

Report Amended by Staff 3/7/84  
Report Amended by CPC 3/8/1984  
**CITY PLANNING COMMISSION**

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	The Spink Corporation, P.O. Box 2511, Sacramento, CA 95811		
OWNER	London Properties, 1818 Grand Canal Street, Stockton, CA 95207		
PLANS BY			
FILING DATE	2-3-84	50 DAY CPC ACTION DATE	REPORT BY: GM:bw
NEGATIVE DEC.	2-16-84	EIR	ASSESSOR'S PCL. NO. 119-070-38 & 39

APPLICATION: 1. Environmental Determination  
2. Plan Review of 328-unit apartment complex on two parcels totaling 21± acres in the R-2A-R zone.

LOCATION: Northwest corner of Mack Road and Franklin Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 328-unit apartment complex on two parcels located at the northwest corner of Franklin Boulevard and Mack Road.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
1965 Southgate Community Plan  
Designation: Light Density Residential  
Existing Zoning of Site: R-2A-R  
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Single Family Residential; R-1  
South: Residential and Vacant; R-1 and C-2-R  
East: Shopping Center; C-2  
West: Vacant; R-1

Parking Required: 328 spaces  
Parking Provided: 557 spaces  
Parking Ratio: 1.7:1  
Property Area: 21± acres gross; 18.8 acres net  
Density of Development: 17.4 du/ac/net acre  
Square Footage of Buildings: 800 to 1,000  
Height of Structures: Two-story  
Topography: Flat  
Street Improvements/Utilities: Existing  
Exterior Building Colors: Pastel shades  
Exterior Building Materials: Plywood siding and composition shingle roof

BACKGROUND INFORMATION: On February 23, 1982 the City Council approved the necessary entitlements to develop a 304-unit condominium project on the subject site (P-8933). This project was never constructed and the property has been acquired by the current applicant.

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Instead of a condominium project, the applicant proposes to construct a 328-unit apartment complex on the subject site. All the units are two stories in height, constructed of plywood siding and composition shingle roofs. Each building cluster contains eight units (4 units on each floor). The project proposes essentially two floor plans consisting of a one-bedroom, 800 sq. ft. unit and two-bedroom, 1,000 sq. ft. unit.

The project site consisting of two parcels is bisected by Deer Creek Drive. Site A (west side of Deer Creek Drive) is proposed to be developed with 132 units, and Site B (east side of Deer Creek Drive) will contain 196 units for a total of 328 units. The Site is zoned R-2A-R which permits a maximum density of 17.4 dwelling units per net acre. The density of the proposed project (328 units on 18.8 net acres) computes to the same maximum allowable density of 17.4 dwelling units per net acre.

STAFF EVALUATION: Staff comments and concerns pertaining to this project relate to the site plan, relationship of the project to adjacent single-family residences and building materials of proposed project.

1. Site Plan

The site plan (Exhibit A) proposes several apartment clusters in the middle of each site which are located a considerable walking distance from the off-street parking spaces. As currently proposed, the distance between these units and the nearest parking spaces range from 120 to 150 feet.

Staff recommends that the applicant redesign the site plan which provides more convenient parking to the apartment units. One possible modification is to switch the location of recreation facility planned at the main entrance to each complex with the apartment clusters. This modification has the additional benefit of providing the recreation facility central to all the apartment units.

2. Proximity to Single-family residences

The subject site is bordered by a partially developed single family subdivision to the north and vacant single family properties to the west. The adjacent subdivision consists primarily of one-story and several two-story homes.

The South Sacramento Community Plan Update Advisory Committee has serious concerns regarding the impact of placing high density multi-family projects adjacent to single-family subdivisions (See letter-Exhibit C). The general indication by the Committee concerning the placement of multi-family next to single family uses is to provide some sort of transition or buffering between the two uses either through gradual transitions of density, building heights and setbacks, landscaping, building design, or a combination thereof. The Committee is equally concerned with quality of building materials and architectural design of building structures, as well as diversity of design.

