

CITY PLANNING COMMISSION
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	LTA Development Co., 1909 Capitol Avenue #100, Sac., CA 95814		
OWNER	Robert Matz, 428 13th Street, Suite #700, Oakland, CA 94612		
PLANS BY	Collaborative Design		
FILING DATE	10/12/88	ENVIR. DET.	Neg. Dec.
ASSESSOR'S PCL. NO.	117-0160-011	REPORT BY	DH:vf

- APPLICATION:**
- A. Negative Declaration
 - B. Rezoning of 8+ vacant acres from Agriculture to Multiple Family-Review (R-2B-R).
 - C. Plan Review of a 168 unit apartment complex on 8+ vacant acres in the proposed R-2B-R zone.

LOCATION: Northeast corner Franklin Boulevard and Calvine Road

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 168 unit apartment complex.

PROJECT INFORMATION:

General Plan Designation:	Medium Density Residential - 16 to 29 du/net acre
1986 South Sacramento Community Plan Designation:	Residential 11-29 du/acre
Existing Zoning of Site:	A - Proposed, R-2B-R
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:

North: Vacant; R-1
 South: Vacant; C-2R
 East : Vacant (Proposed 231 unit, Laguna Estates)
 West : Vacant, Ag & County; County Zoning A

Setbacks:	Required	Provided
Front:	25'	25'
Side(Int):	5'	15'
Side(St):	25'	25'
Rear:	15'	25'

Parking Required:	Total 252 spaces
Parking Required:	Total 255 spaces
Property Dimensions:	1,030 ft. x 340 ft.
Property Area:	8+ acres
Density of Development:	21 d. u. per acre
Square Footage of Building:	None stated
Height of Building:	2 stories
Topography:	Flat
Street Improvements:	To be extended
Utilities:	To be extended
Exterior Building Materials:	Cement plaster and horizontal lap hardboard siding
Roof Materials:	Composition shingles

Apartment Unit Size:

18 - 3 bedroom -	960 sq. ft.
100 - 2 bedroom -	840 sq. ft.
50 - 1 bedroom -	624 sq. ft.
168 - Total Units	

BACKGROUND INFORMATION: On September 20, 1988, the City Council approved a tentative parcel map to divide 58+ vacant acres into three lots, one of which is the eight acre subject site planned for multiple family development (P88-279). The remaining 50+ acres are proposed to be subdivided to create the Laguna Estates Subdivision totaling 233 lots. Laguna Estates was approved by the City Council on November 22, 1988 (P88-231).

As a note on the tentative parcel map, Quimby fees were to be assessed at the time of building permits for the eight acre multiple family site as a condition of the rezoning. Conditions on the tentative maps also related to flooding, road improvements and utility rights of way.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning:

The subject site is a vacant eight acre parcel which is located in the Agriculture (A) zone. The site is designated on the General Plan and 1986 South Sacramento Community Plan for medium density residential uses, 16 to 29 du/net acre and 11 to 29 du/net acre respectively. The proposed project of 168 units on 8+ acres results in a density of 21 du/net acre, consistent with the plans for the site. The site is bordered by vacant land to the north proposed for Duncan Estates subdivision (P84-033); to the east by vacant lands planned for Laguna Estates Subdivision (P88-231); to the south by Parklands Unit #1 commercial property still vacant; and to the west, across Franklin Boulevard is in the County and zoned Agriculture. The site is vacant and contains four Eucalyptus trees.

B. Project Description:

1. Rezone - The applicant is requesting a rezoning from Agriculture to Multiple Family Review (R-2B-R) zone in order to allow construction of a 168 unit apartment complex. As a condition of the rezoning, staff of the Parks and Community Services Division have requested Quimby fees to be paid at time of building permit issuance. Staff recommends that in addition to all "R" review comments, that the rezoning include Quimby fee statement.

2. Plan Review (R-Review)

The applicant proposes to construct a 168 unit apartment complex with 255 parking spaces, recreational building, pool, landscaping and carport and open parking. A six to eight foot high solid masonry wall is proposed along the east property line. Access will be provided off two driveways, one each on Franklin Boulevard and Calvine Road.

The proposed site plan shows the following breakdown of unit sizes and their number.

<u>SIZE</u>	<u>BEDROOMS</u>	<u>NUMBER OF UNITS</u>
960 sq. ft.	3	18
840 sq. ft.	2	100
624 sq. ft.	1	50
		168 total units

Exteriors are proposed to be constructed of horizontal lap siding, stucco plaster finish, wood trellis accent and heavy butt composition shingles on the roof. All colors are proposed to be earthtones. Roof lines are broken up and a false fireplace chimney element is shown. All units identified in the Noise Study close to the major roads are required to have noise attenuation measures incorporated into their design.

C. Site Plan Evaluation:

Staff has reviewed the proposed site plan and recommends the following modifications:

1. Wherever a six or eight foot high solid masonry wall is shown or required, it is recommended that it be a decorative wall with detailed drawings approved by the Planning Director prior to issuance of building permits.
2. The site plan should reflect the multiple family design criteria stated in Exhibit C.
3. The carport structures should be located a minimum of 15 feet from the north and east property line. Landscaping should be shown along the 15 foot strip adjacent to the north and east property line which should include a mix of five and 15 gallon evergreen trees planted on 20 foot centers.
4. Carport structures shall be construct and painted with compatible and similar materials as the apartments. The Planning Director is to review and approve the design of carports prior to issuance of building permits.
5. The swimming pool and recreational facilities are located near the proposed single family development. Staff recommends a

restriction on the hours of pool use and intensive landscaping to buffer the noise generated from the pool in addition to the eight foot high masonry wall the applicant proposes. The pool and recreation buildings should be closed between the hours of 10:00 p.m. and 7:00 a.m. Relocation of the pool and recreation facilities to the west is preferred to the present location.

6. No parking is to be allowed along Franklin Boulevard or Calvin Road adjacent to the site. This will discourage people from trampling the perimeter landscaping since no fencing is proposed adjacent to the street frontages, people may park closer to their units.
7. Staff recommends a 30 foot building setback off Franklin Boulevard with a minimum four foot high earthen berm. These berms shall not be undulating since it serves as a noise buffer as stated in the Negative Declaration.
8. Staff recommends the planting of trees along the street setback areas. Size should be a mix of five and 15 gallon deciduous and evergreen trees planted at a minimum density of one tree per 20 lineal feet of street frontage in staggered locations. Shrubbery are encouraged near the crest of the berm. All landscaped areas are to be automatically irrigated. The street setback berm area is recommended to be planted in grass. No bark mulch shall be used in the 30 foot building setback area.
9. Heating and cooling equipment is not shown. As per the Multiple Family Design Guidelines, the units shall be screened or placed to not be visible on the site.
10. Since the probability of people to park on Franklin or Calvin Road closer to their unit is highly likely, staff recommends that a minimum six foot high decorative wrought iron fence be constructed at the edge of the right-of-way or other appropriate area to prevent trespass. The 30 foot of landscaping and berming would be maintained and used by residents of the apartments and management of the complex.
11. No details on the trash enclosures were provided. Staff recommends adequate placement and number of trash enclosures be shown on the site plan. Enclosures shall have trellis covers to screen view from second story units.
12. Detailed elevations of the laundry facility, recreation building, carports and other structures shall be reviewed by the Planning director prior to issuance of building permits.
13. The City Arborist field inspected the site on February 28, 1989 and reviewed the health of the four existing eucalyptus trees.

The third tree in from Franklin Boulevard is the largest and healthiest tree and is recommended that it be preserved. The smaller three trees can be preserved or removed. The trees provide a landmark for the site and should be retained if possible when revised drawings are submitted. Staff recommends the relocation of a driveway to the area near the trees so that the trees could serve as a focal point (see staff modified site plan).

14. The site plan should be revised to show parking closer to the units being served. Staff recommends the site plan be revised to show parking areas within 100 to 150 feet of the unit being served (see staff modified site plan).

AGENCY COMMENTS: The City Engineering, Traffic Engineering, Parks and Police Departments reviewed the proposed project and provided the following comments:

Traffic Engineer

1. Applicant may consider second driveway access from Franklin Boulevard.
2. Construct Franklin Boulevard to a 110 foot right-of-way and Calvine Road to an 80 ft. right-of-way with an expanded 84 foot right-of-way intersection at Franklin Boulevard. Construction shall conform to the approved Laguna Creek Assessment District maps.
3. Construct bikeways as required in the South Sacramento Community Plan. The bikeway is to be located in Franklin Boulevard right-of-way.
4. No parking shall be allowed adjacent to the site on Franklin Boulevard or Calvine Road.

City Engineering Division

1. Full frontage improvements are required at time of parcel map recordation. Improvements shall be coordinated with Laguna Creek Assessment District improvements currently under construction.
2. No building permit to be issued until parcel map is recorded.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070 (B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects would occur:

- A. Improvement plans for the site shall indicate the elevation of the proposed building sites.

