

PLANNING DIRECTOR'S SPECIAL PERMIT  
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Comstock-Johnson Architects, Inc., 10304 Placer Lane #A, Sacramento, CA 95827  
OWNER Jackson Properties, Inc., 5665 Power Inn Road #140, Sacramento, CA 95824  
PLANS BY Comstock-Johnson Architects, Inc., 10304 Placer Lane #A, Sacramento, CA 95827  
FILING DATE 10-5-90 ENVIR. DET. Negative Declaration REPORT BY JC  
ASSESSOR'S PCL. NO. 015-0312-006

**APPLICATION:**

A. Negative Declaration

B. Planning Director's Special Permit to exceed the 25 percent office use allowed in the M-1 zone by allowing 7,818<sup>±</sup> square feet of office in a proposed 15,636<sup>±</sup> square foot warehouse building on 1.04<sup>±</sup> vacant acres in the Light Industrial (M-1) zone.

**LOCATION:** 3670 Business Drive (Building C)

**PROPOSAL:** The applicant is requesting the necessary entitlements to construct 7,818<sup>±</sup> square feet of office in a proposed 15,636<sup>±</sup> square foot warehouse building.

**PROJECT INFORMATION:**

General Plan Designation: Heavy Commercial/Warehouse  
Existing Zoning of Site: M-1  
Existing Land Use of Site: Vacant

**Surrounding Land Use and Zoning:**

North: Vacant, Office/Warehouse; M-1  
South: Vacant, M-1  
East: Office/Warehouse; M-1  
West: Single Family Residential; R-1

Parking Required: 27  
Parking Provided: 44  
Property Dimensions: Irregular  
Property Area: 1.04<sup>±</sup> acres  
Square Footage of Building: 15,636<sup>±</sup> square feet  
Height of Building: 20'6" to top of parapet  
Topography: Flat  
Street Improvements: Existing  
Utilities: Existing  
Exterior Building Materials: Pre-cast tilt-up concrete panels  
Roof Materials: Built-up Composition Roof

**Background:** On January 8, 1987 the Planning Commission recommended approval of a tentative map to subdivide 25<sup>±</sup> vacant acres into 15 lots for future industrial development (P87-010). On February 10, 1987 the City Council approved the tentative map with several conditions to protect the residential uses to the west. On August 23, 1990, the Planning Commission approved a lot line adjustment (P90-300) to relocate the common property lines between three vacant lots totaling 4.7<sup>±</sup> acres in the M-1 zone. The Assessor's Parcel maps do not indicate that a certificate of compliance has been recorded. The applicant has applied for Planning Director's Special Permits to exceed the 25% office use on these three lots (P90-427, P90-428 and P90-429). The subject site is the northern most lot of these three lots (Exhibit A).

APPLC. NO. P90-427

000199

Project Evaluation: Staff has the following comments:

A. Land Use and Zoning

The subject site is a vacant lot totaling 1.04+ vacant acres in the Light Industrial (M-1) zone. The General Plan designates the site for Heavy Commercial or Warehouse. Surrounding land uses and zones are warehouse/office, M-1 to the north; vacant, M-1 to south; office/warehouse, M-1, and; residential, R-1 to the west.

B. Applicant's Proposal

The applicant is proposing to construct a warehouse/office building on the site. The building will have 7,818+ square feet of office and 7,818+ square feet of warehouse. The office will exceed the 25 percent maximum office allowed by 25 percent for a total of 50 percent office.

C. Policy Consideration

The General Plan proposes to provide adequate land for expansion of existing facilities and opportunities for new warehousing/distribution activities as well as allowing industrial development in those areas where potential impacts can be expected to be minimized. Staff has no objections to the increase of office to 50 percent on this site. The site is adjacent to residential use on the west and staff supports a less intense industrial use on this site. Staff supports allowing more office/warehouse use on the west side of Business Drive and more warehousing and industrial use on the east side of Business Drive.

D. Parking Plan

Staff does have some concerns regarding parking on this site. The City Council has adopted an interim parking ordinance which allows up to 40 percent of all required and non-required parking spaces, excluding handicapped spaces, to be sized for compact cars. The compact spaces as proposed on this site exceeds the 40 percent requirement. The site plan indicates 44 parking spaces with 21 spaces designated as compact. The applicant will need to eliminate six compact spaces in order to conform to the Interim Parking Ordinance. The use as proposed requires 27 parking spaces, with the elimination of six compact spaces the site will still provide more than the required parking.

The compact space located at the southeast corner of the building encroaches into the driveway entrance (Exhibit B). Staff recommends this space be eliminated and a planter be located in this area. Staff further recommends five spaces be eliminated at the rear (west) of the site and be replaced with additional planter areas at the sides and middle of this parking section (Exhibit B). By incorporating additional planter space in this area it will eliminate the parking area and prevent cars from parking in the unmarked spaces. It is staff's judgement that converting the compact spaces to standard parking could not be provided unless the building size is reduced or redesigned.

The plans do not indicate any bicycle parking. The Zoning Ordinance requires one bicycle parking space for every 15 off street parking space required for office space and one bicycle parking space for every 25 off street parking space required for warehouse. A minimum of one bicycle space is required for this development. This one space must meet Class I requirements.

E. Building Plan

The subject site is a portion of lot six of the previously approved tentative map (P87-010). The tentative map required the following conditions for lots three through eight:

1. a 25 foot non-buildable setback easement along the western boundary of lots three through eight.

2. A five foot landscaped planter shall be installed along the west property line adjacent to residential uses and planted with 15 gallon trees, shrubs and ground cover.
3. No outside loud speakers shall be located at the rear of structures on lots three through eight.
4. Any roll up doors on the west wall of structures on lots three through eight shall be places no closer than 35 feet from the property line and not exceed 10' X 10' in size.

The north and east elevations will consist of store fronts of four inch colored, narrow style aluminum sections with solar bronze glazing. The south elevation will consist of loading doors. The southeast corner of the building will have a recessed storefront facade with a screen wall approximately 28± feet from the corner to screen the loading area. The west elevation, which faces residential uses will not have any openings except for one window. The building is located 47± feet from the west property line and is consistent with the conditions of the map. The proposed building will be of pre-cast tilt-up concrete panels with reveal lines and a built-up composition roof. Staff recommends the colors should be compatible with the existing buildings located in the area.

F. Site Plan

The City Arborist has noted several almond trees on the subject site and adjacent lots (Lots 6, 7 and 8). However, the Arborist has no objections to the removal of the almond trees. The Arborist recommends that the almond trees, if removed, be replaced on a one for one basis with a 15 gallon tree to be planted on the site. The trees to be planted as a replacement for the almond trees should be additional trees over and above those required for the parking lot shade requirement. All other trees on the site may be saved or removed at developer's discretion.

