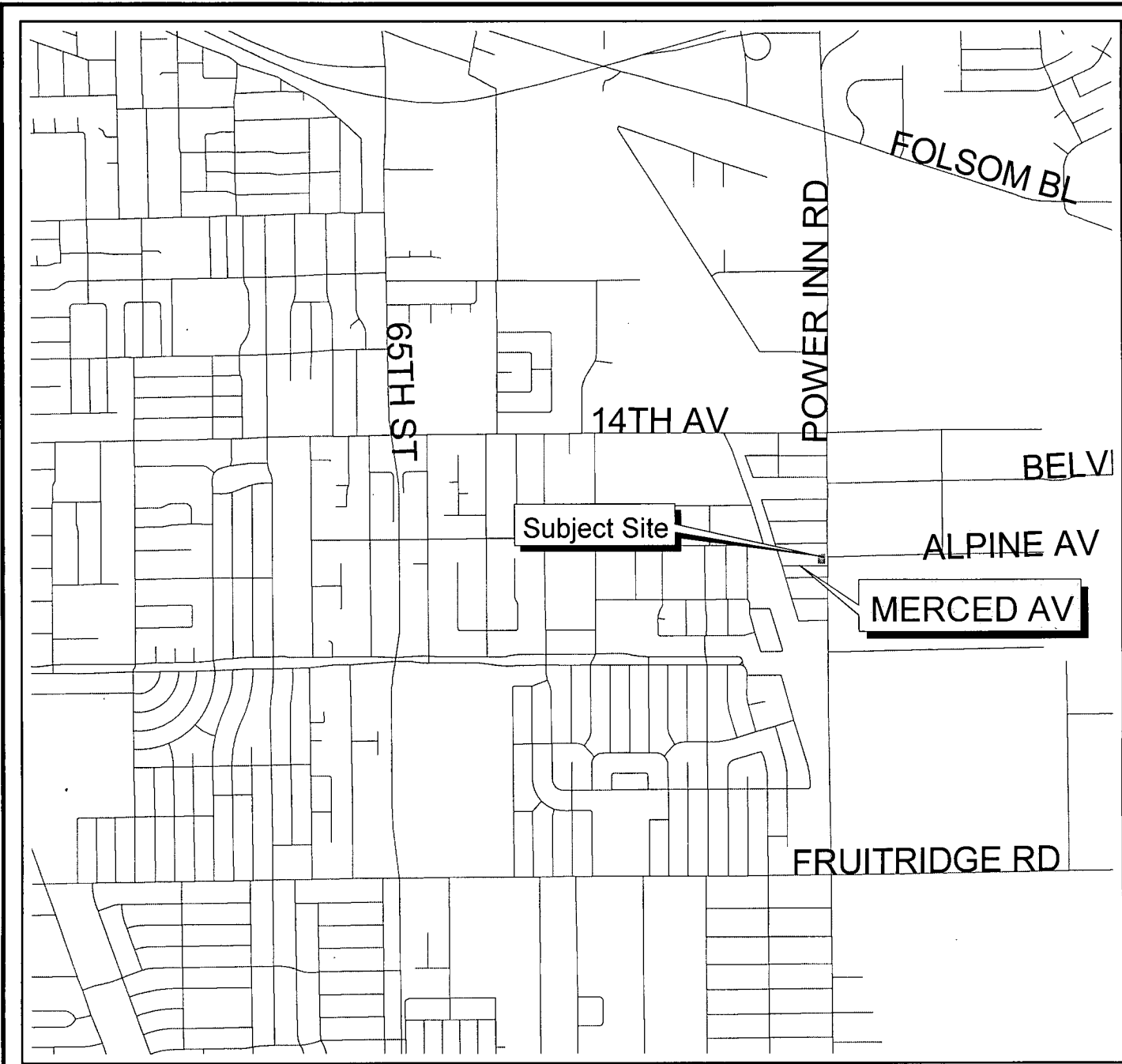

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Joy D. Patterson  
Zoning Administrator

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

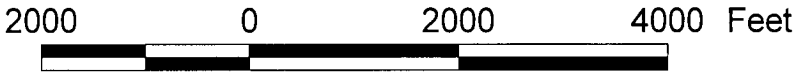
Note: The applicant will need to contact the Public Works Department (Jerry Lovato, 264-7918) after the appeal period is over to record a certificate of compliance to complete the parcel merger.

cc: File (original)  
ZA Log Book  
Applicant  
Public Works (Jerry Lovato)  
Bill Sinclair (Org #3135A)

