

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 0405139

Insp Area: 4

Thos Bros: 277E5

Site Address: 2855 CARBERRY WY SAC

Parcel No: 262-0283-022

Sub-Type: REM

Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

GUTIERREZ CIRILO
2855 CARBERRY WY
SACRAMENTO CA 95833

Nature of Work: CONVERT EXISTING GARAGE 462 S.F., LIVING SPACE.

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____ **PAID CITY OF SACRAMENTO**

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect **APR 2 2004**

License Class _____ License Number _____ Date _____ Contractor Signature _____ **NORTH PERMIT CENTER**

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date 4-12-04 Owner Signature [Signature]

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 4-12-04 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 4-12-04 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

City of Sacramento Planning Division
PLANNING REVIEW FOR BUILDING PERMIT SUBMITTAL

ADDRESS: 2855 CARBERRY WAY	APN: 262-0283-022
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DRPB AREA / PUD / SPD: EXPANDED NORTH AREA	ZONING: R-1
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EXISTING LAND USE: SFR

PROPOSED USE: CONVERSION OF EXISTING GARAGE INTO LIVING SPACE

PLANNING STAFF WILL CHECK ONE OR MORE OF THE ITEMS BELOW:

Planning review is NOT required.

Use is NOT allowed; applicant CANNOT submit for plan check.

Requires APPLICATION(s): PC ZA IR ER DR PB

Required Planning application must be submitted *before* project can be submitted for plan check.

Application(s) IN PROGRESS:

Applicant may submit for concurrent building permit plan check, at applicant's risk.
 Building Division must check with Planning staff and/or SITE before issuing building permit.

Application(s) COMPLETED: ER04-058 APPROVED 3/26/2004

Building permit must conform to approved plans and comply with all conditions of approval.
 Do NOT issue building permit prior to end of 10 day appeal period.

Plans may be submitted for plan check. Plan checker(s) shall confirm compliance with Zoning Ordinance requirements and all applicable development standards *prior to issuance* of building permit.

Meets setback & lot coverage requirements as shown on site plan provided.

Plans to be submitted have been stamped/signed by Planning counter staff.

Route to SITE for plan check and inspection.

Preliminary review ONLY; the information on this form **must be reviewed again and confirmed** at the time of building permit submittal.

COMMENTS: The garage being converted is being replaced with a new detached structure.

The proposed project shall not increase or modify the footprint of the existing building. The proposed conversion must comply with all conditions set forth in the Expanded North Area Design Review checklist. (attached)

DATE: 04/02/2004	BY: Darryl W.
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2855 CARBERY WAY

OWNERS MR. & MRS

CIRILO GUTIERREZ

SCALE - 3/16" = 1'

SHRUB CONVERSION

ER04-058
RCVD March 25, 2004

ISSUED
City of Sacramento
APR 12 2004

NORTH PERMIT
CENTER

CITY OF SACRAMENTO
PERMIT ASSISTANCE

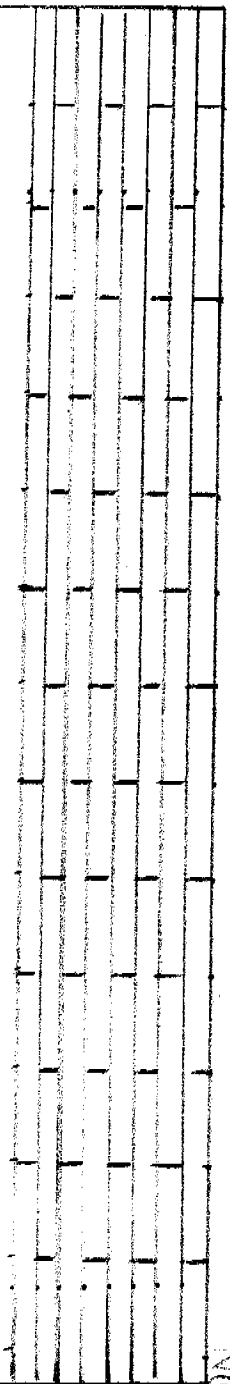
APR 05 2004

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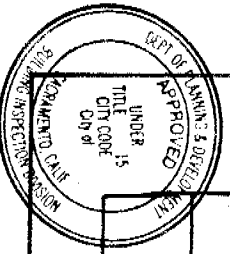
2855-CARBERY

04-03839



This set of plans and specifications shall be kept on the job at all times and if it is necessary to make any change or alteration to the same without written permission of the Building Inspector, a violation of any City Ordinance or State law shall NOT be held in default or as a violation of any City Ordinance or State law.