The applicant proposes to develop all two-story apartment clusters with each cluster consisting of eight apartment units. The buildings are to be constructed of T-111 plywood siding, and the proposed design is uniform throughout the project.

Staff has no objection to the overall architecture of the units per se in that the buildings are designed with sufficient relief with the incorporation of bay window elements, balconies and off-set building walls. However, in order to address the concerns indicated by the South Sacramento Advisory Committee, staff suggests the following modifications to improve the compatibility of the subject project with the adjacent single family subdivision to the north:

- a. Deer Creek Drive is a primary entryway into the single-family subdivision. In order to improve the visual transition between the subject project and the adjacent subdivision, the apartment units facing Deer Creek Drive should be limited to one story in height.

This modification will involve a redesign of the affected structures. Staff further requests that the project architect attempt to design the units abutting Deer Creek Drive with the main entry doors on the opposite side of Deer Creek Drive to discourage tenant parking on the street;

- b. The applicant proposes to use T-111 plywood siding on all the structures with composition shingle roofing material. As with other large apartment complexes being developed throughout the City, staff is concerned with the homogeneous, one color, one material, one design appearance of these projects.

In order to provide diversity and visual break-up of the massive homogeneous appearance, staff requests that different building and roofing materials, such as stucco, horizontal wood siding, wood shake or shingle, and that more than one primary color be utilized on the project;

- c. The applicant proposes a 15-foot landscape setback separating the subject site from the single family properties to the north and west. Staff requests that this area be intensively landscaped with trees and screening shrubs. In addition, in order to provide a more effective noise buffer between the project's parking spaces and the single family homes, a six-foot high solid masonry wall should be installed along the north and west property lines.

3. Circulation

The City Traffic Engineer requests that a turnout lane and project's directory be incorporated into the primary entrance driveways and that the design of the driveways meet City code.

STAFF RECOMMENDATION: Staff recommends the following actions:

- 1. Ratification of the Negative Declaration;
- 2. Approval of the Plan Review of the project, subject to the following conditions:

Conditions

- a. The applicant shall submit the revised final site and building plans to the Planning Director for review and approval prior to issuance of building permits. The revised site and building plans shall include the following modifications:
  - 1) ~~provide access and more convenient off-street parking to cluster units by switching the location of the recreation facilities planned at the main entrances to each complex with the apartment clusters as shown on amended Exhibit A, or an alternative solution, to the satisfaction of the Planning Director; DELETED BY CPC~~
  - 2) incorporate turnout lane and tenant directory board at primary entry driveways; 003701
  - 3) ~~the apartment units facing Deer Creek Drive shall be limited to a height of one story; DELETED BY CPC~~

- 4) the applicant shall adhere to *a minimum setback of 35 ft. along the 30-foot building setback along Deer Creek Drive; as indicated in the original site plan;*
- 5) a six-foot high solid masonry wall shall be installed along the north and west property lines where the subject site abuts residential properties. This shall be a decorative wall design, and it shall be reviewed and approved by the Planning Director.

- b. The applicant shall utilize more than one primary *exterior* building ~~and roofing~~ material and more than one primary color.\*\* The applicant shall submit a sample board to the Planning Director for review and approval, *of these indicating the exterior building materials and colors* prior to issuance of a building permit;
- c. The applicant shall submit a detailed landscape, irrigation and shading plan to the Planning Director for review and approval prior to issuance of a building permit. The landscape plan shall provide intensive landscaping of all landscape setback areas, including a combination of trees, shrubs and ground cover;
- d. The applicant shall provide a four-foot high undulating berming along Mack Road and Franklin Boulevard;
- e. The applicant shall adhere to the residential design criteria as indicated in Exhibit D.
- f. *as indicated on Exhibit A,* Reorient the units along Deer Creek Drive/to discourage the use of on-street parking.
- g. *A childrens' play area shall be provided.*
- h. *A bus shelter shall be provided at the bus stop located along Mack Road, if approved by Regional Transit.*

