

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0014469
Insp Area: 1

Site Address: 2100 Q ST SAC
Parcel No: 007-0324-005

Sub-Type: REM
Housing (Y/N): N

CONTRACTOR
DPR
1451 RIVER PARK DR SUITE 210
SACRTO, CA 95815

OWNER
MC CLATCHY NEWSPAPERS
SACRAMENTO CA
95816

ARCHITECT

Nature of Work: INTERIOR OFFICE/CONFERENCE ROOM REMODEL

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number _____ Date 12/18/00 Contractor Signature Ther Scholle

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

_____, I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

_____, I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Date 12/18/00 Applicant/Agent Signature Ther Scholle

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

_____, I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier RELIANCE Policy Number WD8546721 Exp Date 02/01/2001

_____, (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 12/18/00 Applicant Signature Ther Scholle

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO

CERTIFICATE OF OCCUPANCY

For Information Contact (916) 264-5716

Building Address: 2100 Q STREET Permit No. 0014469

Building Use: NEWSPAPER -SACRAMENTO BEE Occupancy: B/F1

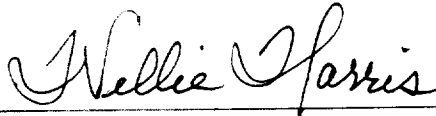
Building Owner: MCCLATCHY NEWSPAPERS Construction Type: II-FR

Owner Address: 2100 Q STREET Sprinkled? Yes No

Portion of Building Occupied: ENTIRE Area: 280 Sq. Ft.

06/07/01

Date



By: Print

Sign

DENNIS RICHARDSON

CITY BUILDING OFFICIAL

[Finaled By: GTD.WJR,JZB,CP]

This Certificate, issued pursuant to the requirements of Section 109 of the Uniform Building Code, certifies that at time of issuance the described portion of the building has been inspected for compliance with the Uniform Building Code, as adopted per Title 15 of the Sacramento City Code for the group and division of occupancy and use for which the proposed occupancy is classified. Issuance of this certificate shall not be construed as an approval of a violation of any Codes, or Federal, State and City Laws or Ordinances. Certificates presuming to give authority to such violation shall not be valid. This certificate shall be posted in a conspicuous place on the premises and shall not be removed except by the City Building Official. No changes shall be made in the character of occupancy or use without approval of the City Building Official.

POST IN A CONSPICUOUS PLACE

APPLICATION FOR COMMERCIAL BUILDING PERMIT

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIVISION
PERMIT SERVICES SECTION

1231 I Street, Rm. 200
 Sacramento, CA 95814 (916) 264-7619 FAX 264-7046

ACTIVITY # 0014469	Insp. Area IC
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Applicant **MUST** complete ALL Unshaded areas

ADDRESS 2100 Q Street Suite
 PARCEL # 007-324-04

<p style="text-align: center;">CONTACT</p> Name <u>Daryl Moore - Leonakis Beaumont Des.</u> Street Address <u>1919 19th Street</u> City/State/Zip <u>Sacramento, CA</u> Phone <u>(916) 558-1900</u> FAX _____ E-mail: _____	<p style="text-align: center;">LICENSED CONTRACTOR Lic No. # _____</p> Name <u>DPR Construction, Inc.</u> Address _____ City/State/Zip _____ Phone _____ FAX _____ E-mail: _____
<p style="text-align: center;">ARCHITECT/ENGINEER (LBDG)</p> Name <u>Leonakis Beaumont Design Group</u> Address <u>1919 19th St.</u> City/State/Zip <u>Sac. CA</u> Phone <u>(916) 558-1900</u> FAX <u>(916) 558-1919</u> E-mail: <u>daryl@lbdg.com</u>	<p style="text-align: center;">OWNER</p> Name <u>Sacramento Bee</u> Address <u>2100 Q St.</u> City/State/Zip <u>Sac. CA</u> Phone <u>(916) 321-2100</u> FAX _____ E-mail: <u>N.A.</u>

→ Will permittee have any employees on the jobsite? No Yes → INSURANCE CO: _____
 → WORKER'S COMPENSATION POLICY # _____ EXPIRATION DATE: _____

NATURE OF WORK IN DETAIL: Interior office/conference room remodel.
280 sf.