B. Building fronting Franklin Boulevard must be placed a minimum of 30 feet behind the property line, with a minimum four foot high earthen landscaped berm between the buildings and the property line.

C. Patio and balcony barriers must be designed (height, construction materials, shape) to conform with FHWA standards that will accept patio and balcony barriers as a means of noise attenuation. Barrier materials must be airtight and massive with no significant gaps in construction.

D. Exterior Walls Facing Franklin Boulevard

1. Exterior walls shall have a minimum STC rating of 40;
2. Minimum one-half inch sheathing shall be nailed on the outside face of the 2 x 4 wood stud construction. The top and bottom edges of the sheathing shall be sealed with a resilient caulking. The sheathing shall be butted tightly together and covered with a minimum 15 pounds felt paper;
3. A wood or clapboard finish shall be used over the felt paper. The sheathing and finish materials shall have a minimum weight of three pounds/square foot;
4. R-11 insulation shall be used in the cavity of all studs and shall fit snugly throughout the cavity.
5. A minimum one-half inch gypsum board shall be fastened interior face. The gypsum board shall be completely taped and finished. The perimeter of the wall shall be sealed with a resilient, non-hardening caulking.

E. Windows

1. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with 25 mile hour wind, per, ASTM E283.
2. Windows shall have a minimum STC rating of 29.

F. Doors

1. Exterior doors and sliding glass doors shall have a minimum STC rating of 29 including any lites and using door seals needed to meet STC rating. This should included full perimeter seals.
2. Sliding glass doors shall meet air leakage requirements for windows.

G. Roof

The combined roof and ceiling shall have an STC rating of 39 or better.

H. Ceiling

1. The ceiling shall be constructed from a minimum one-half inch gypsum wall board in all habitable spaces.
2. The attic space above the ceiling shall contain a minimum R-19 insulation.

I. Ventilation

1. A mechanical ventilation system shall be installed that will provide minimum air circulation and fresh air supply requirements. There shall be no need to open windows, doors or other exterior openings to provide adequate ventilation.
2. Gravity vent openings in attic space shall not exceed code minimums in number and size.
3. If a fan is used for forced ventilation, the attic inlet and discharge openings shall be fitted with sheet metal transfer ducts of at least 20 gauge galvanized steel. The duct shall be a minimum of six feet long and lined for its entire length with one inch duct liner. Each duct shall include a lined 90 bend to prevent direct line of sight.
4. All exhaust fans connecting the interior to the exterior shall be connected with a minimum 10 foot duct, lined with one inch fiberglass liner and containing one 90 bend with the exception of the kitchen range exhaust.
5. Domestic range exhaust ducts connecting the interior space to the outdoors shall contain a baffle plate across the exterior termination which allows proper ventilation. The dimensions of the baffle plate should extend at least one diameter beyond the line of sight into the vent duct. The baffle plate shall be of the same material and thickness as the vent duct material.

J. General

1. All joints in exterior wall shall be grouted or caulked airtight.
2. All penetrations of exterior wall shall include a one-half inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides

- of the wall with a resilient, non-hardening caulking or mastic.
3. Window or through-the-wall ventilation and air conditioning units shall not be permitted.
 4. All sleeping spaces shall be provided with carpet and pad.
 5. There shall be no through the door or through the wall mail or paper chutes.

Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be reprocessed for additional environmental review. If this review determines that there is the possibility for significant mitigation measures may be required, or the applicant may be requested to prepare an Environmental Impact Report if identified impacts cannot be reduce to less than a significant level through mitigation.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval of the rezoning from A to R-2B-R subject to conditions; and
- C. Approve the Plan Review subject to conditions and based upon findings of fact which follow:

Conditions - Rezoning - Approval

1. The applicant shall pay Quimby Parkland Dedication fees at time of building permit issuance for the apartment site.
2. The applicant shall comply with the mitigation measures identified in the Negative Declaration for P88-444 on file at the City Planning Department for construction (attached Exhibit F).

Conditions - Plan Review - 168 Unit apartment Complex

1. The applicant shall construct the apartment complex is substantial compliance with the approved site plan and elevations as modified to reflect all conditions of approval including relocating the recreational facilities, preserving the trees and providing parking closer to the units.
2. The applicant shall comply with the Multi-Family Residential Design Guidelines, Exhibit C, including revisions stated in this report.
3. The applicant shall submit detailed landscaping, irrigation and shading plans for staff review and approval prior to issuance of building permits.

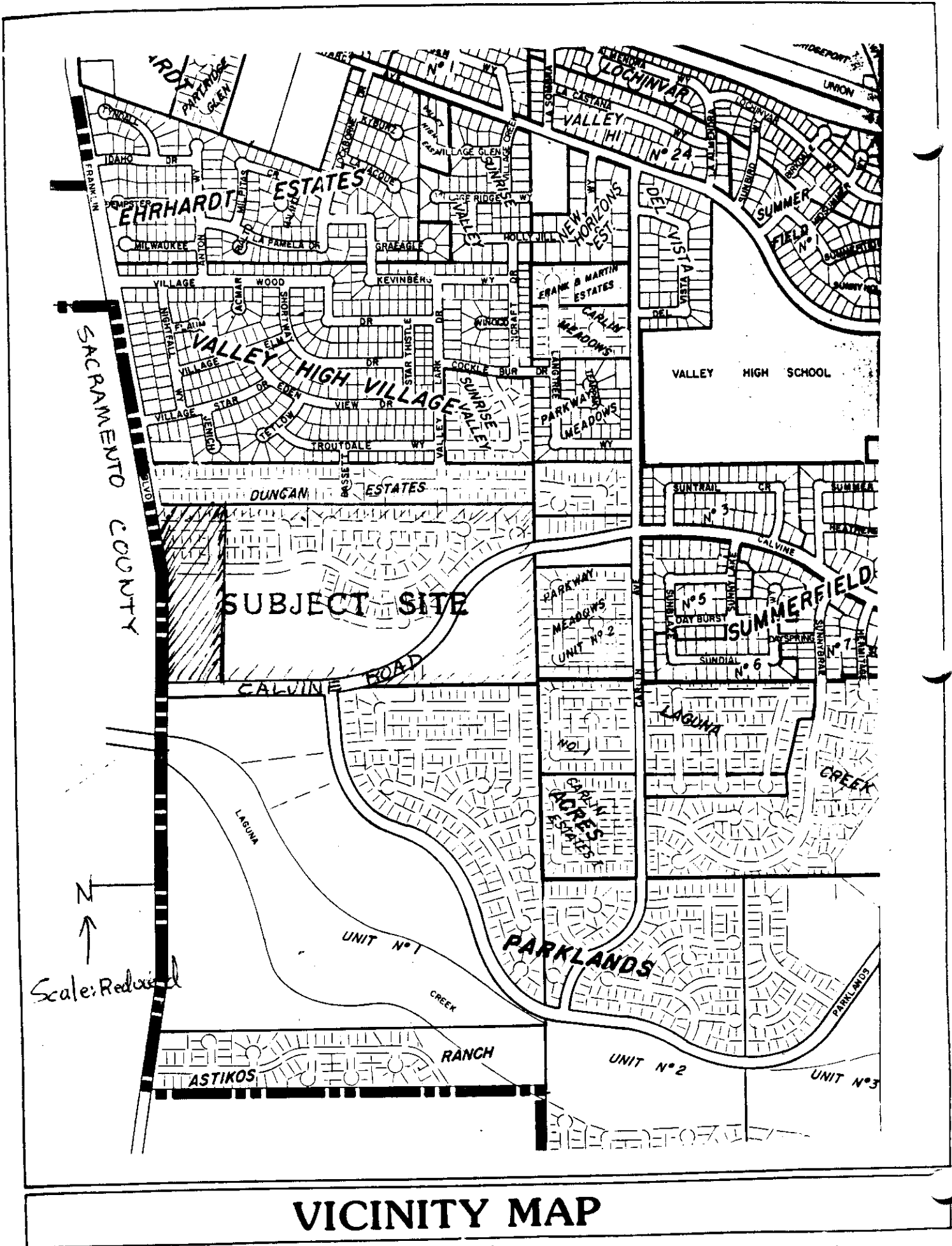
4. The applicant shall provide on-site bicycle parking spaces. A revised site plan indicating the bicycle parking areas shall be submitted for staff review and approval prior to issuance of building permits.
5. Trash enclosures shall be provided in sufficient number and in a convenient location. Additional trash enclosures shall be located on site and a revised site plan shall indicate the additional enclosures. Trash enclosures shall have trellis covers to screen view from second story units.
6. A six to eight foot high solid decorative masonry block wall shall be constructed along the east and north property lines as indicated in Exhibit E.
7. The applicant shall submit elevations of the carport structure. Carports shall be trimmed with a material which is compatible with the proposed apartment units and painted a color to match the residential units. Carport structures shall be located at least 15 feet from any property line.
8. The buildings shall include the following items:
 - a. exterior materials shall include horizontal and/or wood stucco siding with windows or variation on all exterior and elevations of the units.
 - b. stairs shall have double stringers.
 - c. all roofs shall be covered with wood shake, shingle, tile material or heavy butt composition shingle (30 year life) that is approved by the Planning Director.
9. All lighting shall be directed on-site and not reflect off-site onto residentially zoned property.
10. All signs shall comply with the requirements of the City Sign Ordinance for multiple family uses.
11. Landscaping between carport structure and the property line shall consist of a mix of five and 15 gallon specimen evergreen trees planted on 20 foot centers.
12. Recreational facilities shall be relocated to the west away from the eastern property line as shown on the staff modified site plan. Recreational facilities shall be closed between the hours of 10:00 p.m. and 7:00 a.m. with signs posted at the facility.