\*\* *and the roofing shall consist of heavy shadowline material.*

March 8, 1984

City Planning Department  
927 Tenth Street  
Sacramento, CA 95814

re: P84-069 Plan Review to construct 328-unit apartment complex on 2 vacant parcels totaling 21-plus or minus acres in the Garden Apartment-Review (R-2A-4) zone. Loc: NW cor. Mack Rd. & Franklin Blvd. APN: 119-070-38,39

As a resident of the Archean Estates, located directly behind the proposed apartment complex, by this letter I wish to state my vehement protest to the construction of said complex.

South Sacramento is being built up at a tremendous rate of speed, there are apartment houses aplenty up Mack Road to Highway 99, from Valley Hi south. I urge you to consider the tremendous impact another apartment complex would have in our area. The number of residents of such a complex as this would be over 600. The ramifications of such a population on the traffic, roads, schools, stores, et cetera, would be considerable.

Has there indeed been a study done on the impact at Charles Mack School?

We in Archean Estates were told this acreage would be a park, which is one of the many reasons we moved into this area. Then we were told a condominium project was planned. And now apartments?

I have been in contact with Lynn Robie, who has said that a park would be out of the question, that the City has too many underdeveloped parks at this time, there is no money to maintain a park. Just a random sampling of my neighbors has disclosed that there would be many residents who would be more than willing to volunteer their time to maintain a park. Perhaps this could be considered. We in this area have no area to which to take our children to play and study nature; many of the residents are without cars in the daytime, and a park located at this site would be ideal. Please give this idea some thought.


Now I come to a topic which is of great importance to me. There are many species of wildlife living on this 21 acres: ground squirrels, owls, rabbits, pheasants, to name a few. I have been in contact with Jerry Mensch of the California Fish & Game Department and he has related to me that when (if) this contractor comes in with his equipment to commence construction, these animals will be killed. They are landlocked, they have nowhere to go. The birds, of course, can fly away. But what if it's spring/summer, what is to become of their nestlings? The squirrels will be doomed; likewise, the rabbits. This area is important to me. I bring my 4-year-old nephew here to feed the animals (we save our stale bread, et cetera) and to observe them. Mr. Mensch sympathized with my concern, but there is nothing that can be done but to watch these birds and animals fly or die.

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I would agree that something should be done to make this acreage more attractive, but an apartment complex would not accomplish that, and all the masonry fencing, off-street parking, multi-color units will not make the land attractive.