The submitted plans do not indicate the location of a trash enclosure. If a dumpster is used a trash enclosure is required. The trash enclosure must meet the requirements of the Zoning Ordinance. Staff recommends that the trash enclosure not be located within the 25 feet building setback along the west property line.

G. Agency Comments

The plans were submitted to Traffic Engineering, Engineering Division, Development Section, Building Inspections and Water and Sewer Division. The following comments were received:

Traffic Engineering - Redesign parking in front of Building C and adjacent to driveway on Business Dr. to the satisfaction of the City Traffic Engineer

The three applications (P90-427, P90-428 and P90-429) for a Planning Director's Special Permit to increase the percent of office allowed in the M-1 zone for the three buildings (3670, 3700 and 3800 Business Dr.) constitute a development proposal which is expected to be the primary place of business of over 100 employees. The applicant shall comply with the TSM Ordinance as a major project for the three buildings.

H. Adjacent Property Owner Notification

The adjacent property owners were notified of the proposed increase in office space. Staff has received no objections.

Environmental Determination: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to

mitigate such effects to a point where clearly no significant effects will occur:

1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of construction zones. Elements of this program shall include the following:
  - a. Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50 percent.
  - b. Cover stockpiles of sand, soil, and similar materials with a tarp.
  - c. Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
  - d. Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.
  - e. Increase the frequency of city street cleaning along streets in the vicinity of construction site.
  - f. Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. One 15-gallon replacement tree shall be required for every almond tree removed. The replacement trees are additional trees and are not to be used as part of the required shading or landscaping for the proposed project. If the site cannot support the replacement trees, then the trees will be donated to the City Arborist (#916-449-5304). Notification of the donation must be submitted to the Manager of the Environmental Services Division, 1231 I Street, Suite 301, Sacramento, CA 95814. All other trees on the site can be removed at the developer's discretion.
3. Participate in the Transportation Systems Management (TSM) program as referenced in Section 6-4-E of the City Zoning Ordinance. This participation may include, but is not limited to, reduction measures and funds for monitoring and enforcement.
4. A draft of the Transportation Management Plan (TMP) (in accordance with the guidelines set forth in the City's TSM Ordinance) shall be submitted to the City's Transportation and Planning Divisions 60 days prior to issuance of a building permit for tenant improvements. A building permit for tenant improvements shall not be issued until the TMP has been reviewed and approved by the City's Transportation and Planning Divisions.
5. Incorporate the final approved TMP in the Covenants, Conditions, and Restrictions (C.C.R's.) for the project and bind all subsequent owners of the site to all previously agreed upon TSM provisions.

Recommendation: Staff recommends the Planning Director take the following actions:

- A. Ratify the Negative Declaration; and
- B. Approve the Planning Director's Special Permit to exceed the maximum 25 percent office, subject to conditions and based upon findings of fact which follow.

Conditions

1. Any roll up doors on the west wall of the structure shall be placed no closer than 35 feet from the property line and not exceed 10' X 10' in size.

2. The proposed parking plan shall conform to the Interim Parking Ordinance which allows 40 percent of required and non-required parking spaces to be compact spaces.
3. Five compact spaces shall be eliminated at the rear (west) of the site and additional planter area shall be provided. The redesign of the parking area shall be subject to review and approval of the Planning Director.
4. The compact space located at the southeast corner of the building which encroaches into the driveway entrance shall be eliminated and a planter be located in its place. The redesign of the driveway shall be to the satisfaction of the City Traffic Engineer.
5. If a dumpster is used, a trash enclosure which meets the requirements of the Zoning Ordinance must be provided. This trash enclosure shall not be located within the 25 foot non-buildable setback easement along the west property line.
6. The minimum bicycle parking shall be provided in accordance with the Zoning Ordinance. Additional bicycle parking may be required as a TMP measure.
7. No outside loud speakers shall be located at the rear of the structure.
8. The applicant shall comply with the mandatory mitigation measures as required in staff report P90-427.
10. A certificate of compliance shall be recorded for lot line adjustment (P90-300) prior to issuance of building permits.
11. The building shall be constructed per the submitted plans.

Findings of Fact

1. The project is based upon sound principles of land use in that:
  - a. adequate parking is provided on site; and
  - b. a Transportation Management Program will be provided.
2. The project will not be detrimental to the public safety or welfare, nor result in the creation of a public nuisance in that:
  - a. adequate on-site parking and landscaping will be provided; and
  - b. the increase if office use is compatible with the surrounding land uses consisting of residential and office/warehouse.
3. The project is consistent with the General Plan which designates the site Heavy Commercial or Warehouse and the office/warehouse use conforms to this designation.

REPORT PREPARED BY:

Jeanne Corcoran  
Jeanne Corcoran, Junior Planner

4/30/91  
Date

RECOMMENDATION APPROVED BY:

Marty Van Duyn  
Marty Van Duyn, Planning Director

4/30/91  
Date

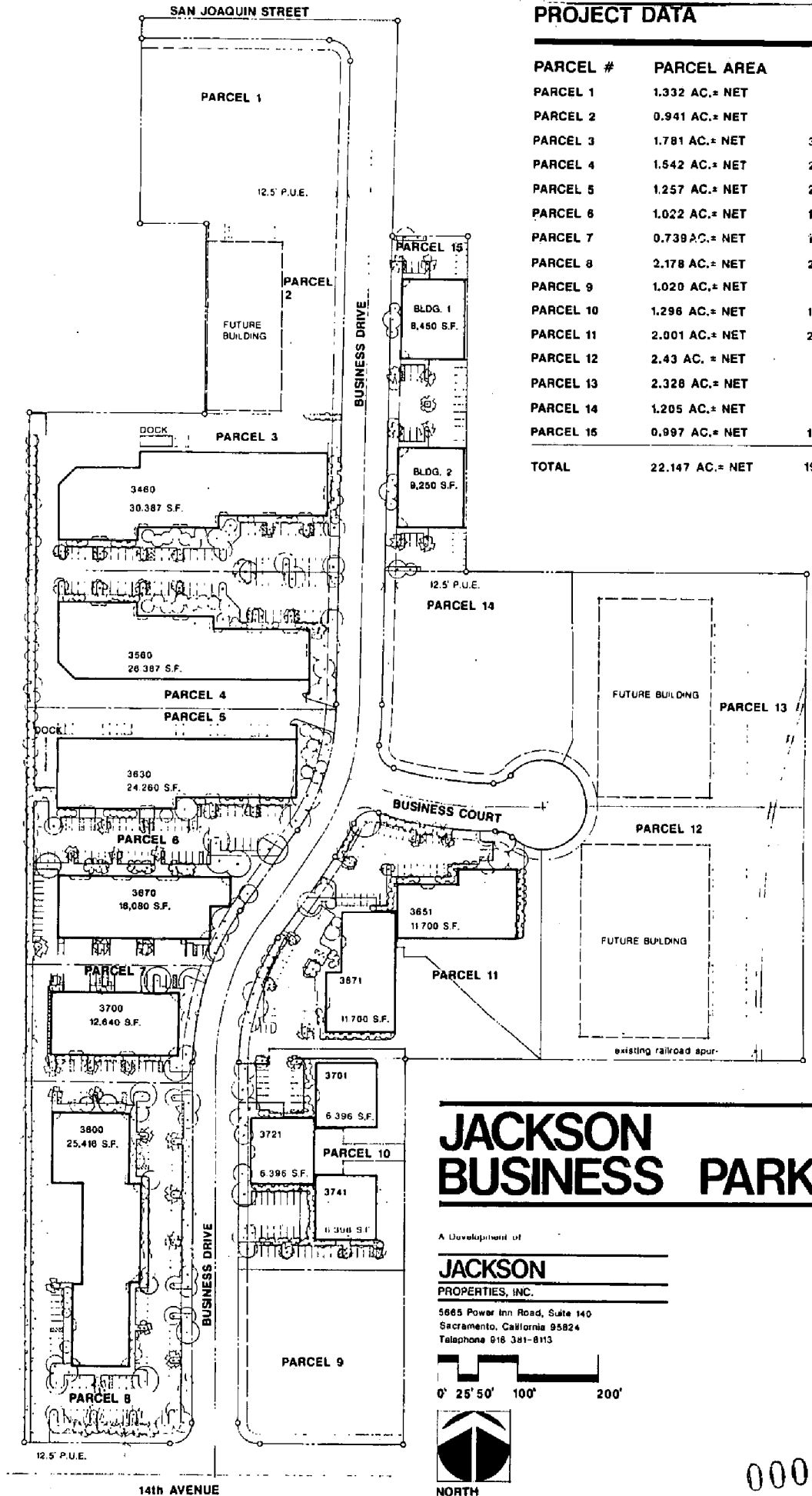
APPLC. NO. P90-427

000203

# EXHIBIT E

## PROJECT DATA

PARCEL #	PARCEL AREA	
PARCEL 1	1.332 AC.± NET	
PARCEL 2	0.941 AC.± NET	
PARCEL 3	1.781 AC.± NET	30,387 S.F.
PARCEL 4	1.542 AC.± NET	26,387 S.F.
PARCEL 5	1.257 AC.± NET	24,280 S.F.
PARCEL 6	1.022 AC.± NET	16,080 S.F.
PARCEL 7	0.739 AC.± NET	12,640 S.F.
PARCEL 8	2.178 AC.± NET	25,418 S.F.
PARCEL 9	1.020 AC.± NET	
PARCEL 10	1.296 AC.± NET	19,188 S.F.
PARCEL 11	2.001 AC.± NET	23,400 S.F.
PARCEL 12	2.43 AC.± NET	
PARCEL 13	2.328 AC.± NET	
PARCEL 14	1.205 AC.± NET	
PARCEL 15	0.997 AC.± NET	17,700 S.F.
<b>TOTAL</b>	<b>22.147 AC.± NET</b>	<b>195,458 S.F.</b>



# JACKSON BUSINESS PARK

A Development of

**JACKSON**  
PROPERTIES, INC.

5665 Power Inn Road, Suite 140  
Sacramento, California 95824  
Telephone 916 381-8113

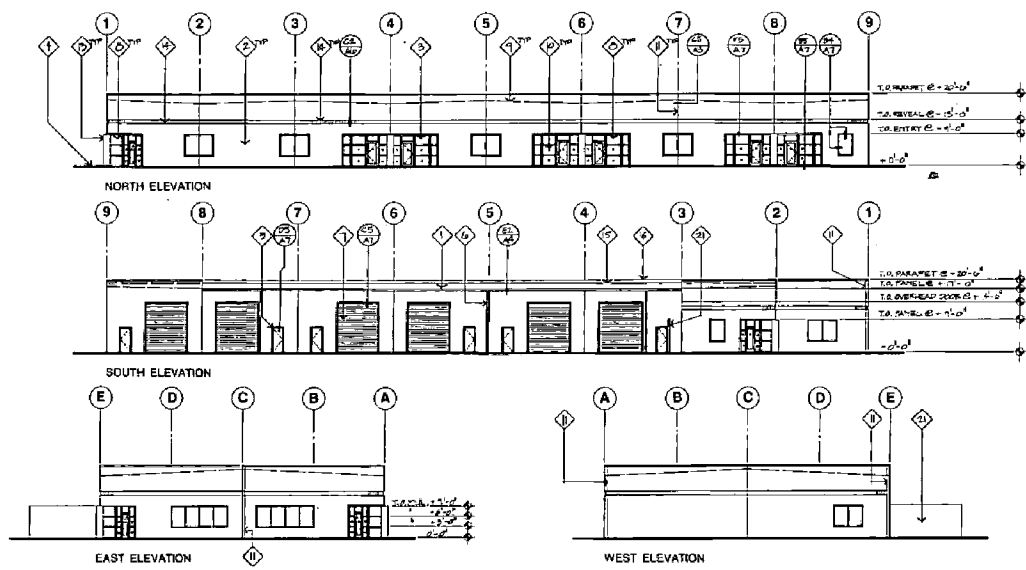


NORTH

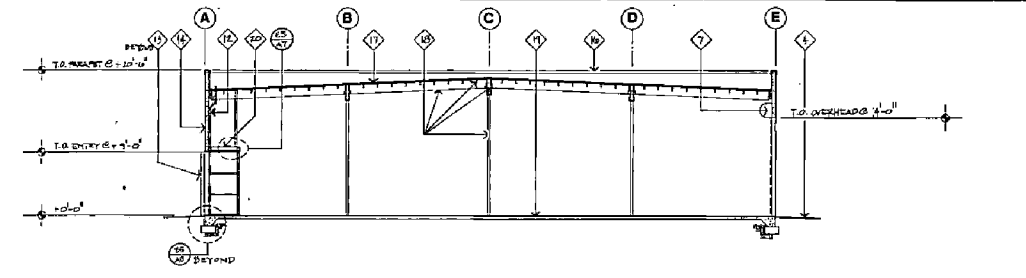
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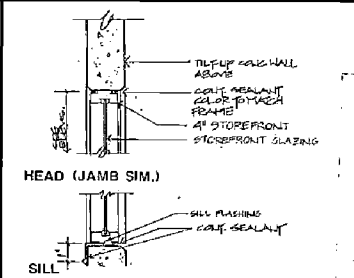