13. No parking is to be allowed along Franklin Boulevard or Calvine Road. Signs restricting parking shall be installed to the satisfaction of the City Traffic Engineer.
14. Buildings shall be setback a minimum of 30 feet from Franklin Boulevard with a minimum four foot high continuous landscaped berm. The berm shall not be undulating since it serves as a noise buffer.
15. Landscaping along the street setback area shall consist of a mix of five and 15 gallon and 24 inch box specimen deciduous and evergreen trees planted at a minimum density of one tree per 20 lineal feet of street frontage in staggered locations. No bark mulch shall be used for ground cover. The 25 to 30 foot street setback area shall be planted with lawn grass. All areas are to be automatically irrigated.
16. A six foot high decorative wrought iron fence shall be shown along Franklin Boulevard and Calvine Road and adjacent to the building to prevent access from the street to the apartments. If gates at the driveways are proposed, the gates shall be recessed a minimum of 25 feet from the property line.
17. Heating and cooling equipment and utility services shall be screened with landscaping or materials similar to the apartment construction.
18. Detailed elevations of the laundry facility, recreation building carports and other structures shall be reviewed by the Planning director prior to issuance of building permits.
19. The applicant shall revise the site plan to preserve the four existing eucalyptus trees if the City Arborist and Planning Director find that they are worthy of retention. If the trees are to be removed, they shall be shown on the site plan and the City Arborist shall approve their removal.
20. The site plan shall be revised to show parking closer to the apartment units. Suggested locations are shown on the staff modified site plan.
21. The applicant/developer shall comply with all requirements of the negative declaration prepared for the project on file at the City Planning Department regarding noise attenuation for building design P88-444 and as indicated by Exhibit F.
22. Prior to issuance of certificate of occupancy and final building inspection, planning staff shall inspect the site for compliance with the above conditions of approval.

Findings of Fact - Plan Review

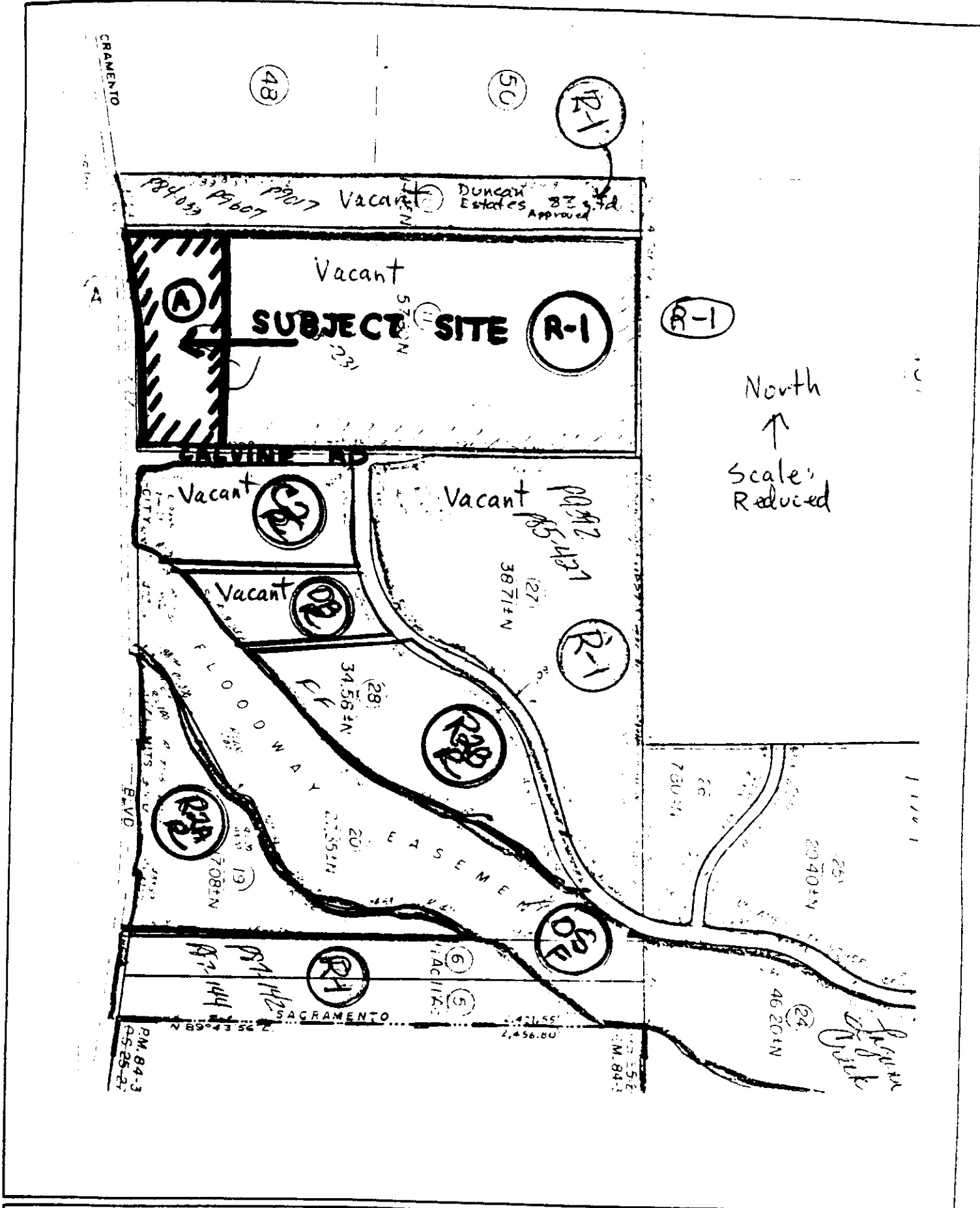
1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. adequate parking is provided;
 - b. the subject site is logically situated for this type of development in that it is conveniently located adjacent to a major street and within one and one-half miles of existing shopping facilities and adjacent to proposed shopping area.
2. The project, as conditioned, will not be injurious to surrounding properties in that provisions have been incorporated to insure its proper development.
3. The project is consistent with the General Plan goal to:

"Achieve safe and adequate housing for all citizens and provide each with an opportunity for choice between alternative living environments."
4. The proposed project is consistent with the City's 1988 General Plan in that the site is designated for residential uses by the 1986 South Sacramento Community Plan and the proposed apartment project conforms with the plan designation.