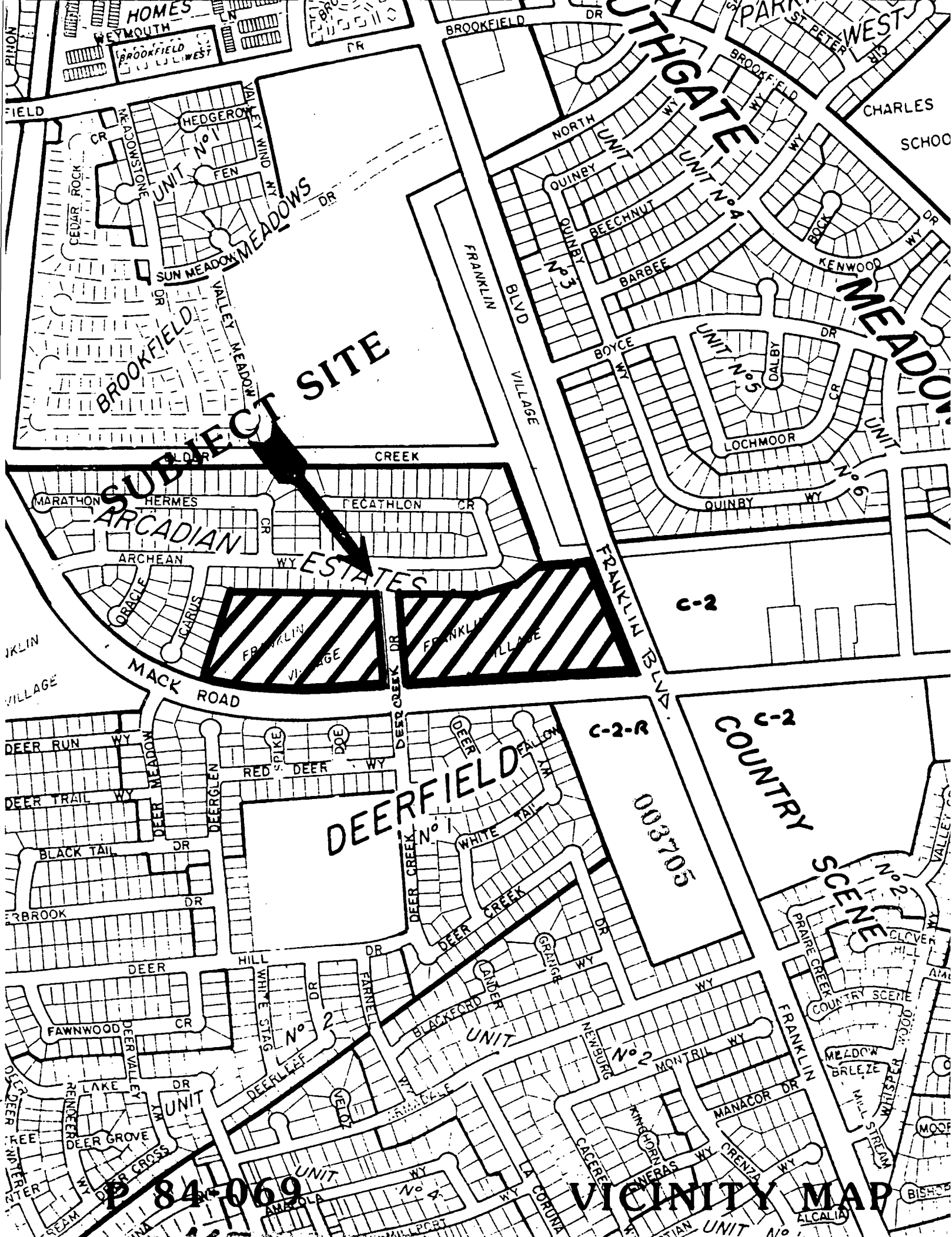
We need the City's concern and effort to make South Sacramento a pleasant and safe place to live. Our crime rate here is already out of control. And what will it become with an apartment complex? The residents in this area pay between \$600 - \$800 a month for their mortgage payments, and if you allow apartments to be built that are not in that price range, you do us a disservice by lowering our property values, by increasing our traffic to the point where our children cannot walk to the store, cannot safely cross the street, and by engendering fear for our physical safety, our children, and our property.

Your attention to these matters will be greatly appreciated.

A handwritten signature in cursive script that reads "Robin Sines".

