



REPORT TO COUNCIL

City of Sacramento

915 I Street, Sacramento, CA 95814-2604
www. CityofSacramento.org

Staff Report
September 8, 2009

**Honorable Mayor and
Members of the City Council**

Title: Bridging Interstate 5 Project

Location/Council District: Interstate 5 between O Street and Capitol Mall.
Location Map – Exhibit A of Resolution (District 1)

Recommendation: Receive and file.

Contact: Ryan Moore, Supervising Engineer (916) 808-8279; Nicholas Theocharides, Engineering Manager (916) 808-5065

Presenters: Ryan Moore, Supervising Engineer

Department: Transportation

Division: Engineering Services

Organization No: 15001141

Description/Analysis

Issue: Staff has completed a Project Study Report for the Bridging Interstate 5 Project (T15998100) and identified a preferred alternative for further project development and implementation. The next phase of work required to move towards project implementation is Caltrans Project Approval and Environmental Documentation (PA&ED).

Policy Considerations: The action requested supports the City's Strategic Plan goals of improving and expanding public safety, enhancing livability and economic vitality.

Environmental Considerations: The PA&ED phase of work will include the preparation of environmental documentation in conformance with both the California Environmental Quality Act (CEQA) and the National Environmental Protection Act (NEPA).

Sustainability Considerations: This project is consistent with the City's Sustainability Master Plan. It conforms to the Air Quality Focus Area by improving and optimizing transportation infrastructure, and encouraging walking and bicycling.

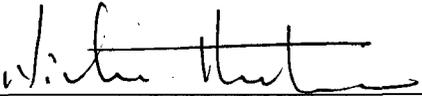
Other: None.

Commission/Committee Action: None.

Rationale for Recommendation: Not Applicable

Financial Considerations: The current project budget is \$5,332,709 consisting of Federal Demonstration, State Transportation Improvement Program, Downtown Tax Increment and local transportation funds. There are no general funds planned or allocated for this project. As of August 5, 2009, the Bridging Interstate 5 Project (T15998100) has an unobligated balance of \$653,512, which is sufficient to complete the PA&ED Phase. Currently final design, right-of-way acquisition, and construction are unfunded.

Emerging Small Business Development (ESBD): Not applicable since no goods or services are being procured.

Respectfully Submitted by: 
Nicholas Theocharides
Engineering Services Manager

Approved by: 
Jerry Way
Director of Transportation

Recommendation Approved:

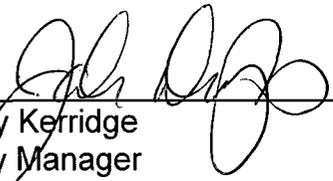

Ray Kerridge
City Manager

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Attachment 1**BACKGROUND**

When Interstate 5 (I-5) was built, the riverfront was virtually cut off from downtown, isolating the community from its historic origin and the river. The Bridging Interstate 5 Project (T15998100) has studied various alternatives to reconnect the downtown business district with the riverfront. Specific goals of the project are:

- Regain access to the river and reconnect downtown to the river.
- Create a balance of land uses.
- Create economic opportunity.
- Mitigate the environmental impacts of I-5.

In July of 2003, City Council approved a professional service agreement with a consulting team to complete a Caltrans Project Study Report (PSR) and Environmental Documentation for a project to bridge I-5. Such a project would compliment planned riverfront development (such as the Docks and the Crocker expansion). The project would also improve vehicular and pedestrian/bicycle mobility by expanding the downtown street grid across I-5.

During the course of the PSR, three alternatives surfaced as the most compatible with the stated goals of the project. Alternatives 1 and 2 include a deck structure from O Street to Capitol Mall, as well as some associated circulation improvements, such as a new vehicular connection over I-5 at N Street. Alternative 3 is a minimum alternative which includes the vehicular, pedestrian and bicycle improvements, but omits the deck.

Alternatives 1 and 2 range from \$254,000,000 to \$269,000,000 for capital costs, not including ongoing operating and maintenance costs. The generated lot size is 1.5 acres, yielding developable space of approximately 195,000 square feet. The cost to deck the freeway is estimated to cost approximately five times the commercial valuation assessed based on current downtown retail and commercial office space conditions. In consideration of this cost as well as some technical difficulties with these alternatives, staff has determined that currently there are no land uses that make the project economically viable from a development standpoint.

Alternative 3 is estimated to cost approximately \$60,000,000. This alternative has four relatively distinct components:

1. Pedestrian/bicycle improvements to the Capitol Mall Structure over I-5
2. Pedestrian improvements to the O Street Structure over I-5
3. The extension of N street over I-5 with a new multi-modal bridge
4. Raising Neasham Circle and 2nd Street to a new at-grade intersection with Capitol Mall

While all four of these components are part of Alternative 3, each carries merit as a stand alone project and could be constructed separately. Due to the multi-modal

circulation benefits and the lower cost, Alternative 3 has been identified as the preferred alternative. It is important to note that the implementation of Alternative 3 does not preclude a future project to implement decking over I-5.