N
↑
Scale: Reduced

VICINITY MAP



VICINITY - LAND USE - ZONING

P-88-444

3-9-89

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TENTATIVE MAP

LAGUNA ESTATES

A PORTION OF THE SW¼ OF SEC 20, T1N, R5E, MDT-
CITY OF SACRAMENTO, CALIFORNIA
SCALE 1"=100'
MAY, 1989

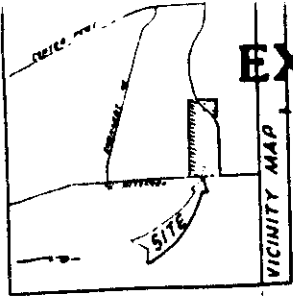
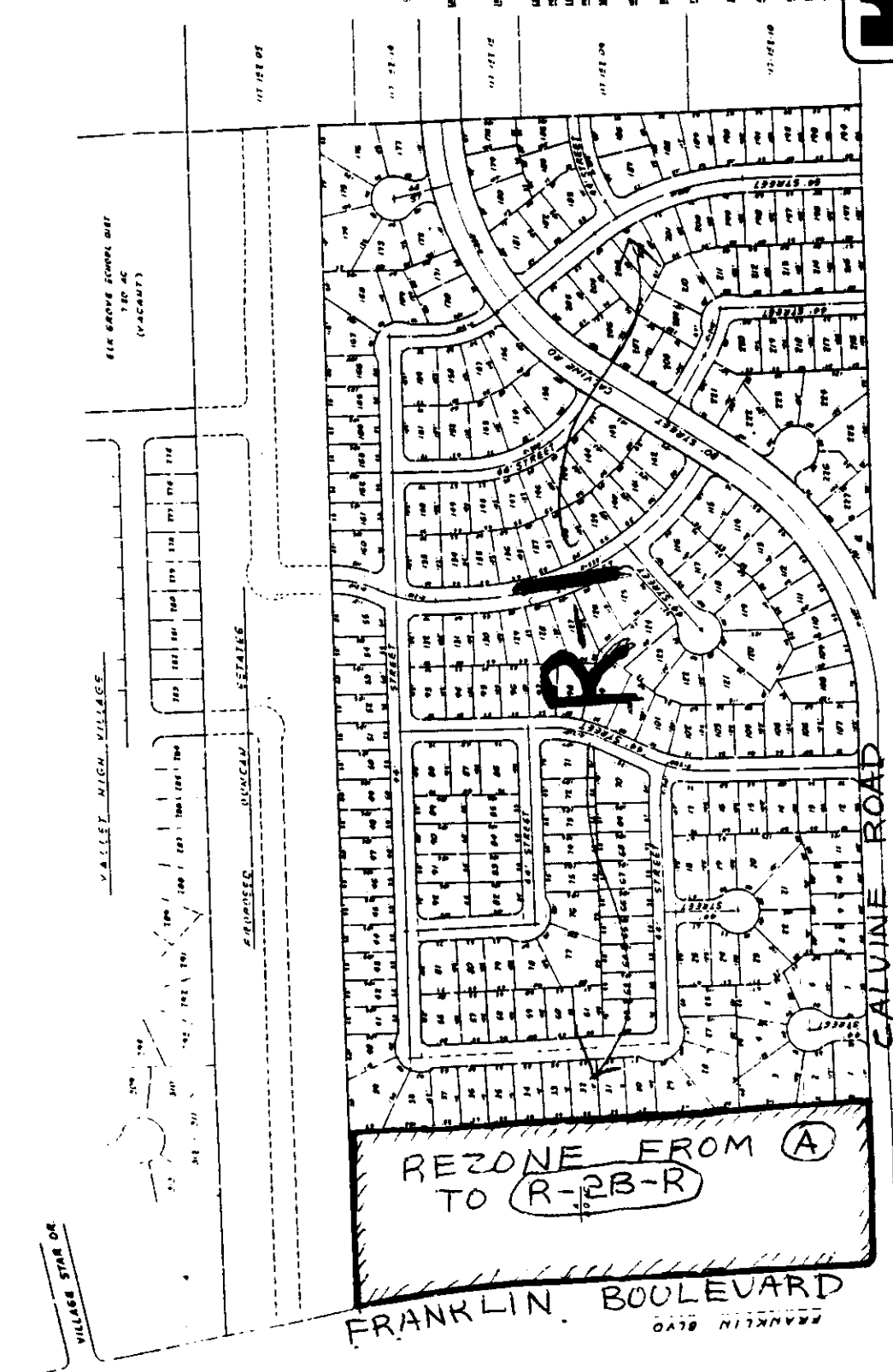


EXHIBIT A REZONE EXHIBIT

K.B.
ENGINEERING
SURVEYING
PLANNING

KENT BAKER & ASSOCIATES
1932 Sutter Avenue, Suite 9
Fair Oaks, California 94620 (916) 937-7993

D-807A



PROPOSED ZONING

P-88-444

3-9-89

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EXHIBIT B REZONE LEGAL DESCRIPTION

AI

The land referred to in this Report is situated in the State of California, County of Sacramento, City of Sacramento, and is described as follows:

Beginning at a point on the East line of the Northwest one-quarter of Section 21, Township 7 North, Range 5 East, M.D.B. & M., at the Northeast corner of that certain parcel of land conveyed by deed dated December 24, 1917 and recorded in Book 578 of Deeds at Page 283, executed by W. S. Shaffer and Mary C. Shaffer, his wife, to William Green, said Northeast corner being located North 01° 49' West 104 feet and North 01° 06' West 1227 feet measured along the division fence line between said parcel so conveyed to William Green and Ehrhardt Acres according to the official plat thereof, recorded in the Office of the County Recorder of Sacramento County, June 28, 1911 in Book 12 of Maps, Map No. 24, from the center of Section 21; thence from said point of beginning North 01° 10' 30" West along the East line of said Northwest one-quarter of Section 21 a distance of 1072.87 feet; thence leaving said line North 89° 58' 37" West 2420.97 feet to the centerline of the Lower Stockton Road; thence along the center line of Lower Stockton Road as follows: South 09° 15' 45" East 119.10 feet, South 05° 45' 55" East 235.82 feet and South 01° 45' 35" East 719.70 feet; thence leaving said road South 89° 57' East 2378.0 feet to the point of beginning and being a portion of the Northwest one-quarter of Section 21, Township 7 North, Range 5 East, M.D.B. & M., Sacramento County, California.

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P-88-444

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item 19.

STAFF MODIFIED SITE PLAN



LTA DEVELOPMENT

LAGUNA ESTATES

166 APARTMENT UNITS

A ROBERT M. MATZ & ASSOCIATES PROPERTY

FRANKLIN BOULEVARD

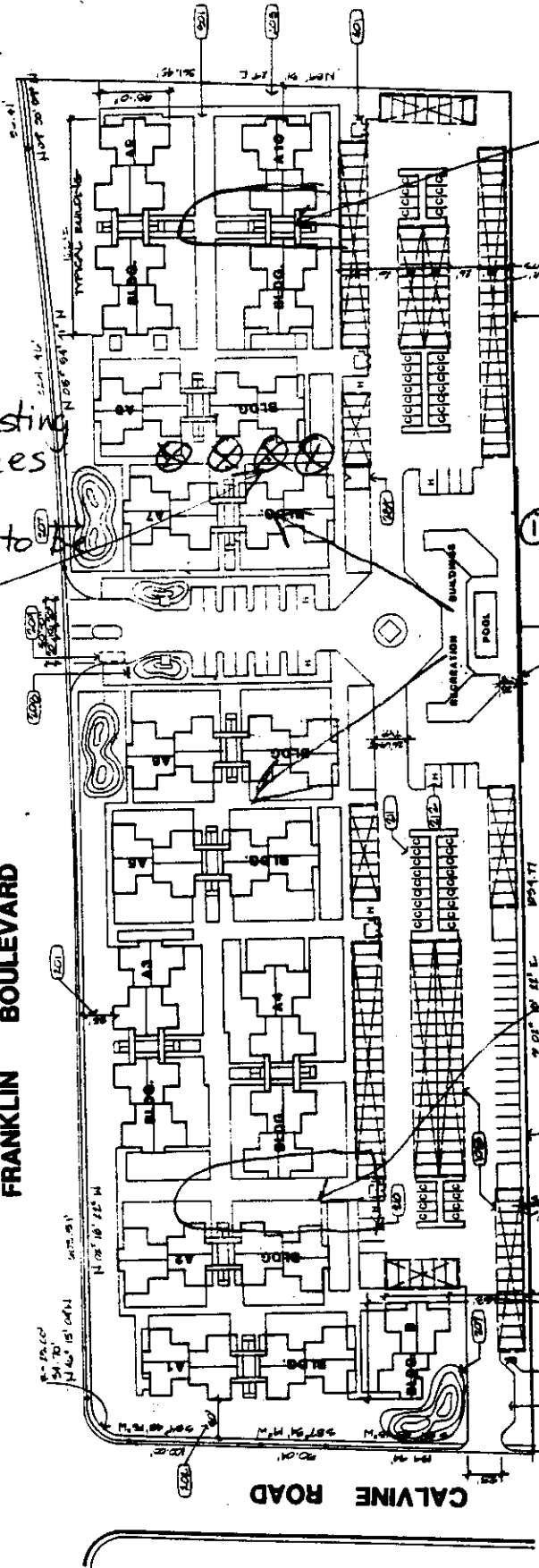
CALVINE ROAD

② Preserve existing Eucalyptus trees if possible, largest tree to be saved.

③ Relocate Parking to be closer to units

① Relocate Recreation facilities to the West

④ Relocate Parking to be closer to units



- 201 TYPICAL MANUFACTURING PARKING STALL, 10 FEET WIDE BY 10 FEET DEEP, TYPICAL.
- 202 CLASS 1 BICYCLE PARKING FACILITY FOR 10 BICYCLES.
- 203 TYPICAL STAMP PARKING STALL, 7.5 FEET WIDE BY 10 FEET DEEP.
- 204 TYPICAL STAMP PARKING STALL, 9 FEET WIDE BY 10 FEET DEEP.
- 205 TYPICAL STAMP PARKING STALL, 10 FEET WIDE BY 10 FEET DEEP.
- 206 TYPICAL STAMP PARKING STALL, 11 FEET WIDE BY 10 FEET DEEP.
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- 215 TYPICAL STAMP PARKING STALL, 20 FEET WIDE BY 10 FEET DEEP.