Robin T. Sines  
118 Decathlon Circle  
Sacramento, CA 95823

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**SUBJECT SITE**

84-069

VICINITY MAP

C-2

C-2-R

003705

C-2  
COUNTRY

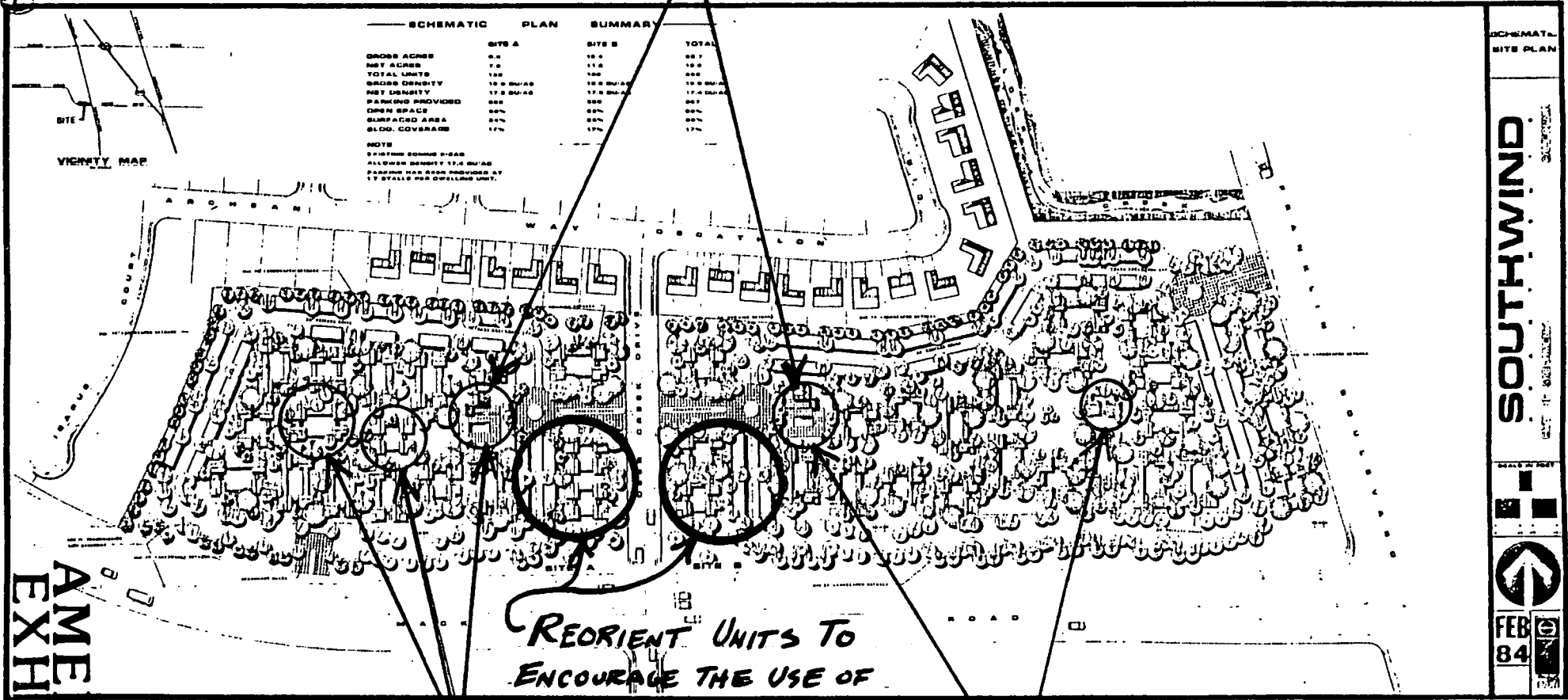
SCENE  
No. 2  
COUNTRY SCENE

MEADOW BREEZE  
MILL STREAM  
WHISPER

ALCALIA

HOMES WYMOUTH  
BROOKFIELD WEST  
HEDGEROY UNIT No. 1  
SUN MEADOW MEADOWS  
BROOKFIELD  
VALLEY MEADOWS  
FRANKLIN BLVD  
FRANKLIN VILLAGE  
NORTH UNIT  
QUINBY UNIT No. 3  
BEECHNUT  
BARBEE  
BOYCE  
UNIT No. 5  
DALBY  
LOCHMOOR  
QUINBY UNIT No. 6  
MACK ROAD  
ARCADIAN ESTATES  
ARCHEAN WY  
FRANKLIN VILLAGE  
DEER CREEK DR  
FRANKLIN VILLAGE  
DEERFIELD  
DEER CREEK No. 1  
WHITE TAIL  
DEER CREEK  
DEER CREEK UNIT  
No. 2  
BLACKFORD  
NEWBURG  
MONTRIL WY  
MANACOR DR  
CACERES  
MINKHOEN  
GONZALEZ  
CRENZA WY  
LA CORUNA  
UNIT No. 4  
AMAZOLA  
MILLPORT  
UNIT No. 2  
PRAIRIE CREEK  
CLOVER HILL  
MEADOW BREEZE  
MILL STREAM  
WHISPER  
ALCALIA

