



CITY OF SACRAMENTO

CITY PLANNING DEPARTMENT

725 "J" STREET

SACRAMENTO, CALIF. 95814

TELEPHONE (916) 449-5604

MARTY VAN DUYN

PLANNING DIRECTOR

June 25, 1981

City Council  
Sacramento, California

Honorable Members in Session:

- SUBJECT:
1. Environmental Determination
  2. Tentative Map (P-9204)

LOCATION: Northwest corner of 7th and K Street Mall

SUMMARY

This is a request for entitlements necessary to divide a commercial/office structure into five airspace condominium units located in the C-3 zone. The staff and Subdivision Review Committee recommend approval of the request as submitted.

BACKGROUND INFORMATION

The subject site is presently being developed with a combination office-retail commercial structure. An underground parking garage is also provided. The building occupies the entire site.

The applicant is proposing to divide the site into airspace units in order to allow sales or lease of individual spaces. The staff has no objection to the request. Surrounding land uses consist of commercial and office-type uses.

The application was transmitted directly to City Council because there are no other entitlements necessary for the project.

A negative declaration was filed on June 19, 1981.

**APPROVED**  
BY THE CITY COUNCIL

JUN 30 1981

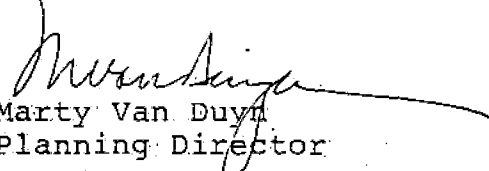
OFFICE OF THE  
CITY CLERK

RECOMMENDATION

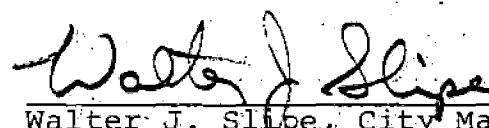
The Parcel Map Advisory Agency (Planning Director and City Engineer), based upon review by the Subdivision Review Committee, recommends that the City Council approve the project by:

1. Ratifying the Negative Declaration; and
2. Adopting the attached Resolution adopting findings of fact, approving a Tentative Map.

Respectfully submitted,

  
Marty Van Duyen  
Planning Director

RECOMMENDATION APPROVED:

  
Walter J. Slupe, City Manager

MVD:HY:bw  
Attachments  
P-9204

June 30, 1981  
District No. 1

RESOLUTION No. 81-500

Adopted by The Sacramento City Council on date of

JUNE 30, 1981

A RESOLUTION ADOPTING FINDINGS OF FACT,  
APPROVING A REQUEST FOR TENTATIVE MAP  
FOR LIBERTY HOUSE SITE, NORTHWEST CORNER  
OF K STREET MALL AND 7TH STREET (P-9204)  
(APN: 006-051-17, 21)

WHEREAS, the Parcel Map Advisory Agency has submitted to the City Council its report and recommendations concerning the Tentative Map for Liberty House site, located at the northwest corner of K Street Mall and 7th Street (hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at public hearing(s) conducted on June 30, 1981, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the Central City Community Plan in that the plans designate the subject site for Central Business District.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion, or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage and will not substantially and avoidably injure fish or wildlife or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator who has filed a Negative Declaration with the City Clerk. By virtue of the Negative Declaration, the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment nor substantially and avoidably injure fish, wildlife, or their habitat.
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.
- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision in that there are no access easements for use by the public at large on the subject site.

APPROVED  
BY THE CITY COUNCIL

JUN 30 1981

OFFICE OF THE  
CITY CLERK

- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing City of Sacramento treatment plants have a design capacity of 75 mgd and that actual treated discharge averages 56 mgd. The discharge from the proposed project will not create a condition exceeding the design capacity.
- G. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the proposed subdivision, taking into consideration the local climate, the contour and configuration of the parcel to be divided, and such other design and improvement requirements applicable to the proposed subdivision.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento as follows:

- A. The Negative Declaration be ratified;
- B. The Tentative Map be approved.