**E3 EXTERIOR ELEVATIONS BLDG. 'C'**  
1/8" = 1'-0"

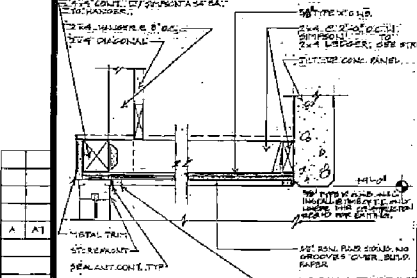


**E4 SECTION-BLDG. 'C'**  
1/8" = 1'-0"

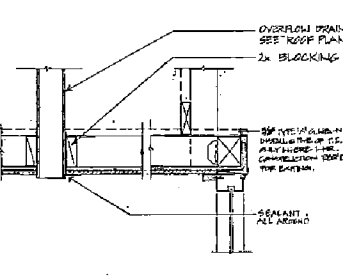
- KEYNOTES**
1. TYP. 22 GA. G.I. GUTTER - EXPANSION JOINTS @ 60" MAX. PER S.M.A.C.R.A. (1975) PLATE 6
  2. TYP. PRECAST, TILT UP CONG. PANELS - SEE STRUCTURAL ENG. DRAWINGS - SMOOTH FINISH - VERIFY OWNER'S PAINTING REQUIREMENTS.
  3. TYP. STOREFRONT - SEE FLOOR PLAN AND DETAIL AS INDICATED.
  4. LINE OF FINISH GRADE OR A.C. PAVING - SEE CIVIL ENGINEERING DRAWINGS.
  5. TYP. MAIN DOOR - SEE FLOOR PLAN AND DETAIL AS INDICATED.
  6. TYP. 3" X 5" 24 GA. G.I. DOWNSPOUTS (PROVIDE 3 STRAPS MIN.) TYP. TO GRADE - SEE DETAIL AS INDICATED.
  7. TYP. OVERHEAD DOOR - SEE FLOOR PLAN AND DETAIL AS INDICATED.
  8. RECESSED ENTRY - SEE FLOOR PLAN.
  9. LINE OF ROOF BEYOND.
  10. [Symbol] INDICATES TEMPERED GLASS.
  11. TYP. PANEL JOINT - SEE DETAIL AS INDICATED.
  12. TYP. INTERIOR C.I. DRAIN - NO HUB RAINWATER PIPING. DAYLIGHT THRU FACE OF CURB - SEE SITE PLAN FOR LOCATION.
  13. 2'-0" DIA. "SONOTUBE" CONCRETE COLUMN - SEE FLOOR PLAN.
  14. TYP. REVEAL - VERIFY OWNER'S COLOR - REQUIREMENTS - SEE DETAIL AS INDICATED.
  15. RIDGE LINE BEYOND.
  16. PARAPET BEYOND.
  17. BUILT-UP COMPOSITION ROOF OVER PLYWOOD ROOF DIAPHRAGM - SEE ROOF PLAN.
  18. ROOF FRAMING 2X RAFTER JOIST, 4X PURLINS, GIRD LAMINATED BEAMS AND STEEL COLUMNS. SEE STRUCTURAL.
  19. CONCRETE SLAB ON GRADE - SEE STRUCTURAL ENG. DRAWINGS FOR SLAB DESIGN AND SUB-SLAB PREPARATION.
  20. TYP. SOFFIT FROSH & 2X FIN TRIM - See 10/27
  21. TILT-UP CONCRETE SCURED WALL.



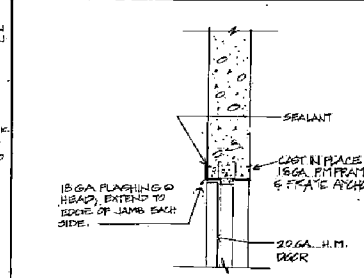
**B4 WINDOW HEAD/SILL DETAIL**  
SCALE: 1/2" = 1'-0"



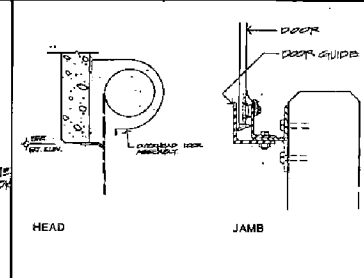
**F5 SOFFIT DETAIL** 1/2" = 1'-0"



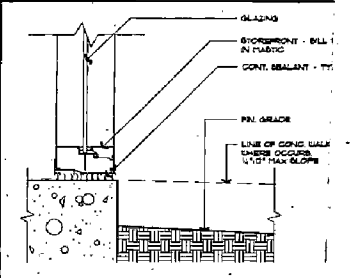
**E5 OVERFLOW DRAIN AT SOFFIT** 1/2" = 1'-0"



**D5 DOOR HEAD - P.M. FRAME (JAMB SIM.)**  
1/8" = 1'-0"



**C5 OVERHEAD DOOR**  
NO SCALE



**B5 STOREFRONT SILL DETAIL**  
3/4" = 1'-0"

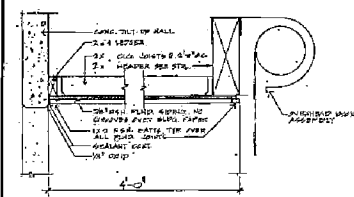
**COMSTOCK JOHNSON ARCHITECTS INC.**  
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DUANE H. JOHNSON  
Associate: RICHARD A. SCHRYVER  
1633 River Lane, Suite 3, Sacramento, California 95827 (916) 362-6303

ARCHITECT: REG. #

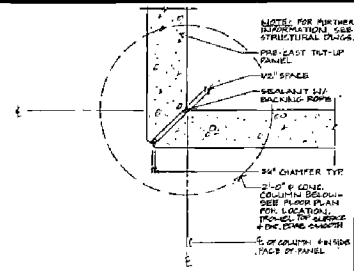
JOB TITLE:

**EXHIBIT D ELEVATIONS**

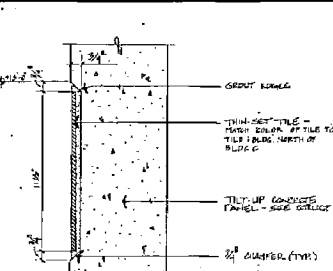
P90-427



**E2 SOFFIT AT RECESSED OVERHEAD DOOR**  
1/8" = 1'-0"

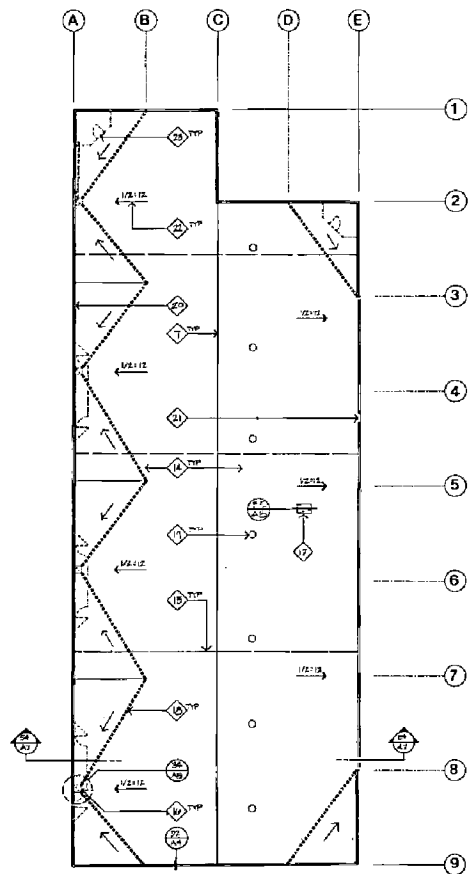


**D2 PANELS AT OUTSIDE CORNER**  
1/8" = 1'-0"

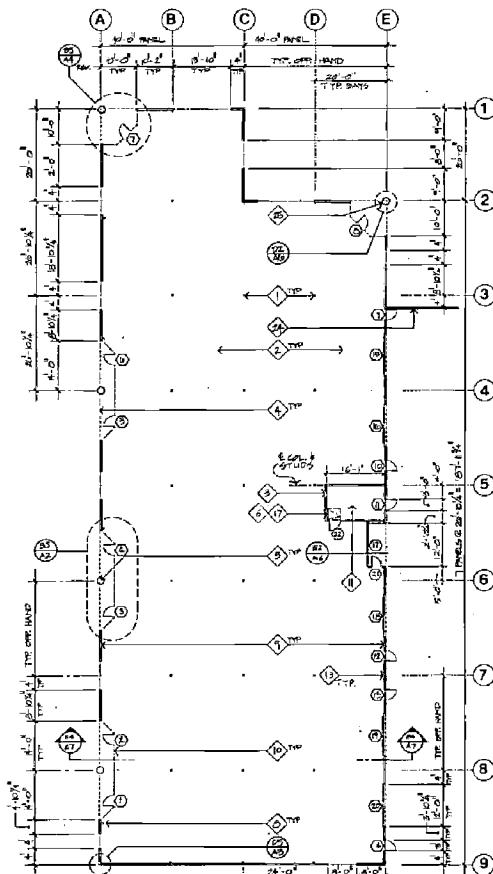


**C2 TILE REVEAL**  
1/8" = 1'-0"

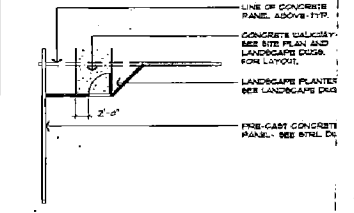
- KEYNOTES**
- 1 STEEL COLUMNS - SEE STRUCTURAL ENGINEERING DRAWINGS.
  - 2 CONC. SLAB ON GRADE - SEE CIVIL ENGINEERING DWGS. FOR FINISH FLOOR ELEVATION - SEE STRUCTURAL ENGINEERING DRAWINGS FOR SLAB DESIGN AND SUB-SLAB PREPARATION.
  - 3 2 X 6 WOOD STUDS @ 1'-4" O.C. TO ROOF STRUCTURE ABOVE W/ 3/8" G.W.B. BOTH SIDES TO ROOF STRUCTURE ABOVE, LINE OF SOFFIT ABOVE.
  - 4 2'-0" DIA. "SONOTUBE" CONC. COLUMN - TYP. OF #9.
  - 5 ROOF ACCESS LADDER PER CAD T-24, PART 6, ARTICLE 4. SEE DETAIL AS INDICATED. COORDINATE LOCATION W/ ROOF FRAMING & ELECTRICAL/TELEPHONE EQUIPMENT ROOM.
  - 6 RIDGE LINE.
  - 7 TYP. INTERIOR G.I. DRAIN - SEE ROOF PLAN & DETAILS B4 & B5/A5
  - 8 TYP. PRE-CAST, TILT-UP CONC. PANELS - SEE FLOOR PLAN, & STRUCTURAL ENGINEERING DRAWING.
  - 9 TYP. STOREFRONTS TO BE 4" COLORED, NARROW STYLE ALUMINUM SECTIONS. DOORS PER DOOR SCHEDULE. GLAZING TO BE "SOLARBROnze" - USE PLATE GLASS TYPICAL. USE TEMPERED GLASS WHERE SHOWN ON EXTERIOR ELEVATIONS. GLASS THICKNESS PER U.S. TABLE 54-A 1959 EDITION (1/4" MIN.).
  - 10 EQUIPMENT ROOM - COORD. PLACEMENT OF INT. DOOR & EQUIP. W/ ELEC. DRAWINGS
  - 11 INSULATION: AS REQUIRED, SHALL BE PROVIDED DURING TENANT IMPROVEMENT PHASE.
  - 12 PANEL JOINTS - SEE EXT. ELEV. AND FLOOR PLAN.
  - 13 BUILT-UP ROOF TO BE "MANVILLE BUILDING PRODUCTS" #4 G.N.C. "CONGLAS" NO. 24-C OR "OWENS-CORNING" #31 M.C. OR ANY OTHER APPROVED GLASS OR MINERAL CAP SHEET 3/8" THICK AS SPECIFIED IN SECTION 308 OR 2, U.B.C.
  - 14 ATTIC DRAFTSTOPS A.I.C. - TYP. WHERE SHOWN - TO BE DONE DURING TENANT IMPROVEMENT PHASE. ACTUAL PLACEMENT DETERMINE UPON PORTIONS OF OCCUPANCY THAT REQUIRE A FINISHED CEILING. CO-ORD. W/ I.E. FOR ACTUAL LOCATIONS. ATTIC AREAS NOT TO EXCEED 4,000 S.F. BETWEEN DRAFTSTOPS AND MAX. HORIZ. DIMENSIONS NOT TO EXCEED 100'-0".
  - 15 ROOF DRAIN & OVERFLOW PIPE - SEE DETAIL AS INDICATED. TYP. OF #4
  - 16 ROOF HATCH - COORDINATE LOCATION W/ FLOOR PLAN AND SEE DETAIL AS INDICATED.
  - 17 INDICATES ROOF WARP - SEE STRUCTURAL DRAWINGS.
  - 18 2'-0" DIA. ROTARY VENT. (TYP. OF #1 OR H.V.A.C. SYSTEM TO BE INSTALLED PRIOR TO BLDG. OCCUPANCY TO COMPLY WITH U.B.C. SECTION 705 (VENTILATION)).
  - 19 SLOPED LEDGERS - SEE STRUCTURAL DRAWINGS.
  - 20 TYPICAL GUTTER & DOWNSPOUTS - SEE EXT. ELEVATIONS.
  - 21 INDICATES DIRECTION OF ROOF SLOPE - TYP. WHERE SHOWN - MAIN ROOF SLOPE 1/2" PER FT. MAX.
  - 22 RECESSED ENTRY BELOW - SEE FLOOR PLAN.
  - 23 TILT-UP CONCRETE SHIPWAY HALL - SEE EXT. ELEV. AND STILLING
  - 24 TYPED JOINTS TO COVER ALL RECESSED CORNER ENTRIES - SEE DETAIL AS INDICATED.
  - 25 ALL DIMENSIONS ARE TO FACE OF OPENING OF CENTERLINE UNL.



