

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Tuesday February 8, 1994 the Zoning Administrator approved with conditions a Zoning Administrator's Special Permit for the construction of a second unit for the project known as Z93-104. Findings of Fact and conditions of approval for the project are listed on pages 2-4.

Project Information

Request: Zoning Administrator's Special Permit to allow a 624 square foot second residential unit on 0.22± developed acres in the Standard Single Family (R-1) zone.

Location: 321 Cleveland Avenue

Assessor's Parcel Number: 274-0141-028

Applicant:	Harris Construction	Owner:	Don Savastas
Address:	713 W. Del Paso Road Sacramento, CA. 95834	Address:	2012 Flower Street Sacramento, CA 95828

General Plan Designation: Low Density Residential (4-15 du/net acre)
South Natomas
Community Plan Designation: Residential (4-8 du/na)
Existing Land Use of Site: Vacant Duplex and Single Family Dwelling
Existing Zoning of Site: Single Family Residential (R-1)

Surrounding Land Use and Zoning:		Setbacks:	Required	Provided
North:	Single Family; R-1	Front:	25'	25'
South:	Single Family; R-1	Side(E.):	5'	5'
East:	Single Family; R-1	Side(W.):	5'	5'
West:	Single Family; R-1	Rear:	15'	15'

Parking Required: One space per unit
 Parking Provided: One car garage for main unit, one parking space for second unit
 Property Dimensions: 66'x 142.5'
 Property Area: 0.22± acres
 Square Footage of Second Unit: 624 square feet
 Height of Building: One story, 13 feet
 Exterior Building Materials: Wood siding
 Roof Materials: Composition shingles
 Topography: Flat
 Street Improvements and Utilities: Existing

Project Plans: See Exhibits A and B

Additional Information: The applicant is requesting a special permit to allow a 624 square foot second residential unit. There is an existing Housing Case for the entire site that originated in 1989. The Housing/Dangerous Buildings staff recommendation to the Housing Code Advisory and Appeals Board was demolition of all structures on the site. The Board has deferred action pending the outcome of the Zoning Administrator Hearing. The applicant has proposed to reconstruct two new single family units from the existing buildings and building pads. There is an existing four foot chain link fence in disrepair and no existing driveway. The larger proposed 1,866 square foot single family residence to the rear of the site is allowed by right in the (R-1) zone and requires no Planning Review. The smaller second unit to be located at the front of the site requires the Special Permit (non-conforming use status has lapsed).

The proposed second unit will be a single story structure that meets all residential setbacks required by the Zoning Ordinance. There will be a single car parking pad to the rear of the unit. There are several trees on the site which will be retained. Design Review staff reviewed the project and made several design recommendations which are incorporated as conditions.

Agency Comments

The proposed project has been reviewed by the City Transportation Division, Utilities Division, Engineering Development Services, and the Fire Department. The comments received have been included as conditions of approval.

The site is located in the Gardenland Residents Committee neighborhood association and the Gardenland TAC (Stanford Settlement). The proposed plans have been submitted to the neighborhood associations. Neither agency has commented on the project.

The project was also discussed with Tim Washburn of SAFCA and Bill Nagel of the Building Division. As the project is considered to be a remodel/rehabilitation of existing structures it meets the flood criteria. A flood variance is not required.

Environmental Determination:

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines (California Environmental Quality Act, Section 15302).

Conditions of Approval

1. Both units shall be served by a single water service and a single sanitary sewer service to the satisfaction of the Utilities Department.
2. The applicant shall revise the submitted plans as follows prior to the issuance of Building Permits (please contact Sandra Yope 264-7158 for review prior to submittal to the Building Division):
 - a. the proposed new roof shall use the original roof design with the ridge line parallel to the street;

- b. the front door shall have a porch element such as currently exists, or a small gable over the porch, or a small overhang over the door with decorative corbels;
 - c. horizontal lap siding shall be used on the side and front elevations;
 - d. all the windows on the front and side elevations shall be grid windows;
 - e. the shingles shall be minimum 20 year composition shingles in a color that coordinates with the exterior house color scheme;
 - f. the windows on the front elevation shall have shutters and a decorative sill or planter box to provide accents;
 - g. no mechanical equipment shall be located on the roof and shall be adequately screened from the street;
 - h. the driveway shall be reduced in width from twelve to ten feet from the street to the turn;
 - i. the parking space shall be reduced in width from twelve to ten feet;
 - j. the front door shall have a panel design;
 - k. the existing chain link fence in the front yard shall be removed or replaced with a three foot wooden (picket) fence or chain link with vines;
 - l. the existing grass in the front shall be replaced and landscaping to include shrubbery shall be located along the driveway and along the walkway from the parking pad to the house entrance; and
 - m. the east/west walkway from the driveway to the house shall be removed.
3. The applicant shall obtain all necessary building permits prior to commencing construction.