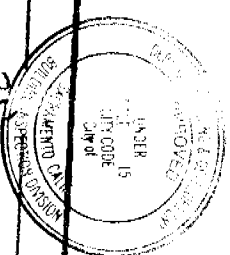
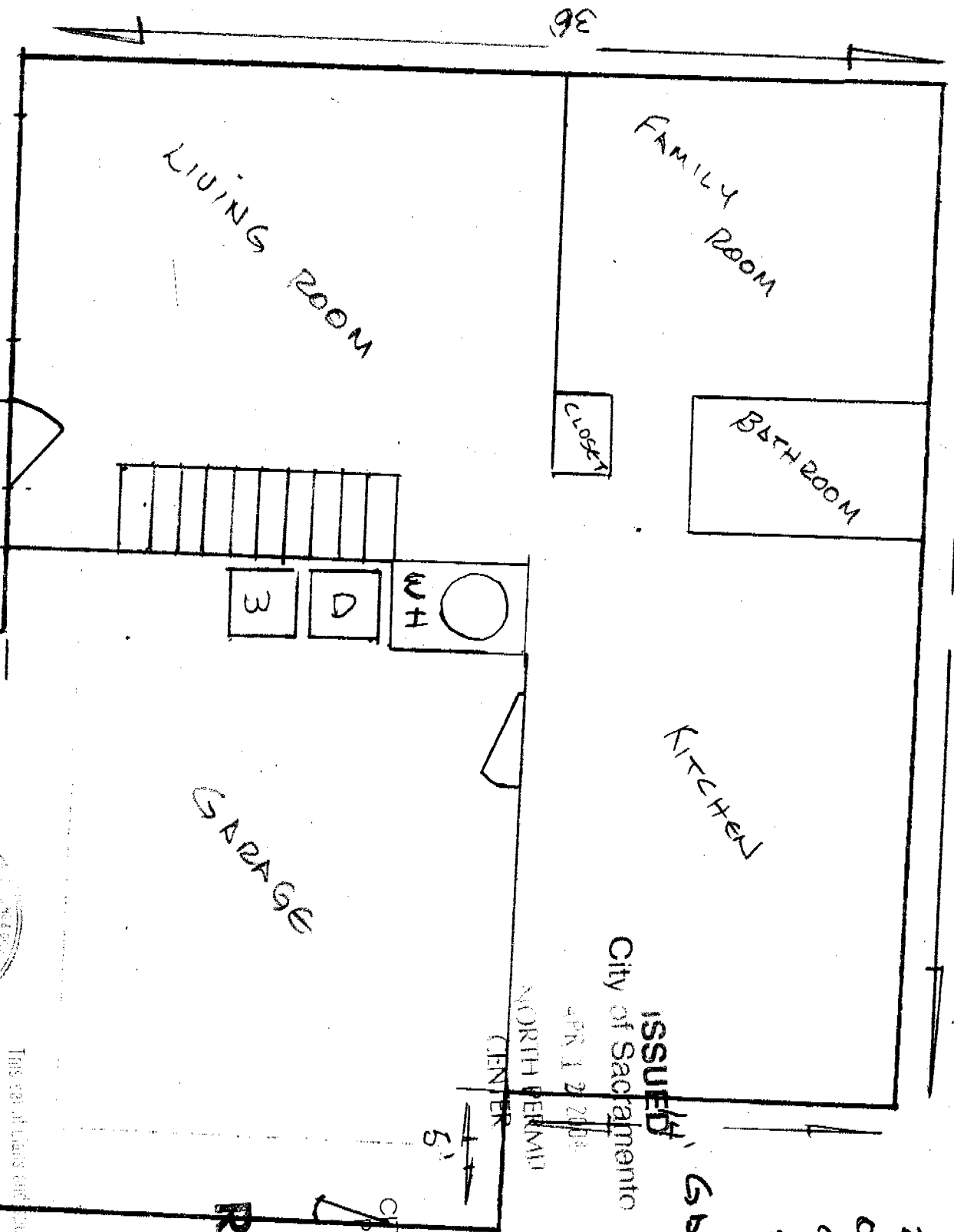
JR 4/2/04



PH AND SILL AT ALL STREET FACING WINDOWS. PROVIDE DECORATIVE TRIM (AT MINIMUM) AT ALL NON-STREET FACING WINDOWS.

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ISSUED
City of Sacramento
APR 12 2004
NORTH PERMIT CENTER

2855 CRYSTAL DRIVE
OWNERS MR. & MRS. CIRILO GUTIERREZ
SCALE 3/16" = 1'

GARAGE CONVERSION

CITY OF SACRAMENTO
PERMIT ASSISTANCE

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22

ACTUAL

This permit plans and specifications shall be kept on the job at all times and shall be available for inspection by the Building Inspector Department and specifications shall NOT be held to permit or approve the violation of any City ordinance or State Law.

37

36

INSPECTORS ARE REQUIRED
REPAIRS OR ADDITIONS
PERMIT ARE IN EXCESS OF
ONE OR MORE SLEEPING
ADDED OR CREATED (GROUP
ROOM

FAMILY ROOMS

INSTALL ARC-FAULT
INTERRUPTERS IN BDRMS
PER NEC 210-12

ROOM

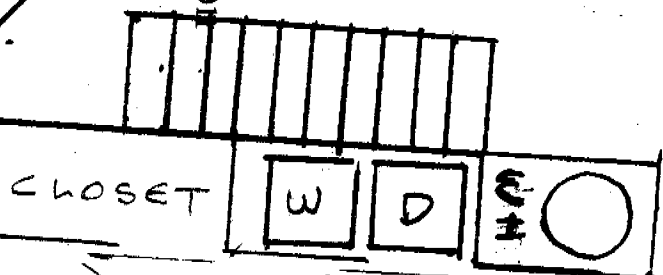
The approval of all Plumbing
Mechanical and Electrical
is subject to field inspection

ALL DWELLING BRANCH
CIRCUITS PER NEC

ARTICLE 210

INSTALL ALL GFCI
PER NEC 210-8

ENERGY COMPLIANCE REQUIREMENTS			
INSUL. AT CLING-R-3	WALL-R-13	FLR-R-	
RADIANT BARRIER AT ROOF SHEATHING (EXPOSED TO ATTIC AREA)	YES	NO	
DUCT TESTING REQUIRED	YES	NO	
THERMAL EXPANSION VALVE	YES	NO	
HVAC EQUIPMENT SEER	14		
AIR CONDITIONER/HEAT PUMP	SEER		
WINDOW RATING U-VALUE	0.75	SHGC	0.46