- 301 FRONT TREAD STAIRS - 10 FEET.
- 302 START TREAD STAIRS - 10 FEET.
- 303 TYPICAL STAIR TREAD - 10 FEET.
- 304 TYPICAL STAIR RISE - 6 FEET.
- 305 TYPICAL STAIR STRING - 10 FEET.
- 306 TYPICAL STAIR BALUSTRADE - 10 FEET.
- 307 TYPICAL STAIR HANDRAIL - 10 FEET.
- 308 TYPICAL STAIR WALKWAY - 10 FEET.
- 309 TYPICAL STAIR PLATFORM - 10 FEET.
- 310 TYPICAL STAIR LANDING - 10 FEET.
- 311 TYPICAL STAIR CORNER - 10 FEET.
- 312 TYPICAL STAIR RISER - 10 FEET.
- 313 TYPICAL STAIR TREAD - 10 FEET.
- 314 TYPICAL STAIR BALUSTRADE - 10 FEET.
- 315 TYPICAL STAIR HANDRAIL - 10 FEET.
- 316 TYPICAL STAIR WALKWAY - 10 FEET.
- 317 TYPICAL STAIR PLATFORM - 10 FEET.
- 318 TYPICAL STAIR LANDING - 10 FEET.
- 319 TYPICAL STAIR CORNER - 10 FEET.
- 320 TYPICAL STAIR RISER - 10 FEET.

- 401 TYPICAL STAMP PARKING STALL, 10 FEET WIDE BY 10 FEET DEEP.
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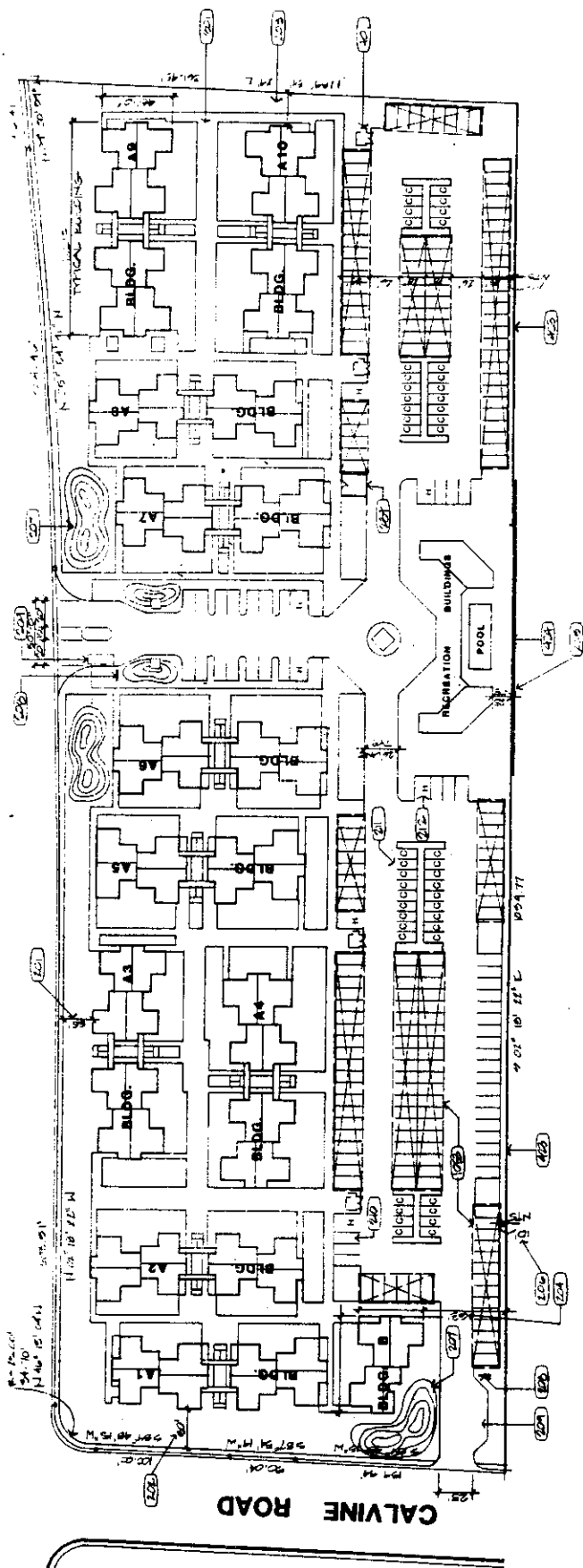
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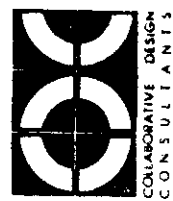
FRANKLIN BOULEVARD



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- 200 FIBER TARD SETBACK 25 FEET.
- 201 STREET SIDE YARD SETBACK 15 FEET
- 202 INTERIOR SIDE YARD SETBACK 15 FEET
- 203 REAR YARD SIDE YARD SETBACK 15 FEET
- 204 REAR YARD SIDE YARD SETBACK 15 FEET
- 205 REAR YARD SINGLE STORY BUILDING SETBACK - 25 FEET
- 206 CARPORT SETBACK - 10 FEET
- 207 UNUSUAL LANDSCAPED BEYOND, MINIMUM 4 FEET WIDE, FOR THE LOT SETBACK, TYPICAL.
- 208 RECREATION BUILDING, TYPICAL.
- 209 TYPICAL STANDARD PARKING STALL 8 FEET WIDE BY 18 FEET DEEP.
- 210 TYPICAL COMPACT PARKING STALL 7.8 FEET WIDE BY 14 FEET DEEP.
- 211 TYPICAL HANDICAPPED PARKING STALL, 15 FEET WIDE BY 14 FEET DEEP, TYPICAL.
- 212 CLASS 1 BICYCLE PARKING FACILITY FOR 33 BICYCLES
- 213 TYPICAL SCENERY TREES AT PARKING LOT FACILITY, TYPICAL - SEE ILLUSTRATIVE PLAN, FINAL LANDSCAPE PERMIT TO BE SUBMITTED WITH APPLICATION FOR BUILDING PERMIT
- 214 DECORATIVE SPARE TREES, FROM APPROVED LIST, AT PARKING AREAS, TYPICAL - SEE ILLUSTRATIVE PLAN.
- 215 CONCRETE WALK - BROWN FINISH, TYPICAL.
- 216 MULTIFACE MASONRY TREAT ENCLOSURE WITH RECREATION MEANS CASE METAL ARTS, FINAL DESIGN TO BE SUBMITTED WITH BUILDING PERMIT APPLICATION.
- 217 424 MEN & 400 WOMEN DECORATIVE MASONRY WALL.
- 218 1053 RECREATION CABINETS, TYPICAL.



COLLABORATIVE DESIGN CONSULTANTS

ANTHONY FLOREANO, RIA
 ARCHITECT
 C. JORDAN

P88-444

3-9-89

Item 4

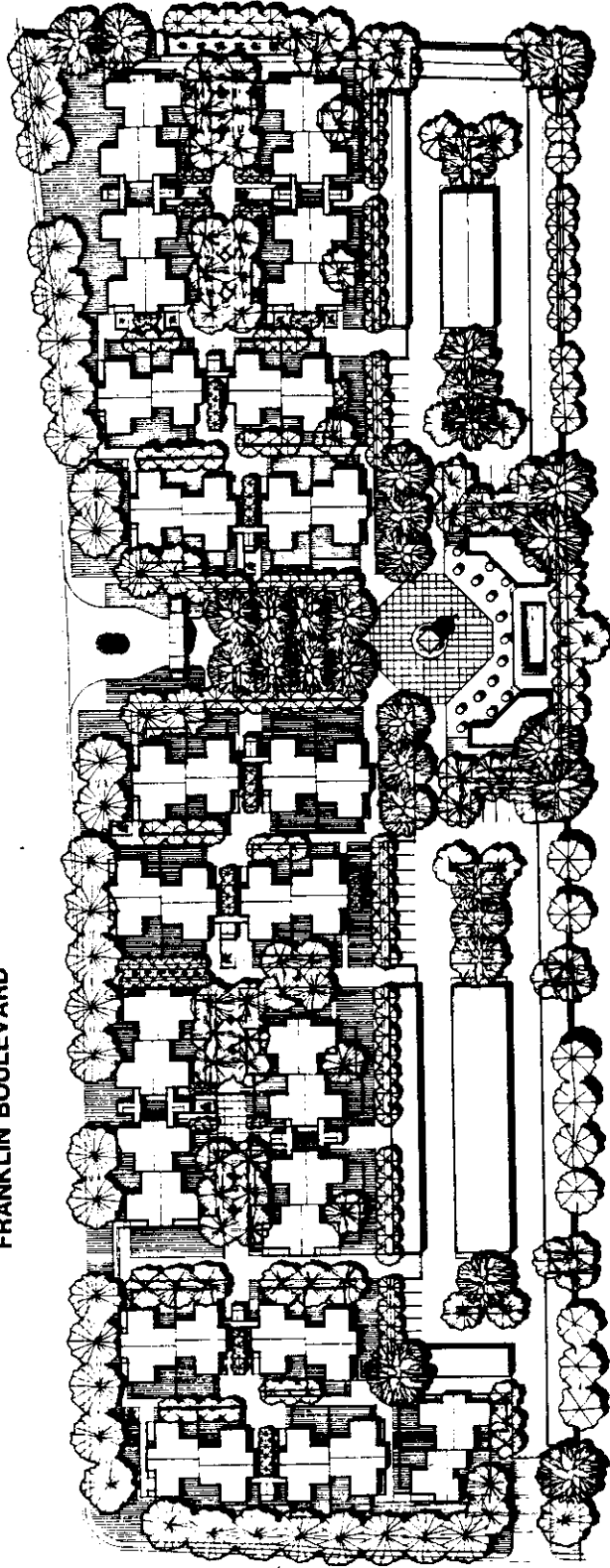
LTA DEVELOPMENT

LAGUNA ESTATES

166 APARTMENT UNITS

A ROBERT M. MATZ & ASSOCIATES PROPERTY

FRANKLIN BOULEVARD



CALVINE ROAD



ILLUSTRATIVE SITE PLAN

PLANS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY COLLABORATIVE DESIGN CONSULTANTS, INC. SHALL BE KEPT IN THE PROJECT OFFICE. ALL CHANGES, STATUTORY AND OTHER REQUIRED NOTICES, INCLUDING THE CORRECTED, SHALL BE SUBMITTED TO COLLABORATIVE DESIGN CONSULTANTS, INC. IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCES AND THE APPLICABLE CODES. THE CITY OF LOS ANGELES IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.