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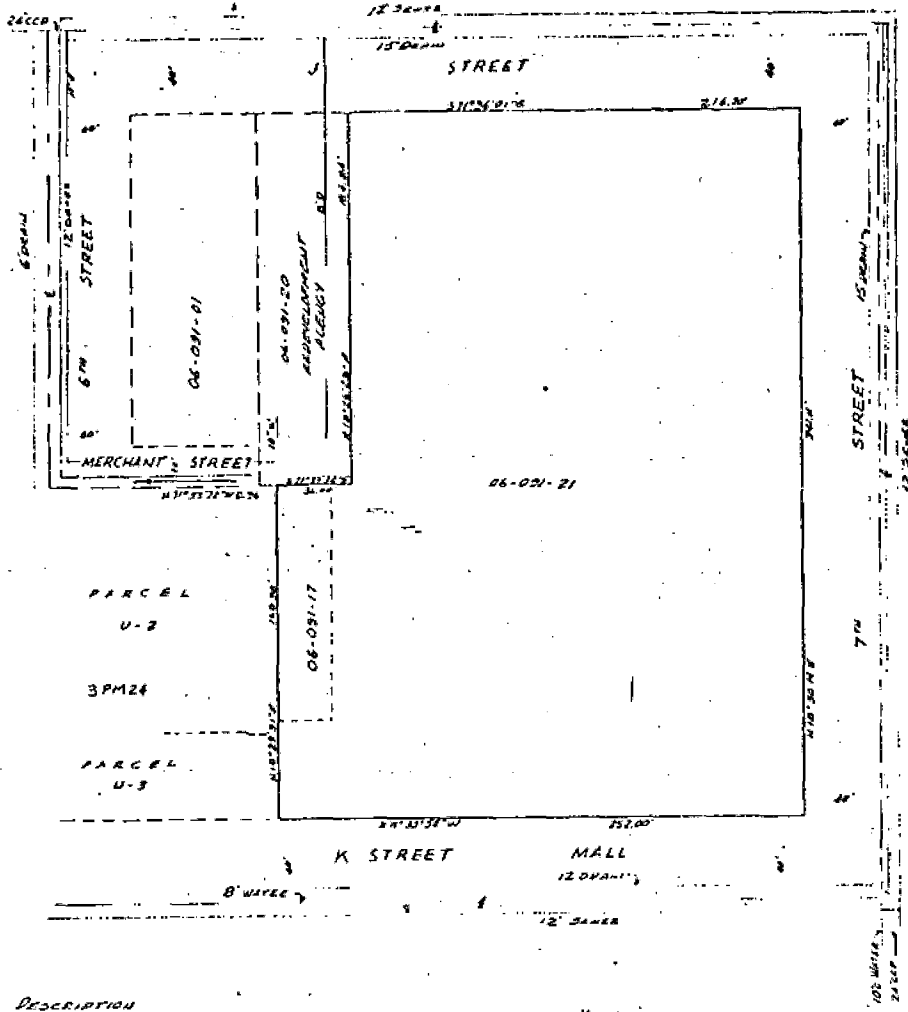
MAYOR

ATTEST:

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CITY CLERK

P-9204



**DESCRIPTION**  
A PORTION OF THE BLOCK BOUNDED  
BY J, K, G AND L STREETS

**OWNER**  
DOWNTOWN PLAZA ASSOCIATES  
535 CAPITAL MALL #340  
SACRAMENTO, CA 95814  
444-2000

**SURVEYOR**  
THE SPINK CORPORATION  
720 F STREET  
SACRAMENTO, CALIFORNIA 95814  
444-8170  
L.S. 3185

**PROPOSED USE** . . . . . COMMERCIAL  
**PRESENT USE** . . . . . UNDER CONSTRUCTION

**WATER SUPPLY** . . . . . PUBLIC

**SEWER FACILITIES** . . . . . PUBLIC

**STORM DRAIN** . . . . . PUBLIC

**FLOOD CONTROL** . . . . . PUBLIC

**No. of Lots (SIBS)** . . . . . SIX PARCELS DIVISION  
(SACRAMENTO)

**ASSIGNER'S Parcel No.** . . . . . 06-091-17  
06-091-21

- NOTES:**
- 1) ONE PARCEL TO PERPETUATE FEE OWNERSHIP FROM ELEVATION FEET DOWN.
  - 2) ONE PARCEL OF UNDERGROUND PARKING BETWEEN ELEVATIONS FEET AND FEET
  - 3) ONE PARCEL FOR ACCESS TO (2) ABOVE.
  - 4) ONE PARCEL FOR A TWO STORY DEPARTMENT STORE
  - 5) ONE PARCEL FOR A RETAIL COMMERCIAL AREA.
  - 6) APPROPRIATE EASEMENTS FOR ELEVATORS MECHANICAL EQUIPMENT, ETC. . . . .

**TENTATIVE PARCEL MAP**

NO. 100 DATE: 2-6-78 P. 9204 SCALE: 1" = 30' DRAWN BY: JSA CHECKED BY:	TITLE: <u>UPPER HOUSE SITE - NW CORNER</u> <u>K STREET MALL &amp; J STREET</u> <u>SIXTH DISTRICT SACRAMENTO CALIFORNIA</u>	<p><b>SPINK ENGINEERING COMPANY</b> ENGINEERS PLANNERS SURVEYORS</p>
	CLIENT: <u>DOWNTOWN PLAZA ENGINEERS</u>	
	CODE: <u>SAC 4</u>	
	DR. NO.	
	SCALE:	

P-9204





# CITY OF SACRAMENTO

## OFFICE OF THE CITY CLERK

915 I STREET  
CITY HALL ROOM 203

SACRAMENTO, CALIFORNIA 95814  
TELEPHONE (916) 449-5426

LORRAINE MAGANA  
CITY CLERK

July 1, 1981

Downtown Plaza Associates  
555 Capitol Mall, Suite 340  
Sacramento, CA 95814

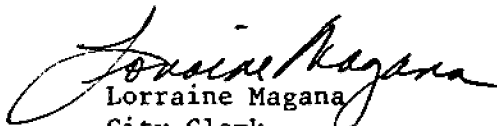
Gentlemen:

On June 30, 1981, the City Council approved the following for property located on the Northwest corner of Seventh Street and K Street Mall (P-9204):

Tentative map to divide 2+ acres, with commercial building under construction, into five airspace condominium units in the Central Business District "C-3" Zone.

The enclosed certified copy of resolution applies to the above subject matter.

Sincerely,

  
Lorraine Magana  
City Clerk

LM:sj  
cc: Spink Corp.  
Planning  
Encl.  
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