SLIDING Door 6'0" spaced floor

10'0"

10'0"

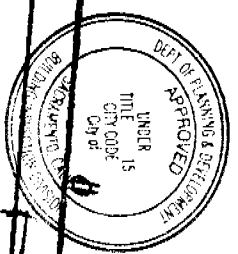
FAMILY ROOM

APPROVED SETBACKS, LOT COVERAGE
DATE: 03-26-04 BY: *Queen Smith*
CITY OF SACRAMENTO PLANNING DIVISION
This approval SHALL NOT be held to permit or approve the
violation of any state law. City ordinance or private agreement,
and assumes that property lines are correct and complete.
By the applicant are accurate and complete.

APR 2004
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CITY OF SACRAMENTO
PERMIT ASSISTANCE

ISSUED
CITY OF SACRAMENTO
PERMIT ASSISTANCE

2855 CARBON
OWNERS MR. A
CARLO GUTIER
SAVE 3/16" = 1'

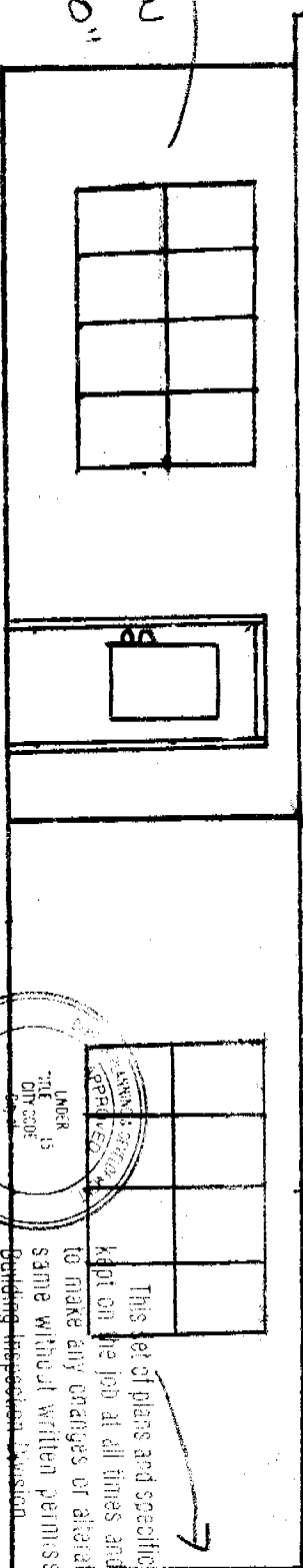
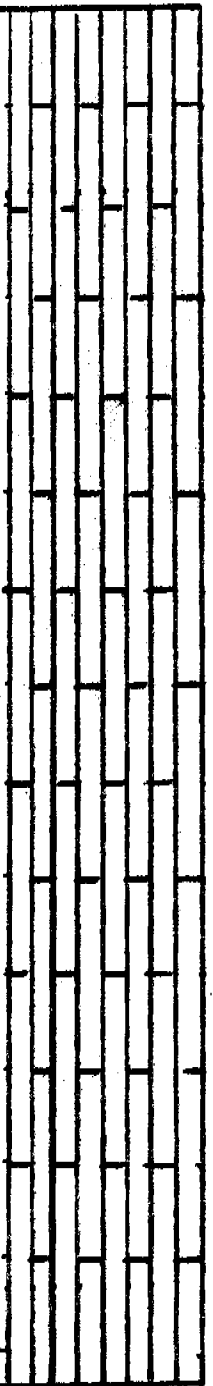


This is a plan of proposed construction to be kept on file at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

See photo of door curb.

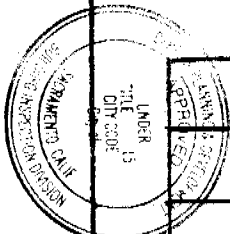
2855 CARREBY WAY
OWNERS MR. & MRS
LIRIO GUTIERREZ
SCALE - 3/16" = 1'

Garage conversion



WINDOW
8'0" X 5'0"

MAINTAINING
WINDOW
8'0" X 5'0"



UNDER
THE
CALIFORNIA
ARCHITECTURE
ACT

This set of plans and specifications shall be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

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CITY OF SACRAMENTO
PERMIT ASSISTANCE