# RECREATION FACILITIES



*REORIENT UNITS TO  
ENCOURAGE THE USE OF  
OFF STREET PARKING*

**MODIFY SITE PLAN BY SWITCHING LOCATIONS  
OF APT. CLUSTERS WITH RECREATION FACILITIES**

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**AMENDED  
EXHIBIT A**

SCHEMATIC SITE PLAN

**SOUTHWARD**

DATE: 02-19-84

FEB 84



P 87009  
P 84069



TYPICAL ENTRY



ELEVATION A



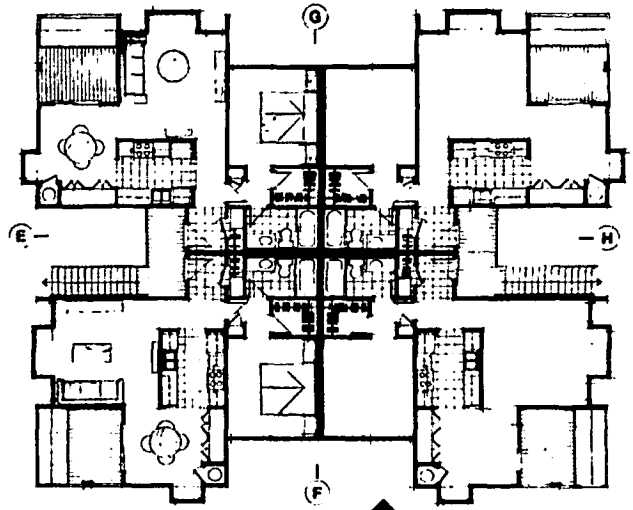
ELEVATION B



ELEVATION D

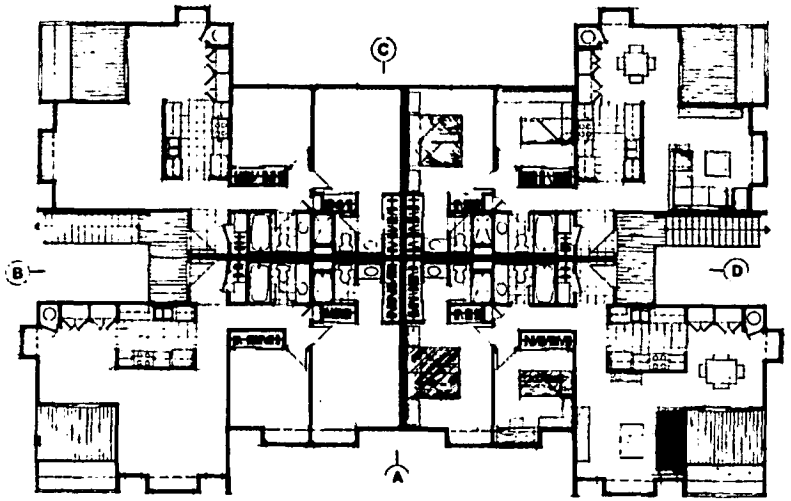


ELEVATION C



CLUSTER A  
8- PLEX  
1000 sq.ft. x Unit  
←

CLUSTER B  
8- PLEX  
800 sq.ft. x Unit  
↗



ELEVATION E



ELEVATION F



ELEVATION G



ELEVATION H

**SOUTHWIND**  
CENT. OF SOUTHWIND  
CONFIDENTIAL

EXHIBIT B

003707

March 1, 1984

South Sacramento Community Plan Update Advisory Committee -  
Tentative Residential Land Use Issues

