

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0009474
Insp Area: 3

Site Address: 3501 CUTTER WY SAC
Parcel No: 013-0323-001

Sub-Type: RES
Housing (Y/N): N

CONTRACTOR
BRIAN C WARREN
4946 WATT AV #27
SAC CA 95660

OWNER
MARY WILLALLEN
3501 CUTTER WY
SAC CA 95818

ARCHITECT

Nature of Work: REROOF T/O 22 SQ SHINGLE

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class C-37 License Number 625052 Date 8-15-00 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec _____ B & PC for this reason: _____
Date 8-15-00 Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 8-15-00 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:
I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance and policy number are:

Carrier STATE FUND Policy Number 1679996-00 Exp Date 04/01/2001

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 8-15-00 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

SCHOEN ENGINEERING
4524 BEDINGTON WAY
SACRAMENTO, CA 95827
(916) 369 6866
LIC # C042913

April 24, 2000



Mark S. Schoen
4524 Bedington Way
Sacramento, CA 95818

8345 Greenway, Sacramento, CA 95818

Dear Sir:

I was called on 4/20/00 to observe the roof structure of your residence at the above mentioned address. The purpose of this investigation was to determine the structural feasibility of installing "Solar Shake" roofing tiles. The installation was to involve the front slope of the second story roof. The remainder of the roof was to be reroofed with "Hardy Shakes". The roof was made up of 2x4 (1-5'8" x 3-5'8") Douglas fir rafters @ 2' o.c. with a max. span of 8' from the plate to the purlin. There was an area over the kitchen and garage roof that was not accessible for inspection. It is recommended that even though this area is to be reroofed with "Hardy shakes", which is no heavier than the existing roofing, that it be called out when the roof is torn off to inspect the area.

The following modification should be made prior to reroofing:

1. The 2x4 purlins in the second story roof should have additional 2x4 braces installed off of the load bearing exterior wall in the same location as the existing braces to reduce the purlin spans to no more than 4'.

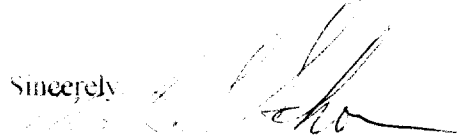
2. At the junction of the valley rafter and the hip rafter in the second story roof, the junction should be braced off of the load bearing exterior wall (see attached sketches for brace details).

In my finding that with the above mentioned modifications this structure is adequate for the following: In the front slope of the second story roof 1/2" or 7/16" OSB or plywood installed over the existing skip sheathing; 30lb. tarred roofing felt; "Solar Shake" weighing 7.5 lbs. sq. ft. On the remainder of the roof "Hardy Shakes" installed over the existing skip sheathing.

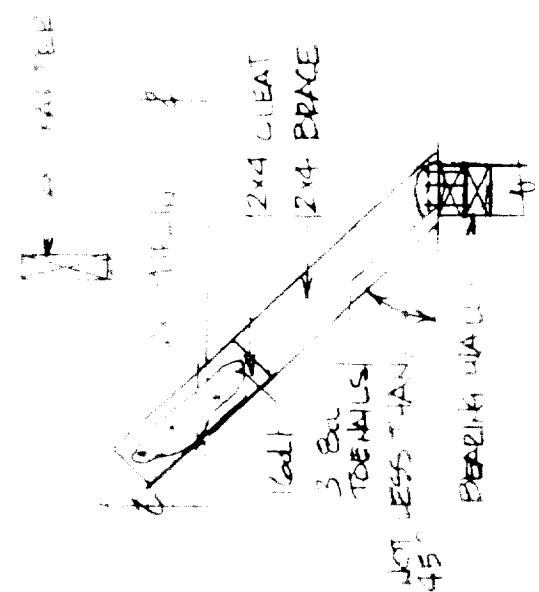
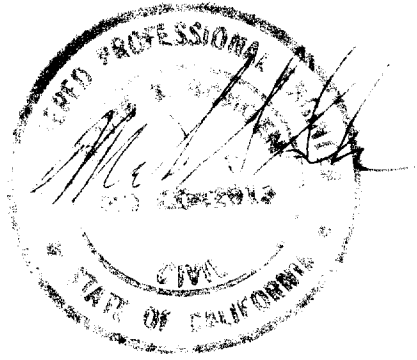
NOTE: it is possible when reroofing that the increased load to structural elements also supporting wall, ceiling and floor finishes could cause some minor cosmetic cracking of these finishes. This is typical of wood framed structures and does not of itself indicate structural inadequacy of these members.