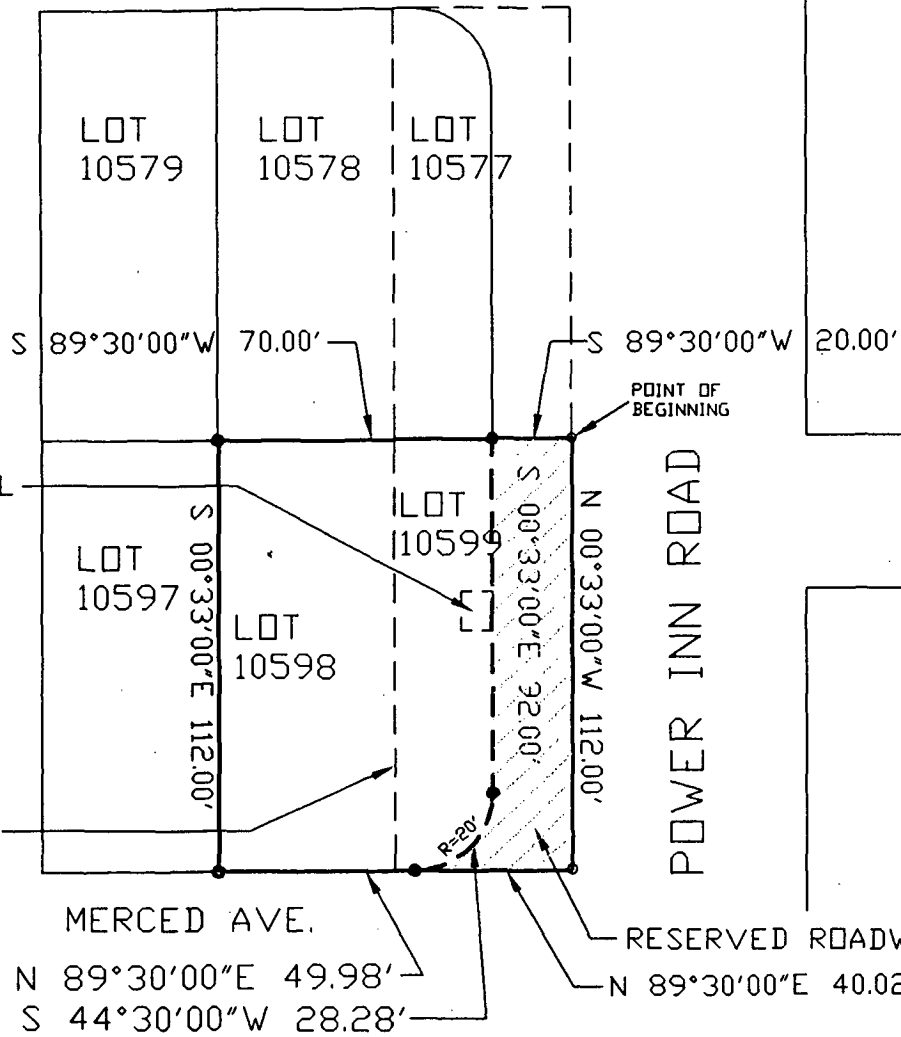
Neighborhoods, Planning  
And Development Services  
Department