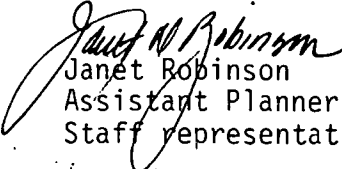
The number and the design of apartment buildings in South Sacramento is of great concern to the Committee. This is one of the priority issues which the Committee has identified and discussed. The issues which the Committee has listed as important for consideration in the Community Plan Update are not yet formally adopted by the Committee and have not been presented at a public meeting. However, it is very likely that this issue will be one of those discussed in the Plan Update. The Committee's general response and concerns regarding the "apartments" issue is set forth below.

The Committee is concerned about the impacts of additional apartments in South Sacramento. The reason for this is primarily because of the visual and traffic impacts of this type of development rather than a negative attitude toward all apartment projects, per se.

The Committee would prefer to see:

1. A buffer between single family residential units and apartments. Either transition densities between the two or a large landscaped buffer would be preferable to a masonry wall. Well designed patio homes or low density garden apartments could be used as a buffer.
2. Good landscaping in multiple family residential projects. The Committee is very concerned with the aesthetic impact of apartments on the community, particularly along Mack Road. They wish to see more trees in South Sacramento.
3. Good design. The "wall" effect of some types of apartment developments is to be avoided. Massive apartment blocks are also to be strongly discouraged.
4. A solution to the traffic problems created by higher density development. The traffic generated along major streets by apartment complexes is one of the major concerns of the Committee. No solution has been suggested, but possibilities are:
  - a) fewer large acreage apartment projects
  - b) better traffic circulation design
  - c) lower density multiple family projects

If the design, density impacts, traffic and landscaping problems that have occurred in the past in association with these projects cannot be mitigated, the Committee is likely to take a stronger position in opposition to multiple family development altogether. Council and community support for such projects will undoubtedly hinge upon the quality of design, landscaping, planning and lower density development.

  
Janet Robinson

Assistant Planner

Staff representative to the South Sacramento Citizens Advisory Committee

P 84069

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EXHIBIT C

1/6.21

# EXHIBIT D

## Residential Design Criteria

### A. GENERAL BUILDING DESIGN AND ORIENTATION

1. The monotony of straight building lines of all units shall be remedied through limiting the size of individual buildings or units, staggering of units, variation of exterior building materials on adjacent units, use of intensive landscaping, or other methods.
2. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
3. Buildings shall be designed and oriented to reduce overview of private areas and windows from second story units.
4. Accessory structures shall be compatible in design and materials with main buildings.
5. Communal facilities shall be centrally located.
6. Recreational facilities shall be located and/or designed so as not to impact adjacent properties.
7. Solar heating and cooling of units should be considered.
8. Site planning shall take into account optimum solar orientation of structures.
9. Site planning shall minimize the incidences of one building shading another.
10. Private garden areas shall be oriented to the south as much as possible.
11. Roofing materials shall be medium wood shake or composition shingle with texture, concrete, or other imitation shakes or tile, subject to Planning Director approval.
12. The location of second story end unit windows shall be varied from the typical plan when appropriate to reduce the incidence of overview into private first floor open space and parking areas, and to provide variety in exterior unit detailing.

### B. MULTIPLE FAMILY DESIGN CRITERIA

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1. OFFSTREET PARKING - Offstreet parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly). Six foot masonry walls are required on interim property lines between parking lot areas and existing or proposed residential development.

P 84069

EXHIBIT D

2. For the convenience of tenants and guests, and to encourage use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.
3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.
4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Parking shall be screened from second story units by trees or lattice work.
6. The project shall comply with the 50% shading of surfaced areas requirement of the Zoning Ordinance.
7. The setback from interior side and rear property lines shall be 10 feet for open stalls and 15 feet for carports.
8. Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
9. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
10. Within open parking areas, there shall be at least one tree for every five parking spaces.
11. To visually break up the long rows of parking, a landscaped planter with evergreen trees and a minimum width of five feet shall also be located after every tenth parking stall.
12. Parking stall depth can be reduced by two feet if the two feet gained shall be incorporated into adjacent landscaping or walkways.
13. For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
14. The more efficient 90 degree parking arrangement shall be utilized when possible so as to minimize parking lot size.
15. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.