COLLABORATIVE DESIGN CONSULTANTS

ANTHONY FLOREANO, AIA
ARCHITECT

P-88-444

3-9-89

item 19



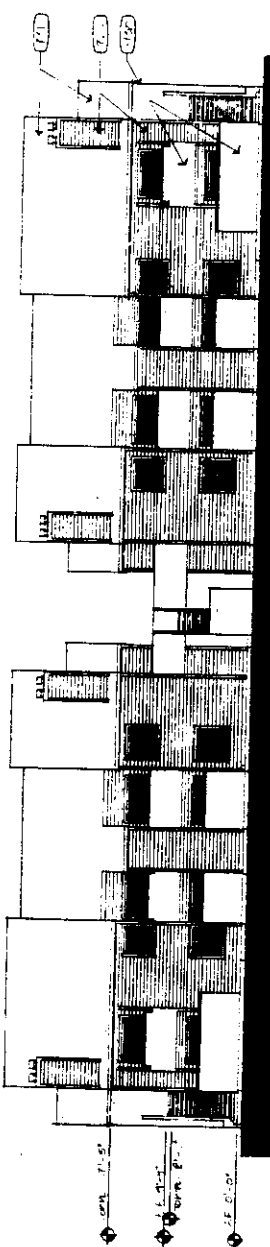
COLLABORATIVE DESIGN
CONSULTANT

1000 P STREET
SACRAMENTO, CALIF. 95811

Anthony Foyentling AIA
Architect

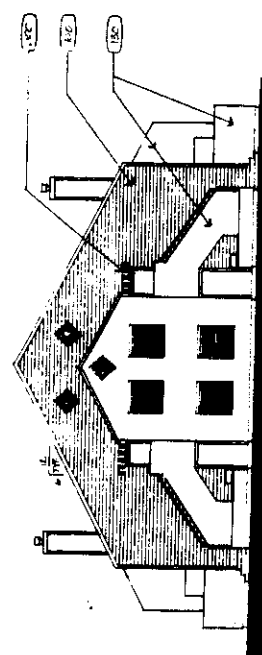
LAGUNA ESTATES
166 APARTMENT UNITS
SACRAMENTO, CALIF.

800 OGDON TRUSS, STAINED - KASHIMURA
731 HEAVY DUTY COMPOSITION SHINGLES - EASTSTONE
700 HORIZONTAL GYP HARDWOOD SIDING, PAINTED - CARIBBEAN
900 CONCRETE PLASTER FINISH - 817 WHITE



TYPICAL FRONT ELEVATION

1/8" = 1'-0"



TYPICAL END ELEVATION

1/8" = 1'-0"

KEYNOTES

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MULTIFAMILY RESIDENTIAL DESIGN CRITERIA

P88-444

A. GENERAL BUILDING DESIGN AND ORIENTATION

1. Large multi-family projects (exceeding 100 units) shall incorporate design variation within the project to create a sense of uniqueness and individuality. Large complexes using the same building design, materials, and colors should be avoided.

Design elements which achieve these objectives include: separate clustering of building groups with extensive open-space and landscape buffering between projects; variation in building elevations and configurations between projects; variation in building heights; use of different building materials or combination of different materials; contrasting color schemes between projects.

2. The monotony of straight building lines of all units shall be remedied through limiting the size of individual buildings or units, staggering of units, variation of exterior building materials on adjacent units, use of intensive landscaping, or other methods.
3. Multi-family buildings adjacent to public streets shall be designed and oriented to minimize the likelihood of on-street parking by project residents. Examples of acceptable design and building orientation are:
 - minimize location of main entry doors of units facing the public street
 - orient ends of building toward public street
 - break up long buildings containing many units into smaller building clusters or incorporate a breezeway through midsection of a long building which provides closer access to off-street parking area for residents
 - locate off-street parking areas between the public street and building (off-street parking area to be located and screened behind bermed landscape setback area - Section B-4).
4. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
5. Buildings shall be designed and oriented to reduce overview of private backyards and patio areas of on-site and adjacent developments and windows from second story units.
6. Accessory structures shall be compatible in design and materials with main building.
7. Communal facilities shall be centrally located.

8. Recreational facilities shall be located and/or designed so as not to create a nuisance to surrounding units or to impact adjacent properties. Sufficient setbacks, landscaping and berming between recreation facilities and surrounding units shall be provided to minimize noise and visual conflicts.
9. Solar heating and cooling of units shall be achieved to the maximum extent possible.
10. Site planning shall take into account optimum solar orientation of structures.
11. Site planning shall minimize the incidence of one building shading another.
12. Private outdoor or garden areas shall be oriented to the south as much as possible.
13. Roofing materials shall be medium wood shake or shingle, or equivalent aluminum, concrete, tile or other imitation shakes, subject to Planning Director approval.
14. The location of second story end unit windows shall be varied to provide variety in exterior unit detailing and designed in such a way as to reduce the incidence of overview into private first floor open space areas.
15. A minimum building setback of 50 feet shall be utilized on multiple family projects from interior and rear property lines abutting existing or future low density residential developments where two story structures are proposed. A minimum setback of 25 feet shall be required where single story structures in multiple family projects abut existing or future low density development.

B. OFF STREET PARKING DESIGN CRITERIA

1. Off-street parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 and one guest space per 15 units (this ratio may be reduced for projects designed strictly for the elderly) of which a minimum 1:1 shall be covered parking. Six foot decorative masonry walls are required on interior property lines between parking lot areas and existing or proposed residential development. The design and materials used for covered parking structures shall be compatible to the main building structures.
2. For the convenience of tenants and guests and to encourage the use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.

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3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design
4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Surface parking areas and carport roofing shall be screened from second story units by trees or lattice and trellis work.
6. The project shall comply with the 50 percent shading of surfaced areas requirements of the Zoning Ordinance.
7. The setback from interior side and rear property lines shall be 10 feet for open stalls and 15 feet for carports. If adjacent to nonresidential development, the setback area shall be planted with large growing evergreen trees to screen adjacent use. If adjacent to power lines or drainage canals setbacks shall be 10 feet and landscaped.
8. Evergreen trees shall be used for screening purposes along the perimeter of the parking area.
9. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
10. There shall be a ratio of at least one tree for every five parking spaces planted throughout or adjacent to open and covered parking areas. Rows of parking stalls, either open or covered, shall be broken up by a tree planting approximately every 10 spaces.
11. The parking stall depth shall be reduced by two feet.
 - a. the two feet gained shall be incorporated into adjacent landscaping or walkways.
 - b. for angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
12. The more efficient 90 degree parking arrangement shall be utilized when possible, so as to minimize parking lot size.
13. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.

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C. ON-SITE CIRCULATION

1. Minimum pedestrian/vehicle conflict should be sought in driveway/walkway system design.
2. A display and unit location may shall be installed at each major driveway and entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors. An auto turnout lane shall be provided adjacent to directory map to eliminate blocking of driveway entrance.
3. Walkway location shall assure convenient access between parking and dwelling units.
4. Central pedestrian/bike paths shall provide convenience access to bus stops, green belts and public facilities.
5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface textures.
6. Walkway connections between buildings and street sidewalks are discouraged if they encourage on-street parking by residents.

D. BICYCLE STORAGE

1. One bicycle parking facility is required for every ten (10) off-street parking spaces required, excluding developments which provide individual enclosed garages.
2. Fifty percent (50%) of the required bicycle parking facilities shall be Class I. The remaining facilities may be Class I, Class II or Class III.

E. LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
 - a. compatible with one another and with existing material on the adjacent site.
 - b. complimentary to building design and architectural theme.
 - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).