This report deals with the structural adequacy of roof supporting members that were readily observable. It does not address any structure that was covered by wall finishes, buried in the ground or was otherwise not observable. Any such structures were assumed to conform to standard construction specifications in the Uniform Building Code. Also, it does not address any existing deflection or warping of roof surfaces, nor is it guaranteed that any structural modifications that may be listed in this report will remove such deflections or warping. The repair of such deflections or warping to improve architectural appearance is at the option of the building owner and the roofing contractor.

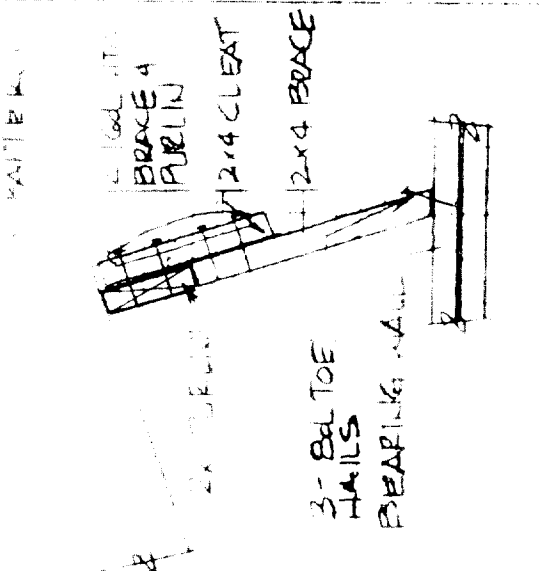
I appreciate your allowing me to provide my services in this matter. Please let me know if I may be of further assistance.

Sincerely,

Mark S. Schoen P.E.

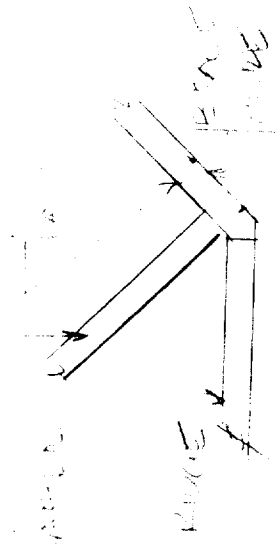
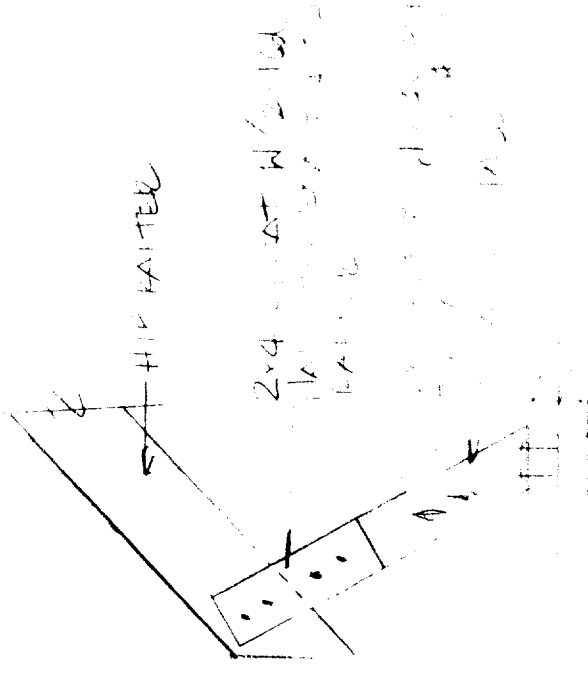
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GABLED PURLIN BRACE (SIDE VIEW)



GABLED PURLIN BRACE (END VIEW)



2x4 CLEAT
2x4 BRACE
BEARING WALL