**ROOF PLAN BLDG. 'C'**  
1/16" = 1'-0"



**FLOOR PLAN BLDG. 'C'**  
1/16" = 1'-0"



**B5 RECESSED INSIDE CORNER ENTRY**  
1/8" = 1'-0"

**COMSTOCK JOHNSON ARCHITECTS INC.**  
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(619) 562-5303

ARCHITECT: REG. #

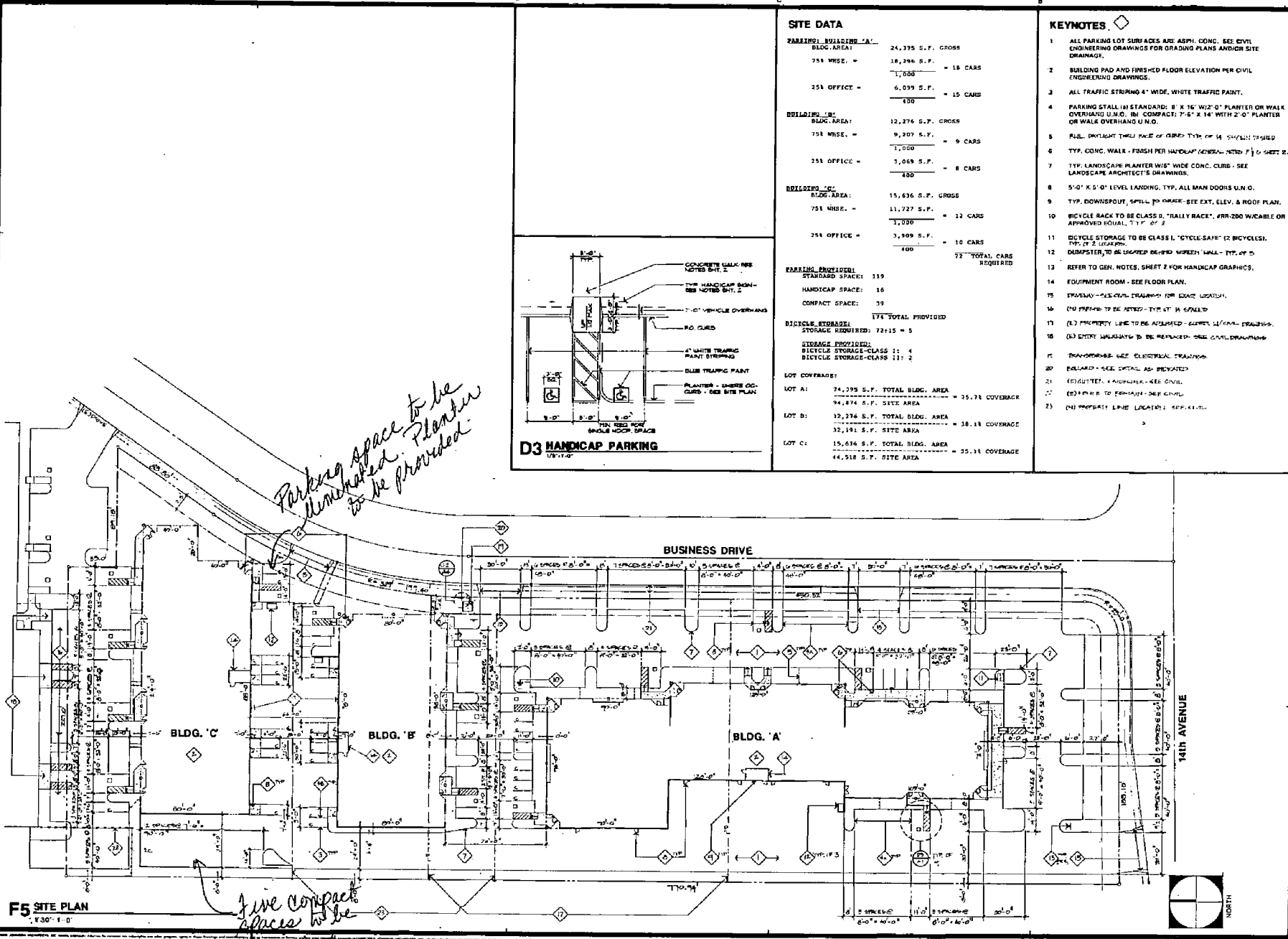
JOB TITLE:

**EXHIBIT FLOOR PLANS**



P90-427

000206



**SITE DATA**

**PARKING BUILDINGS "A"**  
BLDG. AREA: 24,325 S.F. GROSS  
754 WUSE. = 18,394 S.F. = 18 CARS  
1,000  
251 OFFICE = 6,039 S.F. = 15 CARS  
400

**BUILDING "B"**  
BLDG. AREA: 12,276 S.F. GROSS  
754 WUSE. = 9,207 S.F. = 9 CARS  
1,000  
251 OFFICE = 3,069 S.F. = 8 CARS  
400

**BUILDING "C"**  
BLDG. AREA: 15,636 S.F. GROSS  
754 WUSE. = 11,727 S.F. = 12 CARS  
1,000  
251 OFFICE = 3,909 S.F. = 10 CARS  
400

72 TOTAL CARS REQUIRED

**PARKING BUILDINGS:**  
STANDARD SPACE: 119  
HANDICAP SPACE: 16  
COMPACT SPACE: 39

**BICYCLE STORAGE:**  
174 TOTAL PROVIDED  
STORAGE REQUIRED: 72 x 15 = 5

**STORAGE PROVIDED:**  
BICYCLE STORAGE-CLASS 1: 4  
BICYCLE STORAGE-CLASS 2: 2

**LOT COVERAGE:**  
LOT A: 24,325 S.F. TOTAL BLDG. AREA  
94,874 S.F. SITE AREA = 25.75 COVERAGE  
LOT B: 12,276 S.F. TOTAL BLDG. AREA  
32,191 S.F. SITE AREA = 38.18 COVERAGE  
LOT C: 15,636 S.F. TOTAL BLDG. AREA  
44,518 S.F. SITE AREA = 35.11 COVERAGE