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2. Landscape treatment shall include:

- a. the major treatment for all setback areas shall be lawn and trees. At least 75% of the ground cover treatment within landscaped areas within the entire project shall be lawn. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated gradient, anticipated seasonal rain, etc. may result in erosion or other problems.
- b. larger specimens of shrubs and trees along the site periphery, particularly along setback areas adjacent to public streets.
- c. greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.
- d. consistency with energy conservation efforts.
- e. trees located so as to screen parking areas and private first floor areas and windows from second story units.
- f. undulating landscaped berms located along street frontage and achieving a minimum height of three and one-half feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.
- g. deciduous trees shall be utilized along the south and west facing building walls to allow solar access during the winter.
- h. for crime deterrent reasons, shrubs planted below first floor windows should be of a variety which has thorns and/or prickly leaves.
- i. large growing street trees (preferably deciduous) shall be planted within the landscape setback areas adjacent to all public streets as a means of reducing outdoor surface temperatures during summer months and to provide a visual buffer between the units and public street.

3. Landscaping of parking areas is discussed in Section B

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F. TRASH ENCLOSURES

1. the walls of the trash enclosure structure shall be constructed of solid masonry material with decorative exterior surface finish compatible to the main residential structures. Split face concrete block finish is recommended. Brick or tile veneer exterior finish should be avoided.
2. The trash enclosure structure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when in the open position.
3. The trash enclosure structure shall be designed to allow walk-in access by tenants without having to open the main enclosure gates.
4. The walls shall be a minimum six feet in height, more if necessary for adequate screening.
5. The perimeter of the trash enclosure structure shall be planted with landscaping, including a combination of shrubs and/or climbing evergreen vines.
6. A concrete apron shall be constructed either in front of the trash enclosure facility or at point of dumpster pick up by waste removal truck. The location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at point of dumpster pick up.

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width, 10' or width of enclosure facility; length 20'. Large trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technicians (Plan Checker).

Paving material shall consist of five inch aggregate base rock and six inch portland cement paving.

7. The enclosures shall be adequate in capacity, number and distribution.
8. A trellis structure covering the trash facility shall be construct to screen these units from view of second floor of the apartments.

G. SIGNAGE

With the exception of the main project identification sign(s), all other signage shall comply with the City Sign Ordinance.

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A project identification sign is permitted at each major entrance into the complex. The sign shall be a monument type or incorporated into a low profile decorative entry wall(s). The height of the monument sign shall not exceed six feet.

The primary material of the monument base or wall shall be decorative masonry such as brick, split face concrete block, stucco or similar material which compliments the design of the main buildings.

Individual letters and project logo are permitted. The signage program shall be subject to the review and approval of the Planning Director.

H. PERSONAL SAFETY DESIGN CRITERIA

Ordinance No. 84-056 relating to personal safety building code requirements has been adopted by the City Council on June 19, 1984. This ordinance applies to all residential building projects including apartments and condominiums.

The building code requirements relate to: minimum outdoor lighting standards, addressing and project identification, door locking standards, etc.

A copy of this ordinance may be obtained from the City Building Inspections Division.

I. ADDITIONAL GUIDELINES FOR CONDOMINIUM AND TOWNHOUSE PROJECTS

1. Each unit should have a minimum of one parking space in an enclosed garage.
2. Each unit should have an area designed for a washer and dryer. The area should be properly vented, wired electrically and with proper plumbing for a washer and dryer.
3. Each unit should have an enclosed space usable for general storage.
4. The site should set aside an area for outdoor storage needs. The storage area should be enclosed by a solid wall and secured by attractive metal gates.
5. Larger projects should provide a centrally located recreation building with space set aside for meetings.
6. At least 50 percent (50%) of the units should be either two or three bedroom units.

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~~February 23, 1989~~

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19

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2. The trash enclosure structure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when in the open position.
3. The trash enclosure structure shall be designed to allow walk-in access by tenants without having to open the main enclosure gates.
4. The walls shall be a minimum six feet in height, more if necessary for adequate screening.
5. The perimeter of the trash enclosure structure shall be planted with landscaping, including a combination of shrubs and/or climbing evergreen vines.
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~~February 23, 1989~~

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item #19

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Item #28
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LTA DEVELOPMENT

LAGUNA ESTATES

166 APARTMENT UNITS

A ROBERT M. MATZ & ASSOCIATES PROPERTY

FRANKLIN BOULEVARD

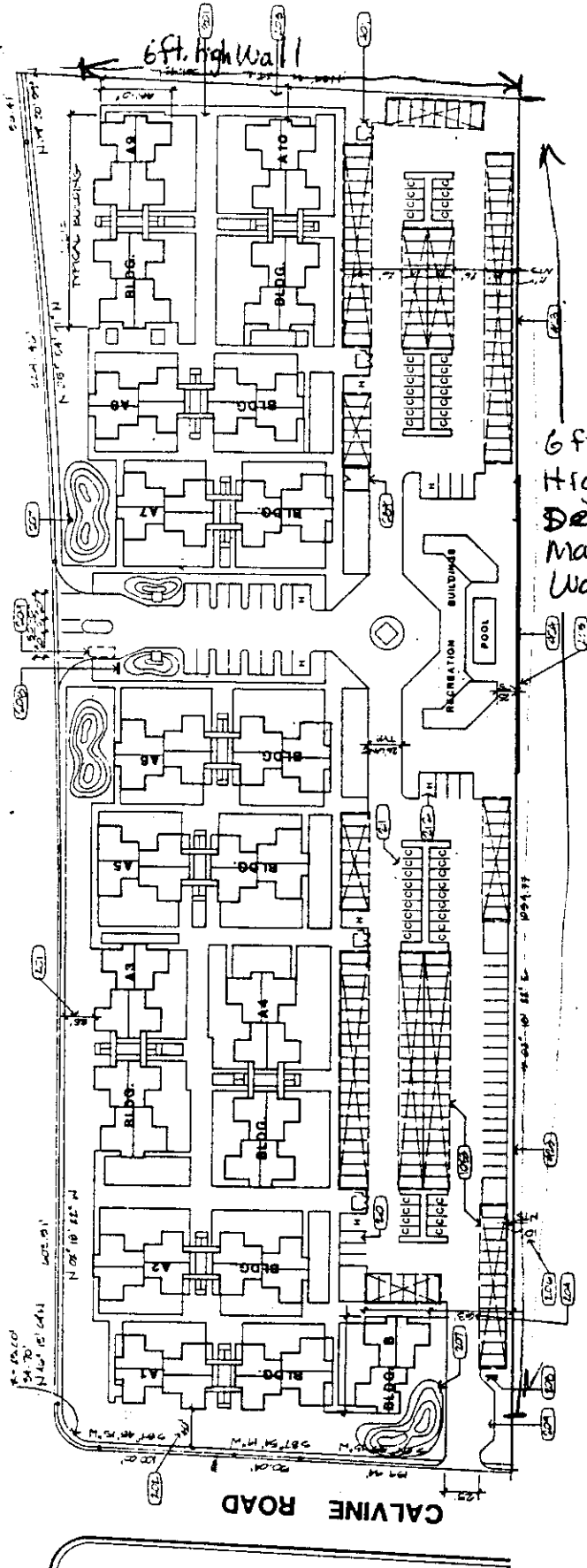
CALVINE ROAD

EXHIBIT II



COLLABORATIVE DESIGN
CONSULTANTS

ADRIANO FLOREANO AIA
ARCHITECT



6 ft. to 8 ft.
High Solid
Decorative
Masonry
Wall

- 201 FRONT YARD SETBACK - 15 FEET.
- 202 STREET SIDE YARD SETBACK - 15 FEET
- 203 REAR YARD SIDE YARD SETBACK - 15 FEET
- 204 REAR YARD SIDE YARD BUILDING - SETBACK 10 FEET
- 205 GARAGE SETBACK - 10 FEET
- 206 INSULATION UNBARRICADED WOODS, MINIMUM 4 FEET WITH 2" FIBERGLASS SHEATHING, TYPICAL.
- 207 RECYCLE CHUTE, TYPICAL.
- 208 TYPICAL STANDARD PARKING STALL 8 FEET WIDE BY 18 FEET DEEP.
- 209 TYPICAL COMPACT PARKING STALL 7.5 FEET WIDE BY 14 FEET DEEP.
- 210 REAR YARD SIDE YARD BUILDING - SETBACK 10 FEET
- 211 INSULATION UNBARRICADED WOODS, MINIMUM 4 FEET WITH 2" FIBERGLASS SHEATHING, TYPICAL.
- 212 RECYCLE CHUTE, TYPICAL.
- 213 TYPICAL STANDARD PARKING STALL 8 FEET WIDE BY 18 FEET DEEP.
- 214 TYPICAL COMPACT PARKING STALL 7.5 FEET WIDE BY 14 FEET DEEP.
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- 221 INSULATION UNBARRICADED WOODS, MINIMUM 4 FEET WITH 2" FIBERGLASS SHEATHING, TYPICAL.
- 222 RECYCLE CHUTE, TYPICAL.
- 223 TYPICAL STANDARD PARKING STALL 8 FEET WIDE BY 18 FEET DEEP.
- 224 TYPICAL COMPACT PARKING STALL 7.5 FEET WIDE BY 14 FEET DEEP.
- 225 REAR YARD SIDE YARD BUILDING - SETBACK 10 FEET
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- 227 RECYCLE CHUTE, TYPICAL.
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- 229 TYPICAL COMPACT PARKING STALL 7.5 FEET WIDE BY 14 FEET DEEP.
- 230 REAR YARD SIDE YARD BUILDING - SETBACK 10 FEET
- 231 INSULATION UNBARRICADED WOODS, MINIMUM 4 FEET WITH 2" FIBERGLASS SHEATHING, TYPICAL.
- 232 RECYCLE CHUTE, TYPICAL.
- 233 TYPICAL STANDARD PARKING STALL 8 FEET WIDE BY 18 FEET DEEP.
- 234 TYPICAL COMPACT PARKING STALL 7.5 FEET WIDE BY 14 FEET DEEP.