APR 05 2004

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ISSUED
City of Sacramento

APR 12 2004

NORTH PERMIT
CENTER

2855 CARBERRY WAY
 OWNERS MR. & MRS
 CIRILO SUTIZANES
 SCALE - 3/16" = 1'

Garage conversion
 ISSUED
 City of Sacramento

PROPOSAL

NORTH PERMIT
 CENTER

APR 12 2004

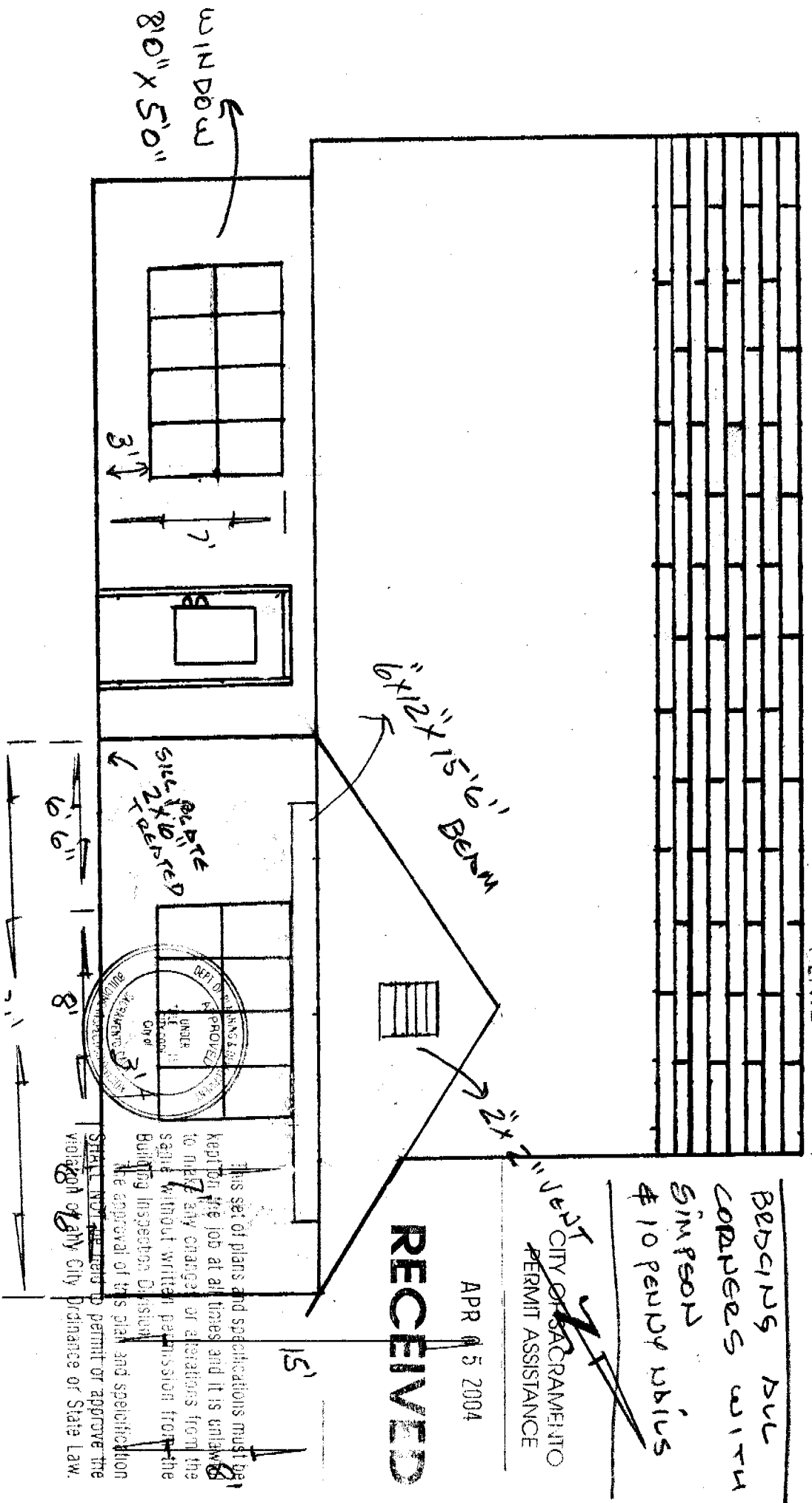
EXTERNAL STUCCO
 MATCHING
 EXISTING

BEDS AND
 CORNERS WITH
 SIMPSON
 #10 PENDING

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 CITY OF SACRAMENTO
 PERMIT ASSISTANCE