- KEYNOTES**
- 1 ALL PARKING LOT SURFACES ARE ASPH. CONC. SEE CIVIL ENGINEERING DRAWINGS FOR GRADING PLANS AND/OR SITE DRAINAGE.
  - 2 BUILDING PAD AND FINISHED FLOOR ELEVATION PER CIVIL ENGINEERING DRAWINGS.
  - 3 ALL TRAFFIC STRIPING 4" WIDE, WHITE TRAFFIC PAINT.
  - 4 PARKING STALL (A) STANDARD: 8' X 16' W/2'-0" PLANTER OR WALK OVERHANG U.N.O. (B) COMPACT: 7'-6" X 14' WITH 2'-0" PLANTER OR WALK OVERHANG U.N.O.
  - 5 FILL, DRYLITE THREE PACE OF CURB TYPE OF 18" (CYLIND) DRAINED
  - 6 TYP. CONC. WALK - FINISH PER HANDBOOK GENERAL NOTES P. 10 SHEET B.
  - 7 TYP. LANDSCAPE PLANTER WITH WIDE CONC. CURB - SEE LANDSCAPE ARCHITECT'S DRAWINGS.
  - 8 5'-0" X 5'-0" LEVEL LANDING, TYP. ALL MAIN DOORS U.N.O.
  - 9 TYP. DOWNSPOUT, SPILL TO CURB - SEE EXT. ELEV. & ROOF PLAN.
  - 10 BICYCLE RACK TO BE CLASS B, "RALLY RACK", #RR-200 W/ICABLE OR APPROVED EQUAL, TYP. OF 2
  - 11 BICYCLE STORAGE TO BE CLASS I, "CYCLE SAFE" (2 BICYCLES), TYP. OF 2 LOCATIONS
  - 12 DUMPSTER, TO BE LOCATED BEHIND GREEN WALL - TYP. OF 2
  - 13 REFER TO GEN. NOTES, SHEET 7 FOR HANDBOOK GRAPHICS.
  - 14 EQUIPMENT ROOM - SEE FLOOR PLAN.
  - 15 STAIRWAY - ELECTRICAL DRAWING FOR EXACT LOCATION.
  - 16 (N) PROPERTY TO BE ADJACENT TO LOT 16 SHOWN
  - 17 (E) PROPERTY LINE TO BE ADJACENT TO LOT 17 SHOWN
  - 18 (S) ENTRY WALKWAYS TO BE REPAIRED - SEE CIVIL DRAWINGS
  - 19 TRANSFORMER SEE ELECTRICAL DRAWING
  - 20 BUILDING SEE DETAIL AS INDICATED
  - 21 (E) GUTTER, HANDWALK - SEE CIVIL
  - 22 (E) PROPERTY TO BE ADJACENT TO LOT 22 SHOWN
  - 23 (N) PROPERTY LINE LOCATED SEE KEYNOTE