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C. ON-SITE CIRCULATION

1. Minimum pedestrian/vehicle conflict should be sought in driveway/walkway system design.
2. A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors.

3. Walkway location shall assure convenient access between parking and dwelling units.
4. Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface texture.

D. BICYCLE STORAGE

1. One bicycle parking facility is required for every ten (10) off-street parking required, excluding developments which provides individual enclosed garages.
2. Fifty(50%)percent of the required bicycle parking facilities shall be Class I. The remaining facilities may be Class I, Class II or Class III.
3. Bicycle racks and lockers shall be provided throughout the development.

E. LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
  - a. Compatible with one another and with existing material on the adjacent site.
  - b. Complimentary to building design and architectural theme.
  - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
2. Landscape treatment shall include:
  - a. Lawn areas shall be established by sodding or hydromulching when conditions such as excessibe gradient, anticipated seasonal rain, etc., may result in erosion or other problems.
  - b. Larger specimens of shrubs and trees along the site periphery.
  - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.
  - d. Consistency with energy conservation efforts.
  - e. Trees located so as to screen parking areas and private first floor areas and windows from second story units.
  - f. Undulating landscaped berms located along street frontage and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.

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g. Deciduous trees shall be utilized along the south and west facing building walls to allow solar access during the winter.

3. Landscaping of parking areas is discussed in Section B.

F. TRASH ENCLOSURES

1. The walls of the trash enclosure structure shall be constructed of solid masonry material and the exterior surface finished in a manner compatible with the main residential structures.
2. The trash enclosure structure shall have heavy gauge metal gates and designed with cane bolts on the doors to secure the gates when in the open position.
3. The trash enclosure facility shall be designed to allow walk-in access by tenants without having to open the main enclosure gates.
4. The walls shall be a minimum six feet in height, more if necessary for adequate screening.
5. The perimeter of the trash enclosure structure shall be screened with landscaping, including a combination of shrubs and/or climbing evergreen vines.
6. The enclosures shall be adequate in capacity, number, and distribution.

G. PERSONAL SAFETY DESIGN CRITERIA

- a. Dead Bolt Locks. The following shall be minimum requirements for deadbolt locks: 1) bolt shall have a throw of at least one (1) inch, 2) bolt shall be constructed so as to repel cutting tool, and 3) any additional requirements as required in the Uniform Building Code.
- b. Adequate indoor and outdoor lighting systems. Open parking lots and carports shall be provided with a maintained minimum of one (1) footcandle of light on the parking surface from one-half hour before sunset until one-half hour after sunrise. Lighting devices shall be protected by weather and vandalism-resistant covers. Lighting shall be engineered so as not to produce direct glare or "stray light" on adjacent properties.

Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five one-hundredths (.25) footcandles at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.

- c. Building numbers and addresses shall be clearly visible from public and/or private access streets. All street numbers will be attached to the residence immediately adjacent to a light source which is capable of illuminating the numbers. There shall be positioned at each entrance of the complex an illuminated diagrammatic representation of the location of the viewer and the unit designations within the complex. Where multiple dwellings are serviced by vehicular access to the rear through any driveway, alleyway, or parking lot, they shall also display the same numbers on the rear of the building.

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- d. Smoke detectors
- e. Solid core doors
- f. Separate attic space shall be accessible only from individual units.
- g. Protection of roof openings.
- h. Entry Vision. All main or front entry doors to dwelling units shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Except for doors requiring a fire protection rating which prohibits them, such view may be provided by a door viewer having a field of view of not less than 180 degrees or through windows or view ports. Mounting height shall not exceed fifty-four (54) inches from the floor.

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