APR 5 2004

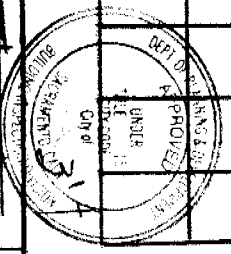
RECEIVED



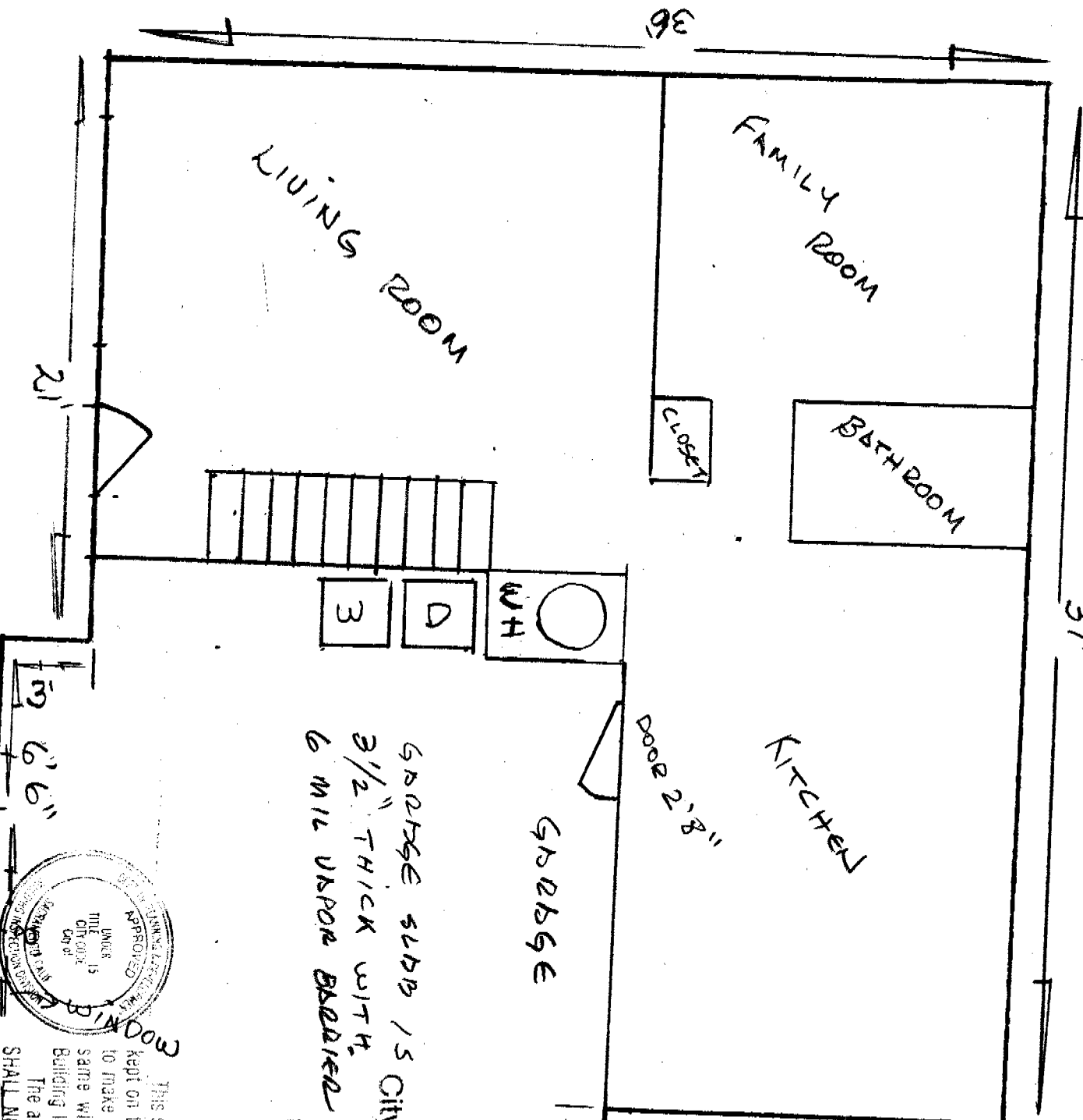
WINDOW
 810" X 510"

12" x 15'6" BEAM

SLICK PLATE
 SICK XID RED

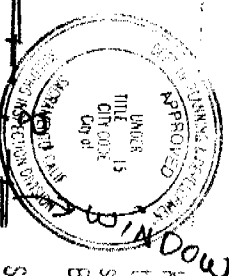


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Garage slab 1/5
 3 1/2" thick with
 6 mil vapor barrier

2855 CYPRESS
 OWNERS MR &
 CARLO GUTIER
 SAUCE 3/16" = 1'
 14' Garage conversion
 INSULATION R 38
 CEILING & R19
 WUBS-

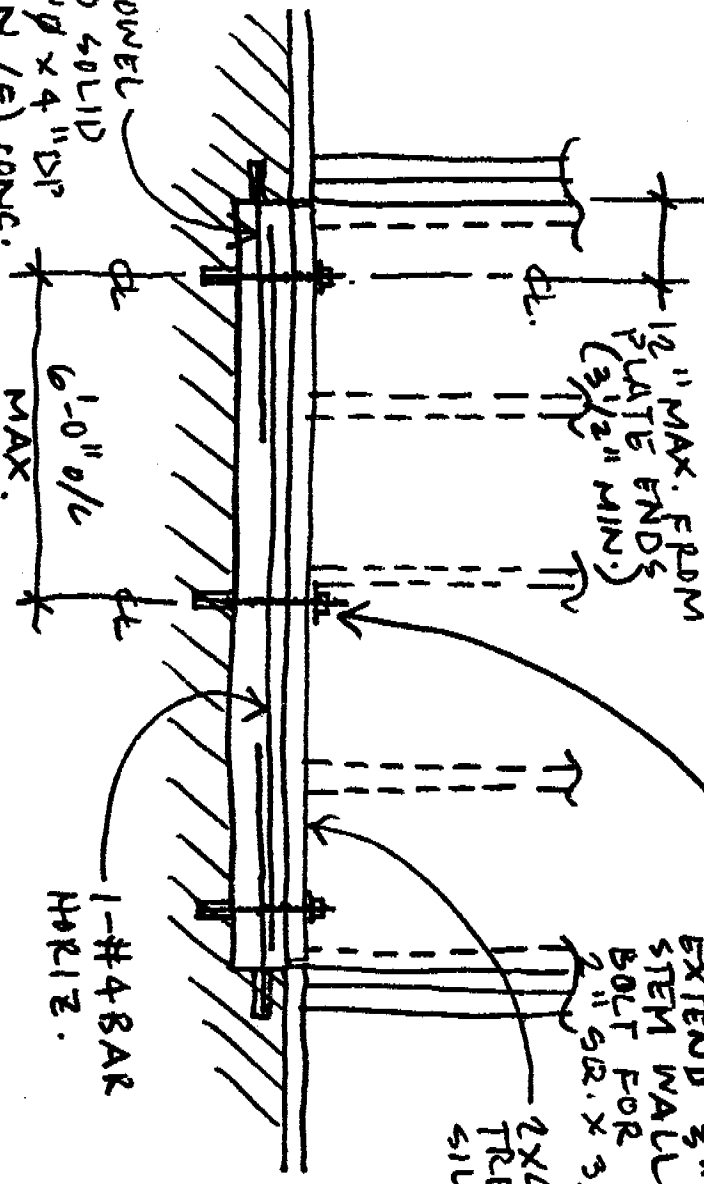


ISSUED PR 0 5 2004
 APR 12 2004
 RECEIVED
 NORTH PERMIT CENTER
 CITY OF SACRAMENTO
 PERMIT ASSISTANCE

This set of plans and specifications shall be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
 The architect or contractor shall not be held responsible for the violation of any City Ordinance or State Law.