**COMSTOCK JOHNSON ARCHITECTS INC.**

15191 Plymouth Blvd. & Sacramento  
San Ramon, California 94583  
Tel. 925-373-1831

ARCHITECT: REG. #

**CONSTRUCTION DOCUMENTS FOR:**  
**JACKSON BUSINESS PARK**  
**LOT 6, 7 & 8**  
CITY OF SACRAMENTO, CALIFORNIA

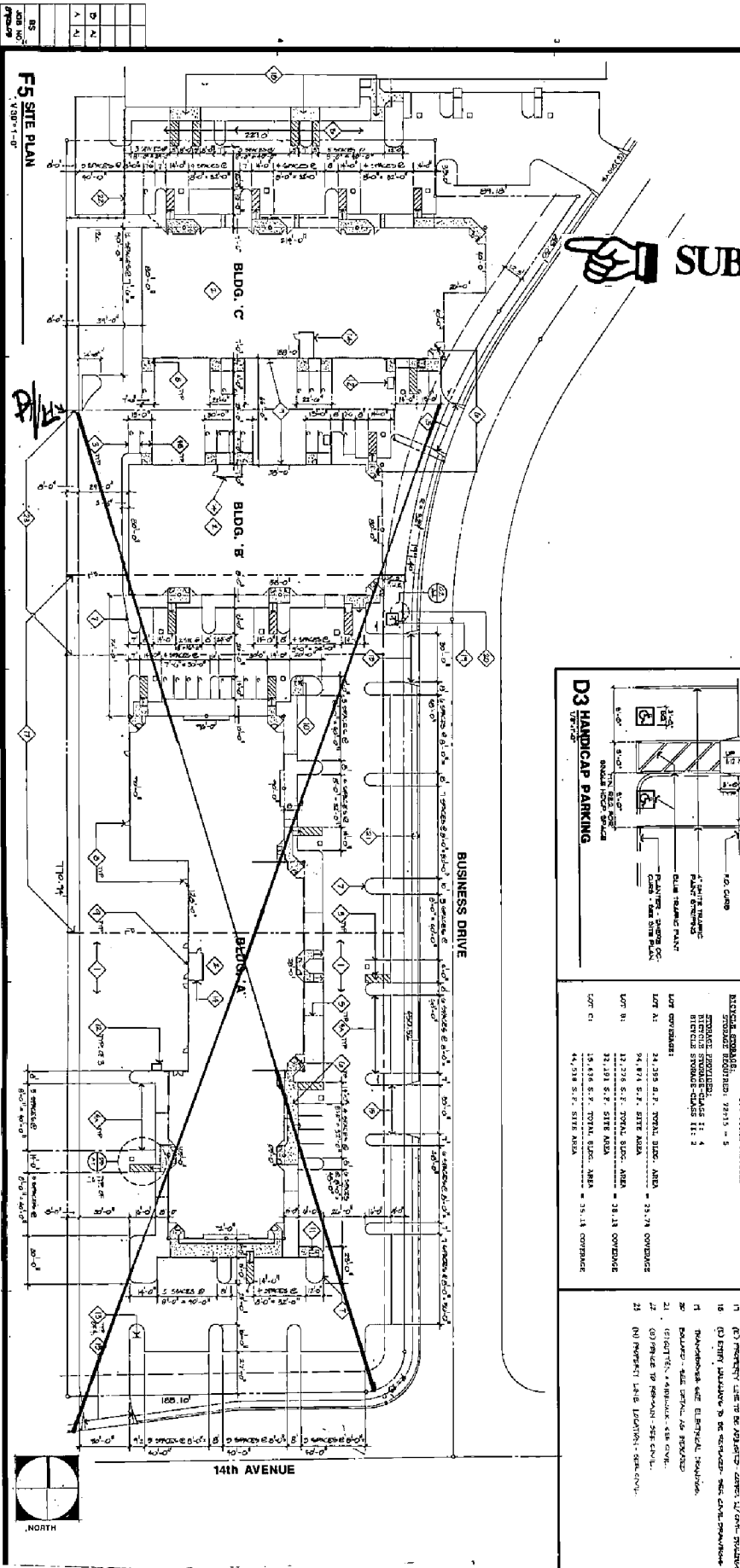
**REVISIONS:**


DATE: 7/25/95  
DRAWN:  
JOB NUMBER: 85  
SHEET:  
OF 1

**EXHIBIT B**

# EXHIBIT A SITE PLAN

**SUBJECT SITE**



FS SITE PLAN  
1.5001-1-07

SITE DATA	
EXISTING BUILDING - N.	21,258 S.F. GROSS
BLDG. AREA:	
728 WARE -	18,258 S.F. - 18 CARS
	1,000
243 OFFICE -	6,999 S.F. - 15 CARS
	157
BUILDING - S.	
218 OFFICE -	11,276 S.F. GROSS
	738
219 OFFICE -	3,488 S.F. - 8 CARS
	700
BUILDING - E.	
BLDG. AREA:	15,428 S.F. GROSS
728 WARE -	11,276 S.F. - 21 CARS
	1,000
219 OFFICE -	3,988 S.F. - 10 CARS
	700
TOTAL CARS REQUIREMENT	
STANDARD PARKING:	119
AMMOVIC SPACE:	16
CONTRACT SPACE:	39
TOTAL CARS PROVIDED	
RECYCLE STORAGE - CLASS II:	127 TOTAL PROVIDED
RECYCLE STORAGE - CLASS III:	4
TOTAL PROVIDED	
LIFT CAPACITY:	
LIFT A:	24,359 S.F. TOTAL BLDG. AREA - 29.7% COVERAGE
LIFT B:	24,874 S.F. SITE AREA
LIFT C:	12,228 S.F. TYPICAL BLDG. AREA - 28.1% COVERAGE
LIFT D:	32,391 S.F. SITE AREA
LIFT E:	15,498 S.F. TOTAL BLDG. AREA - 35.1% COVERAGE
LIFT F:	44,218 S.F. SITE AREA

- ### KEYNOTES
- 1 ALL PARKING LOT SURFACES ARE ASPH. CONC. SEE CIVIL DRAWINGS FOR FINISHES AND PERFORM A COORDINATION WITH THE ENGINEERING DRAWINGS.
  - 2 ALL TRAFFIC SIGNALS SHALL BE WHITE SIGNALS.
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  - 4 TRAFFIC SIGNALS SHALL BE WHITE SIGNALS.
  - 5 TRAFFIC SIGNALS SHALL BE WHITE SIGNALS.
  - 6 TRAFFIC SIGNALS SHALL BE WHITE SIGNALS.
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  - 22 TRAFFIC SIGNALS SHALL BE WHITE SIGNALS.

**COMSTOCK  
JOHNSON  
ARCHITECTS  
INC.**

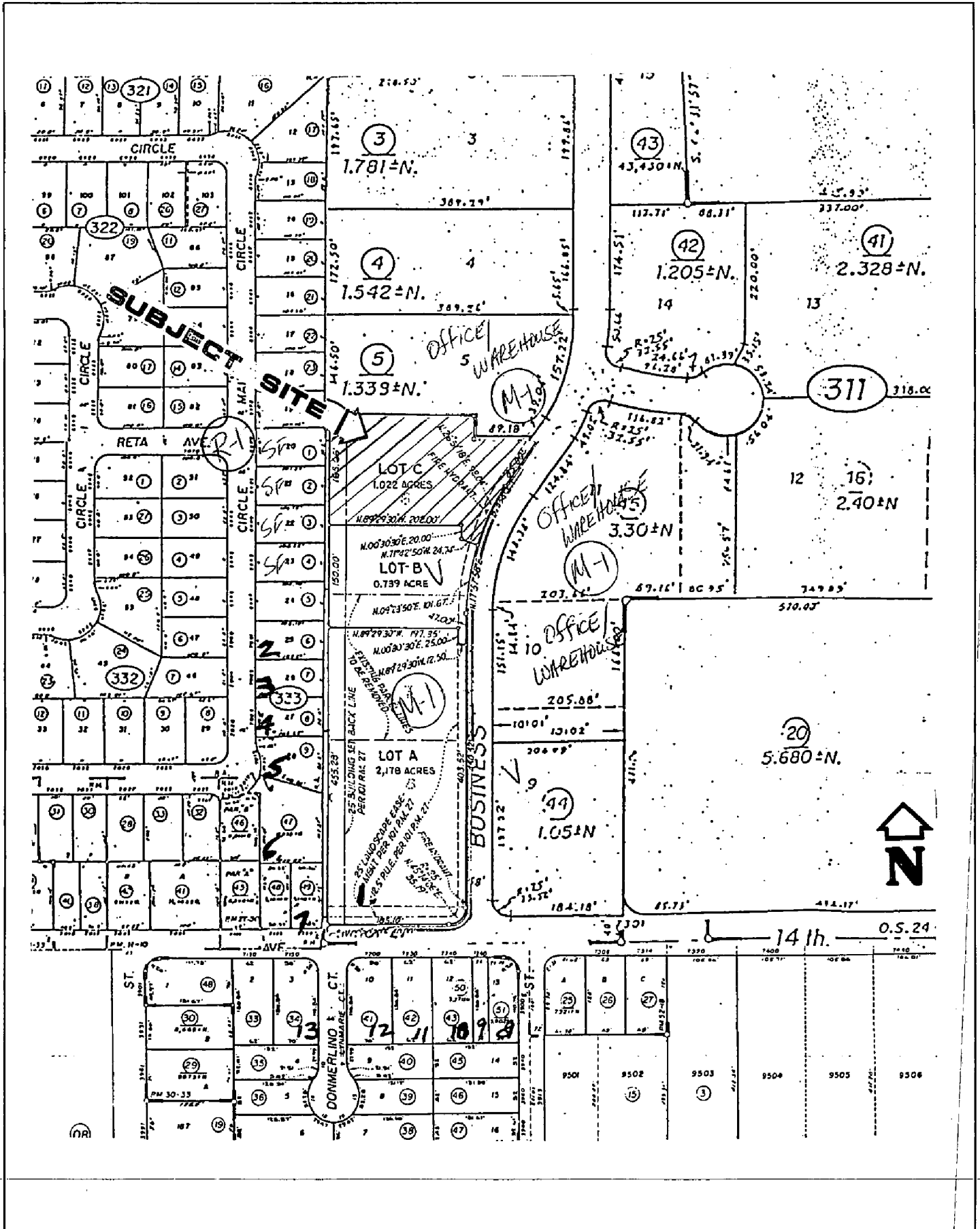
1001 First Street  
San Francisco  
California 94103

ARCHITECT: [Signature]

DATE: 11/11/83



P91-427



VICINITY, LAND USE & ZONING MAP