OCCUPANT/TENANT: Sacramento Bee VALUATION: \$ 30,000.00

FLOOD STATUS:				S.C.A.T.							
JOB DESCRIPTION		BLDG	SHELL	APT	TI ()	REM (<input checked="" type="checkbox"/>)	SW	FIRE	ADD	OTH	
INSPECTION DISCIPLINES		<u>BLDG</u>	<u>MECH</u>	PLUMB	<u>ELEC</u>	SITE	<u>FIRE</u>				
# Stories	1st flr Area	Total Area	Use Zone	Occp Group	Const type	Fire Req. Y/N	Fed Code	Vio. File			
<u>B</u>	<u>L</u>	<u>280</u>	<u>M</u>	<u>B/EI</u>	<u>TLR</u>	<u>Y</u>	<u>10</u>	[H]	[Quad]		
			<u>13 RW</u>	<u>E</u>	<u>F</u>	<u>S</u>	<u>D</u>	PW	UTIL		

COMMENTS: STRUCTURAL CALC'S TO BE PROVIDED BY FIELD INSUR

REGIONAL SANITATION FEES? Yes No HEALTH DEPARTMENT? Yes No
 WATER FLOW TEST FOR NEW BUILDINGS OR ADDITIONS? Provided Faxed

**CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIVISION**

EXPRESS PLAN REVIEW

SUBMITTAL DATES					
1st Review		2nd Review		3rd	
IN	OUT	IN	OUT	IN	OUT
/ /	/ /	/ /	/ /	/ /	/ /

PROJECT ADDRESS: _____

 Commercial Residential

ISD _____

CATEGORY	1ST REVIEW			2ND REVIEW			3RD REVIEW		
	DATE	BY	DATE	DATE	BY	DATE	DATE	BY	DATE
INTERNET	13	JT	12/8						
STRUCTURAL	3	JT	12/8/00	13	JT	12/11/00			
ADMINISTRATIVE	13	KW	12-8						
MUNICIPAL	13	TLM	12/6						
PLANNING	13	JF	12/8						

STAFF COMMENTS:

* special inspection is req'd
 JT

CAL. LIC. #434901

1121 UNIVERSITY TERRACE
RENO, NEVADA 89503
(775) 747-0100

RAGLEN
SYSTEM
BALANCE, INC.



*AIR AND HYDRONIC SYSTEM
TESTING AND BALANCING*

TEST AND BALANCE REPORT

JOB: SACRAMENTO BEE BUILDING

EXPANSION PHASE 2E.1 Conference Rm

MECHANICAL CONTRACTOR: LUPPEN HAWLEY

CONSULTING ENGINEER: ROGERS & ASSOCIATES

JOB NO: 10257

DATE: April 10, 2001

TECHNICIAN: JOHN WOODWARD

TBE: PHILLIP D. RAGLEN



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SCHEMATIC(s)	