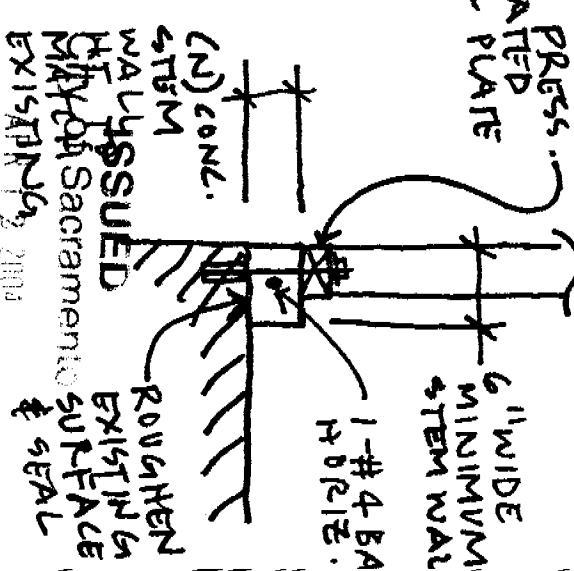
1-#4 DOWEL
 EPOXIED SOLID
 IN 5/8" ϕ x 4" DP
 HOLE IN (E) CONC.
 STEM WALL. LAP
 18" MIN. W/ #4
 BAR HORIZ. TYP.
 EA END.

(E) WALL FRAMING
 (N) WALL IN FILL FRAMING



FRONT VIEW

1/2" ϕ THREADED ROD ANCHOR
 EPOXIED SOLID IN 5/8" ϕ x 4" DP
 HOLE IN (E) CONC. SLAB/FTG -
 EXTEND 3" MIN. ABOVE TOP OF CONC.
 STEM WALL TO SERVE AS ANCHOR
 BOLT FOR 2" SILV PLATE. USE NUT
 2" SR. x 3/16" THICK PLATE WASHERS



NORTH SIDE
 CENTER VIEW

CONCRETE STEM WALL AT REMOVED INTERLOCK DRIVE

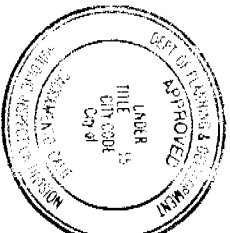
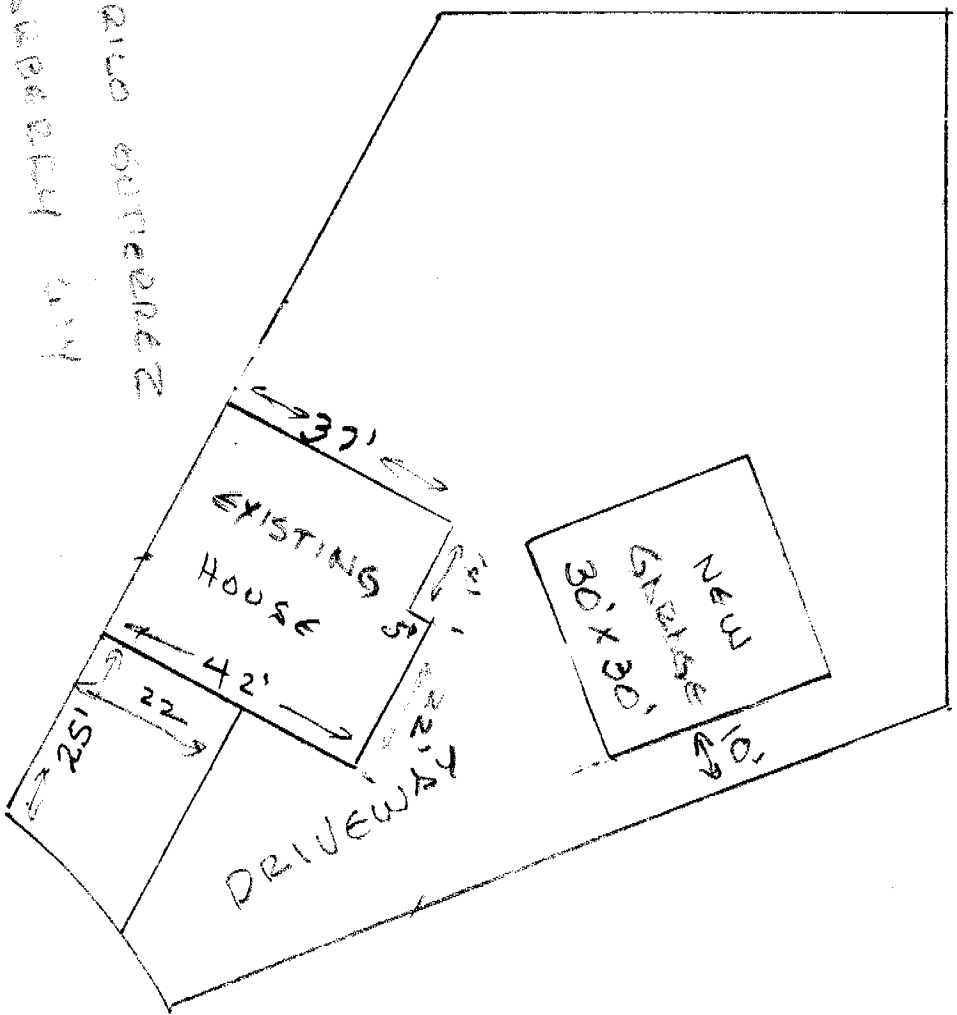
2855 CHERRY WAY
 MRS MASCIANO
 GUTIERREZ