SCALE: 1"=40'

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ATTACHMENT A
INITIAL STUDY DISCUSSION
LAGUNA ESTATES (P88-444)

Proposed Project

The applicant is proposing to rezone an 8.0± acre parcel located at the northeast corner of Franklin Boulevard and Calvine Road from Agriculture (A) to Multi-Family Residential (R-2-B) to allow development of a 168 unit apartment complex. The site is currently vacant and is designated for both Low Density (4-15 du/na) and Medium Density (16-29 du/na) Residential in the 1986-2006 General Plan and for Residential (4-8 du/na), Residential (11-21 du/na) and Continuation School in the 1986 South Sacramento Community Plan.

Environmental Analysis

1. Earth

Development of the site will lead to further overcovering of the soil. The project site is in an urban area and has been allocated to urban use in both the General Plan and the South Sacramento Community Plan. This impact, therefore, is not considered significant.

3. Water

The site is within a Special Flood Hazard Area inundated by a 100 year flood per the 1986 FEMA flood maps. The base flood elevation has not been determined. The following mitigation measure is required to address this impact:

- A. Improvement plans for the site shall indicate the elevation of the proposed building sites.

6. Noise

The Citywide Noise Study prepared for the 1986-2006 General Plan identifies the project site as an area subject to potentially severe noise levels. Specifically, the Noise Study identifies noise levels of 70 dB CNEL within 75 feet of the centerline of Franklin Boulevard from traffic. The noise level identified above are in excess of those deemed "normally acceptable" in the General Plan Noise Element. The Noise Element requires that an acoustical study be prepared for any project which would be exposed to

noise levels in excess of those deemed "normally acceptable" unless the City has an existing applicable acoustical report on file. The acoustical study is intended to identify existing noise levels and to propose mitigation measures to reduce existing noise to "normally acceptable levels." In compliance with the above policy, noise information from the Sacramento General Plan Update EIR and an existing applicable acoustic report provided by the applicant applied to the proposed project.

Acoustic Report Background

The City of Sacramento Noise Element establishes a land use compatibility criterion of 60 dB day/night average (Ldn) for exterior noise levels in the outdoor activity areas of residential uses, which is intended to provide an acceptable noise environment for outdoor activities. An exterior noise level of up to 65 dB (Ldn) is allowed only after a detailed acoustical analysis of construction requirements is made and necessary noise abatement features are included in the project design. In addition, an interior noise level criterion of 45 dB Ldn is applied to residential uses. The intent of this standard is to provide a suitable environment for indoor communication and sleep.

Sound Sources

Currently, noise from traffic on Franklin Boulevard dominates the site. Calvine Road is currently under construction adjacent to the site and therefore, is not a current noise source. Traffic noise is factored by speed and volume. The volume for Franklin Boulevard was calculated from existing City data and Caltrans data to be 2.5% medium trucks and 1.5% heavy trucks. The day/night distribution was assumed to be 87% daytime traffic and 13% nighttime traffic. The AADT was assumed to be 4,023 for autos and 144 for trucks. The vehicle speed on Franklin Boulevard was assumed to be the posted 50 mph speed limit. The assumptions were augmented by field measurements for existing noise levels and traffic counts conducted on February 19, 1988.

Evaluation of the Project Area Noise Environment

1. Exterior noise levels resulting from traffic on area roadways are predicted to be in excess of the City of Sacramento Noise Element standard of 60 dB Ldn at the portion of the site nearest Franklin Boulevard and Calvine Road. The applicant has proposed patio barriers and balconies to provide noise barriers. The acoustic study indicated that these barriers, at a height of 5.5 feet for patios and 3.5 feet for balconies, provide sufficient noise attenuation to achieve the acceptable level of 60 dB Ldn for exterior areas.

An independent review of the submitted acoustic study exposed several inconsistencies and incorrect deductions in the study regarding the use

of patio and balcony barriers as noise attenuation features. Therefore, the existing design of the barriers must be altered with regards to height, construction materials and shape to conform with FHWA standards that will accept patio and balcony barriers as a means noise attenuation. Also, the buildings must be placed a minimum of 30 feet behind the property line, with a minimum four foot high berm between the buildings and the property line.

2. Interior noise levels within "normally acceptable" levels can be achieved through noise attenuation construction techniques that will bring interior noise levels to 45 dB Ldn. The construction details applicable are listed below.

Noise Attenuation Conditions

- B. Building fronting Franklin Boulevard must be placed a minimum of 30 feet behind the property line, with a minimum four foot high earthen landscaped berm between the buildings and the property line.
- C. Patio and balcony barriers must be designed (height, construction materials, shape) to conform with FHWA standards that will accept patio and balcony barriers as a means of noise attenuation. Barrier materials must be airtight and massive with no significant gaps in construction.
- D. Exterior Walls Facing Franklin Boulevard
 1. Exterior walls shall have a minimum STC rating of 40;
 2. Minimum 1/2" sheathing shall be nailed on the outside face of the 2 x 4 wood stud construction. The top and bottom edges of the sheathing shall be sealed with a resilient caulking. The sheathing shall be butted tightly together and covered with a minimum 15 pounds felt paper;
 3. A wood or clapboard finish shall be used over the felt paper. The sheathing and finish materials shall have a minimum weight of three pounds/square foot;
 4. R-11 insulation shall be used in the cavity of all studs and shall fit snugly throughout the cavity;
 5. A minimum 1/2 inch gypsum board shall be fastened interior face. The gypsum board shall be completely taped and finished. The perimeter of the wall shall be sealed with a resilient, non-hardening caulking.

E. Windows

1. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with 25 mile hour wind, per ASTM E283.
2. Windows shall have a minimum STC rating of 29.

F. Doors

1. Exterior doors and sliding glass doors shall have a minimum STC rating of 29 including any lites and using door seals needed to meet STC rating. This should include full perimeter seals.
2. Sliding glass doors shall meet air leakage requirements given for windows.

G. Roof

1. The combined roof and ceiling shall have an STC rating of 39 or better.

H. Ceiling

1. The ceiling shall be constructed from a minimum 1/2 gypsum wall board in all habitable spaces.
2. The attic space above the ceiling shall contain a minimum R-19 insulation.

I. Ventilation

1. A mechanical ventilation system shall be installed that will provide minimum air circulation and fresh air supply requirements. There shall be no need to open windows, doors or other exterior openings to provide adequate ventilation.
2. Gravity vent openings in attic space shall not exceed code minimums in number and size.
3. If a fan is used for forced ventilation, the attic inlet and discharge openings shall be fitted with sheet metal transfer ducts of at least 20 gauge galvanized steel. The duct shall be a minimum of six feet long and lined for its entire length

with 1" duct liner. Each duct shall include a lined 90 bend to prevent direct line of sight.

4. All exhaust fans connecting the interior to the exterior shall be connected with a minimum 10 ft. duct, lined with 1" fiberglass liner and containing one 90 bend with the exception of the kitchen range exhaust.
5. Domestic range exhaust ducts connecting the interior space to the outdoors shall contain a baffle plate across the exterior termination which allows proper ventilation. The dimensions of the baffle plate should extend at least one diameter beyond the line of sight into the vent duct. The baffle plate shall be of the same material and thickness as the vent duct material.

J. General

1. All joints in exterior walls shall be grouted or caulked airtight.
2. All penetrations of exterior wall shall include a 1/2 inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
3. Window or through-the-wall ventilation and air conditioning units shall not be permitted.
4. All sleeping spaces shall be provided with carpet and pad.
5. There shall be no through the door or through the wall mail or paper chutes.

8. Land Use

The site is designated for a mix of low and medium density housing in both the 1986-2006 General Plan and the 1986 South Sacramento Community Plan. The Community Plan locates the subject site in the Laguna area, and states "A density of housing types is encouraged in Laguna to fill out South Sacramento's housing stock. Some higher residential densities are to be concentrated along major streets..." Franklin Boulevard and Calvine Road are both identified in the community plan as major streets; therefore, the proposed use is consistent with the intent of the community plan.