Geographic  
Information  
System

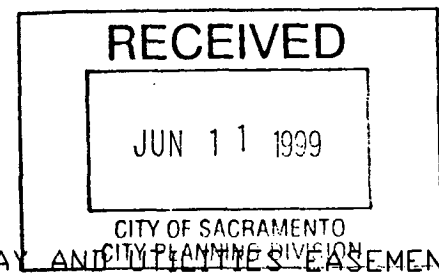


# VICINITY MAP





Z 99 - 067

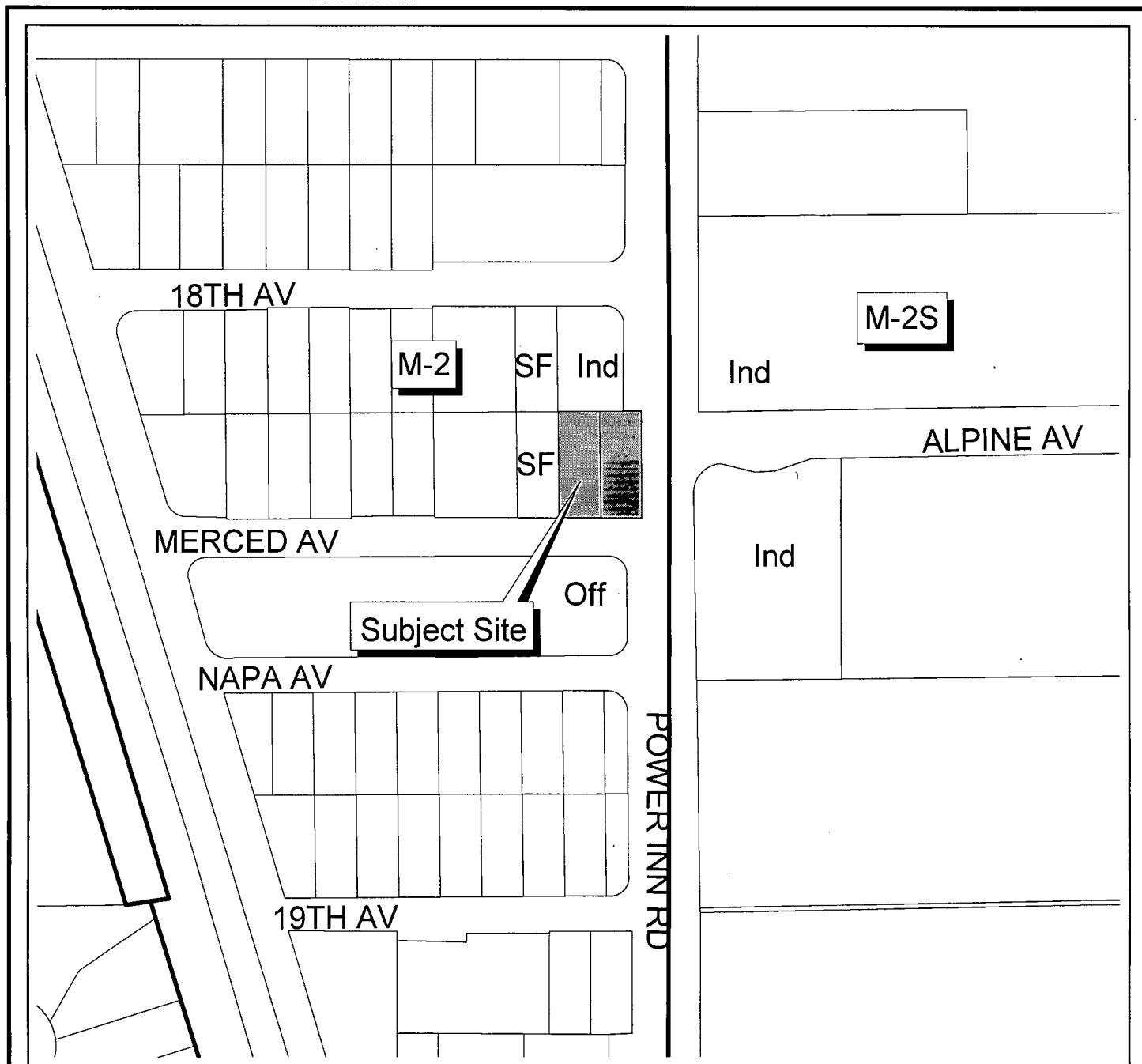


SCALE:  
1"=50'  
JUNE 1999

CITY OF SACRAMENTO  
 DEPT. OF PUBLIC WORKS  
 TECHNICAL SERVICES DIVISION  
 SURVEY SECTION  
 5730 24th STREET, BLDG. 4  
 SACRAMENTO, CA 95822



EXHIBIT B  
 A.P.N. 061-0081-013  
 A.P.N. 061-0081-014



200 0 200 400 Feet

# LAND USE AND ZONING



Neighborhoods, Planning  
And Development Services  
Department

Geographic  
Information  
System

**EXHIBIT A**

**LEGAL DESCRIPTION**

APN: 061-0081-013

APN: 061-0081-014

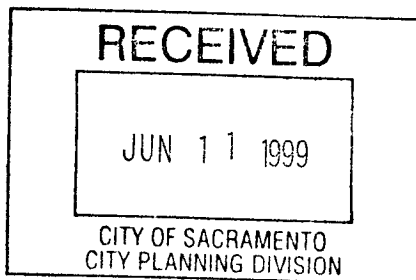
The land herein referred to is situated in the City of Sacramento, County of Sacramento, State of California; more particularly described as follows:

Lots 10598, 10599, as shown on the official "Plat of Brighton Park or H.J. Goethe Company Subdivision No. 105", filed in the office of the County Recorder of Sacramento County, January 14, 1907, in Book 7 of Maps, Map No. 47.

RESERVING an easement for public road and public utilities more particularly described as follows:

Beginning at the Northeast corner of Lot 10599 as said lot is shown and designated on the Plat of Brighton Park or H.J. Goethe Company's Subdivision No. 105, recorded in the office of the County Recorder of Sacramento County, on January 14, 1907, in Book 7 of Maps, Map No. 47; thence from said point of beginning, coincident with the north line of said lot, South 89° 30' 00" West 20.00 feet; thence South 00° 33' 00" East 92.00 feet; thence Southwesterly curving to the left on an arc of 20.00 feet radius, said arc being subtended by a chord bearing South 44° 30' 00" West 28.28 feet to a point on the Southerly line of said lot; thence coincident with the Southerly line of said lot North 89° 30' 00" East 40.02 feet to the Southeast corner thereon; thence coincident with the Easterly line of said lot North 00° 33' 00" West 112.00 feet to the point of beginning; said described parcel being a strip of land along the Westerly line of Power Inn Road.

End of Description.



**Z 99 - 067**