SAINT ANTHONY'S CATHEDRAL
 10000
 2004

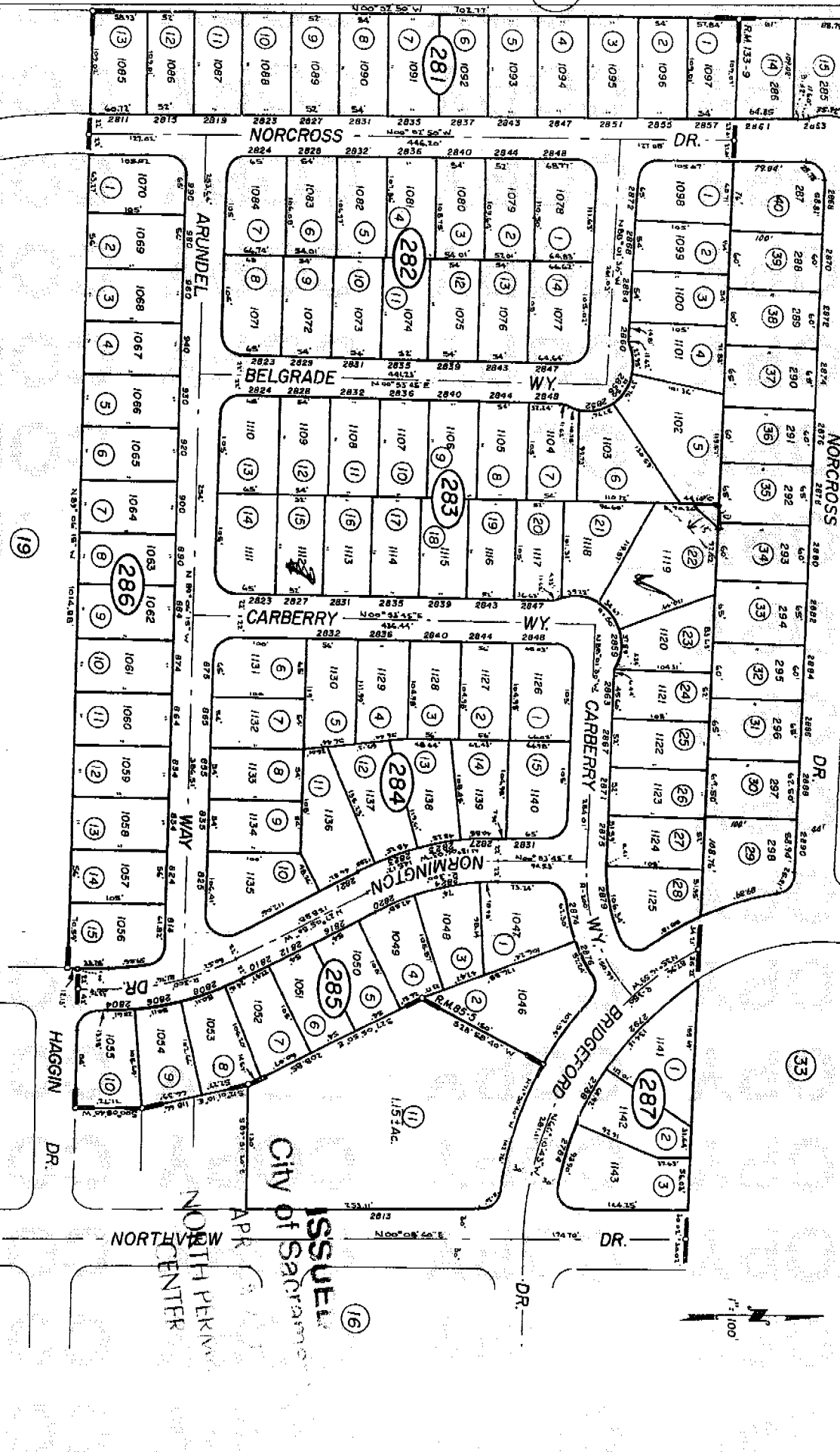
SHALL NOT be held to permit or approve the
 violation of any City Ordinance
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RUIWEN CHIAO GUTIERREZ
 2865 CHURCHILL WAY
 SACRAMENTO, CA.



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
 The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

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 City of Sacramento
 APR 12 2004
 NORTH PERMIT
 CENTER



Northgate Unit No. 9, R.M. Bk. 85 Pg. 5 (4-17-70)
 Per Woodgate Unit No. 3, R.M. Bk. 133, Pg. 9 (8-9-79)

CITY OF SACRAMENTO
 Assessor's Map Bk. 262 Pg. 28
 County of Sacramento, Calif.