**RAGLEN
SYSTEM
BALANCE, INC.**

*Air and Hydronic System
Testing and Balancing*



SYMBOL SHEET

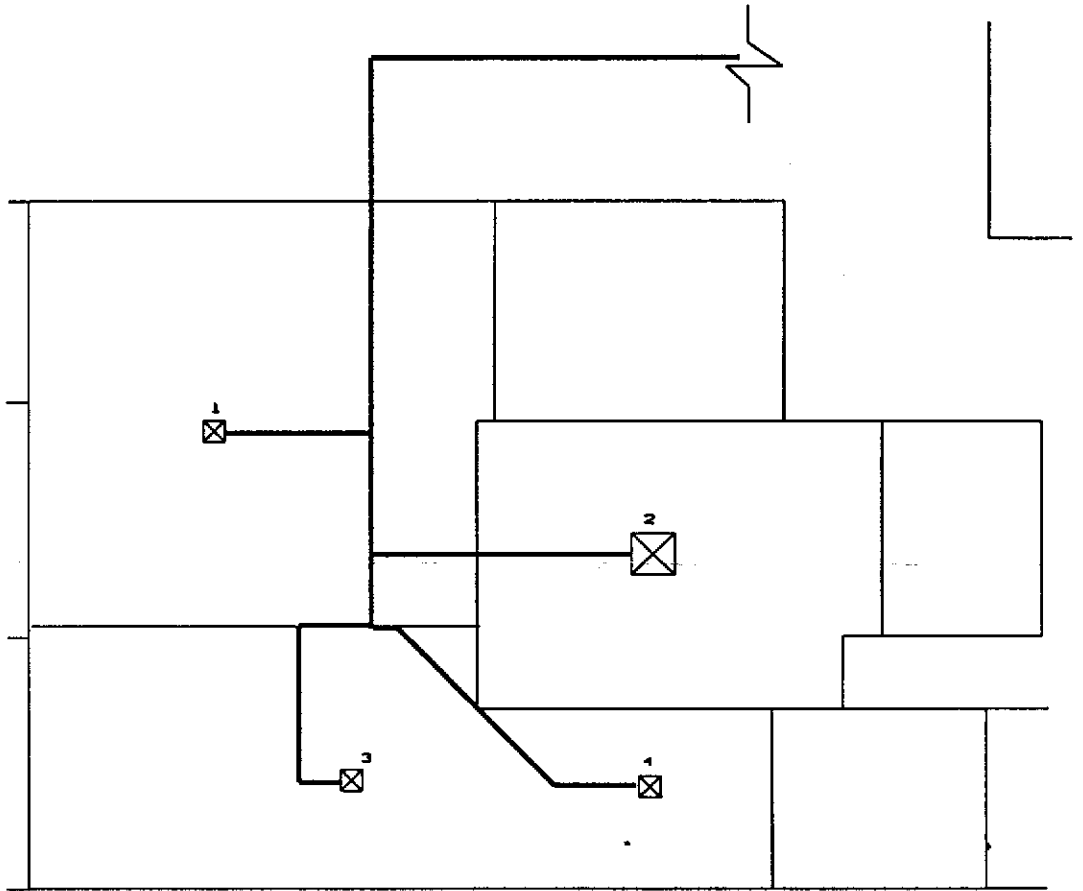
DNL	DATA NOT LISTED
DNA	DATA NOT AVAILABLE
N.T.	NOT TAKEN DUE TO NO VALID LOCATION
N.A.	NOT ACCESSIBLE
D.D.	DIRECT DRIVE
C.D.	CEILING DIFFUSER
SWR	SIDE WALL SUPPLY OR RETURN REGISTER
F.S.	FLOOR SUPPLY
C.E.	CEILING EXHAUST
C.R.	CEILING RETURN
W.E.	SIDE WALL EXHAUST
F.R.	FLOOR RETURN
F.E.	FLOOR EXHAUST OR RETURN
OPEN	NO TERMINAL DEVICE INSTALLED
P.P.	PERFORATED PLATE
O	DIAMETER
H.P.	HORSEPOWER
DIA	DIAMETER
S.P.	STATIC PRESSURE
V	VOLTS
FLA	FULL LOAD AMPS
S.F.	SERVICE FACTORS
BHP	BRAKE HORSEPOWER
ADJ P.D.	ADJUSTED PITCH DIAMETER
O.A. MIN.	OUTSIDE AIR MINIMUM
N.I.	NOT INSTALLED



DIFFUSER AND GRILLE TEST SHEET

ROOM NO.	OUTLET NO.	CODE	SIZE	EFFECTIVE AREA	REQUIRED		TESTED	
					FPM VEL	CFM	FPM VEL	CFM
	1	CD				275		245
	2	"				475		440
	3	"				175		180
	4	"				175		180
						-----		-----
						1100		1045

Remarks:



RSB# 10257
SACRAMENTO BEE
BUILDING EXPANSION - PHASE 2E

DRAWING
M2.1
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