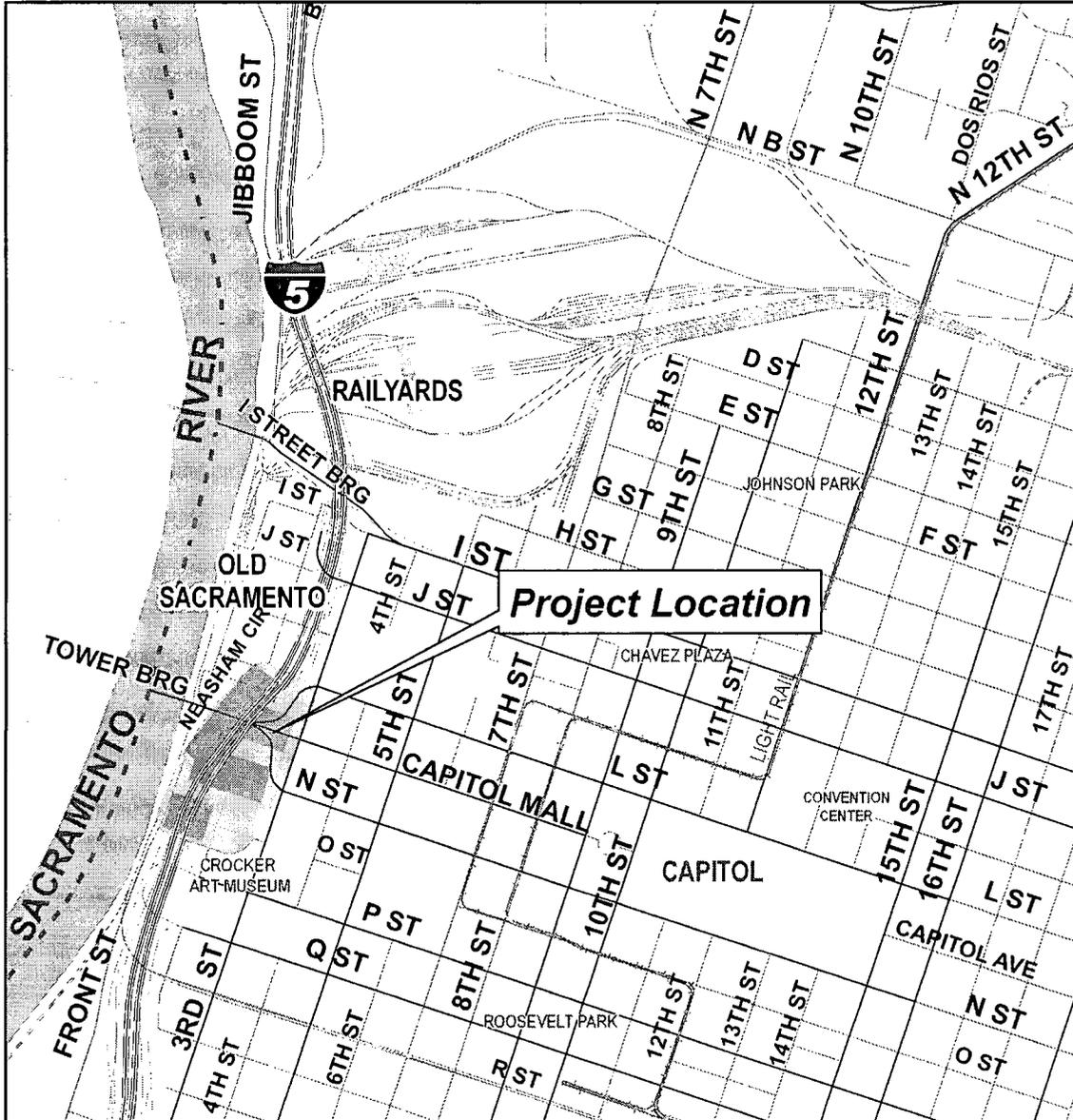
In May of 2009 Caltrans completed the final PSR review and is in the process of signing the final document, ending the first phase of work on the project. The next phase of work is the Environmental Phase, which includes the preparation of CEQA and NEPA documentation on the preferred alternative, and final Caltrans approval to construct the project. The consultant team is currently scoped to provide these deliverables and it is anticipated that the Project Approval and Environmental Documentation (PA&ED) phase will be completed by early 2011.

Once PA&ED is complete, the next phases are final design, right-of-way acquisition, and construction. Currently, no funding has been identified for these phases.

ATTACHMENT 2

Location Map for

BRIDGING INTERSTATE 5
(T15998100)



Department of
TRANSPORTATION
 City of Sacramento

Map Contact: S. Tobin
 Map Date: AUG.09

0 265 530 1,060 1,590 2,120
 Feet