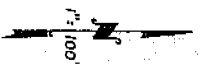
ISSUED
 City of Sacramento

Bk. 225

19

33

16





CITY OF SACRAMENTO, CALIFORNIA

BUILDING & SAFETY DIVISION 1231 I STREET, (916) 264-1965

SPECIAL PACKAGE D FOR RESIDENTIAL ADDITIONS IN CLIMATE ZONE 12

CERTIFICATE OF COMPLIANCE CF-1R ADDITION, 100 TO 999 SQUARE FEET WITH [99-SF EXEMPTIONS & REQUIREMENTS.]

Project Title Garage Conversion Date April 5 - 004

Project Address 2855 CARBERRY WAY

Total Floor Area Addition: _____ Ft² Total Glazing Area Addition: _____ Ft² Floor Area x 16% = Total allowed. (40 x 16% = 640)

REQUIREMENTS THAT APPLY TO NEW AREA FLOOR PLAN MAXIMUM GLASS ALLOWANCE FORMULA.

A. 40 Sq. Ft. B. N/A Sq. Ft. C. N/A Sq. Ft. D. N/A %

Floor Area x 16% = Total allowed. (40 x 16% = 640)

NOTE: Using package D, maximum glass allowed is 16%

Total Glass in addition Total of any removed glass (addition area) Subtract B from A; enter amount in C Divide C by floor area of addition.

Module I (R-19 Ceiling.....R-13 Wall.....R-13 Floor)

99-SF or Less	50%MaxGlazing, No Credit for removed.	0.75 -U-Value	SHGC 0.40 Minimum.	No CF-4R, No HERS Testing No Radiant Barrier required.	See, *, **, exceptions.
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Module II Standard Package-D (R-38 Ceiling.....R-13 Wall.....R-19 Floor)

100-999 SF	16% Max Glazing See A,B,C,D above	0.65- U- Value 0.75 < 500 SF	SHGC 0.40 Minimum	Radiant Barrier In Addn Only.	Duct, TXV, & HERS Test, CF-R4, AFUE.78 **New 12 SEER, Duct test req. See***
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Module III Alternate Package-D (R-38 Ceiling.....R19-2x6" Wall.. or R-13 with R4.61 Rigid in a 2x4" Wall.....R-19 Floor)

100-999 SF	16% Max Glazing See A,B,C,D above	0.40-U-Value	SHGC 0.35 Minimum	Min 11 SEER when upgraded or added. Radiant Barrier addition only. See*&**.	AFUE 0.78 min. No CF-R4 required. No Duct, TXV, & HERS Test. **New 12 SEER
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Module IV Standard Pkg-D or Computer Performance Compliance

Floor Plans in excess of 999-SF require Performance Compliance of both existing and Addition combined, achieved by an approved Computer Program or, both Existing & Addition Designed and constructed per Module II Package-D.

Both Module II & III may use existing HVAC systems when adequate and without testing the system. Should a 12 SEER be installed in either Module then No HERS/TXV tests required. See Exceptions below.

[All duct R-value 4.2 Min.] [Pre-1978 AFUE .68=OK] [* -New HVAC requires HERS Test 11 SEER Min.] [**-New 12 SEER A/C = No HERS/TXV or CF-R4] [*** No duct work, No HERS required] RB= Radiant barrier underside of roof & Gable walls, shiny side down. Duct Sealed= Ducts certified 6% leakage max. U= U-Value. TXV= Field verified by HERS rater. SEER= A/C Seasonal Energy Efficiency Ratio. SHGC= Window Solar Heat Gain Coefficient. AFUE= Annual Fuel Utilization Efficiency. [Sec **** & ***** for wall frame and vaulted ceiling requirements.]

QUESTIONARE: (By City of Sacramento Staff). FIELD VERIFY: _____ MODULE SELECTED: _____

1. What year was home built? _____
2. What is SEER rating of current Air Conditioner? _____
3. What is current Furnace AFUE ? _____
4. Will Furnace or A/C be upgraded ? Yes/No? _____
5. New water heater (> 50 gal. Exempt) ? Yes/No? _____
6. Note: No duct assembly allowed in wall cavity chases, New Furnace or HVAC requires new Setback thermostats each Zone or unit. Split zones require 2.

2001 Title 24 Residential Energy manual sec 3.1-3.8; sec 7.1-7.6 Effective July 1st, 2001. *****Requires 2x6 assembly, or 2x4 R11 & Ext rigid R4.61. Cannot apply brace panels. *****Requires 2x12 @ Vaulted areas with 1" x 6" foam channel ventilation.

NEW HEATING, COOLING, OR DOMESTIC WATER HEATING

Systems installed in conjunction with the addition must comply with the appliance standards applicable to new installations in new residences. Complete the following standards if new equipment is being installed in conjunction with the room addition: Electric resistant heat not allowed.

HVAC SYSTEMS	Minimum Efficiency (SE, SEER, HSPF)	Duct Insulation	Output (Btu)	Manufacturer/Model # (or approved equal)
<u>HVAC</u>	<u>12 SEER</u>	<u>R4.2</u>	<u>X</u>	_____
_____	_____	<u>R4.2</u>	_____	_____
_____	_____	<u>R4.2</u>	_____	_____

HOT WATER SYSTEMS	Capacity (gallons)	Manufacturer/Model# (or Approved equal)	Special Features
<u>GWS</u>	<u>40</u>	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____