Findings of Fact

- 1. The proposed project, as conditioned, is based upon sound principles of land use in that:
 - a. the proposed second unit currently exists in a state of disrepair;
 - b. the site is in a designated infill area; and
 - c. the proposed unit will not substantially alter the characteristics of the site or the surrounding neighborhood.
- 2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
 - a. the second unit will be compatible in design with the other existing properties in the neighborhood;

- b. there will be adequate setbacks, landscaping, and parking; and
 - c. the existing condemned structure will be reconstructed to meet all Building Code and Zoning Ordinance requirements.
3. The project is consistent with the General Plan and the South Natomas Community Plan which designate the subject site as Low Density Residential (4-15 du/na) and Residential (4-8 du/na) respectively.

Joy D. Patterson

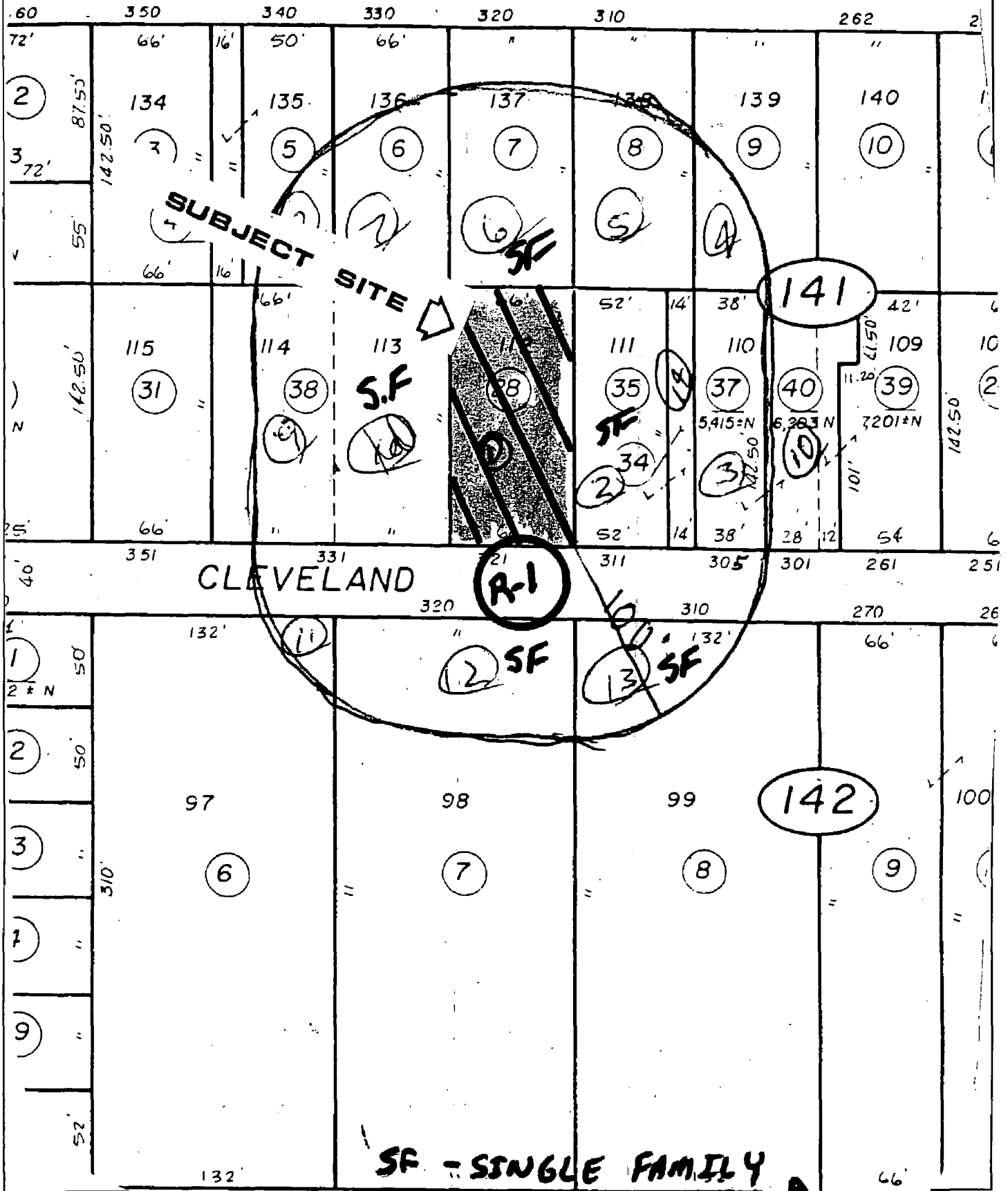
Joy D. Patterson
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File
Applicant
ZA Log Book
Building Division: Bill Nagel
Todd Hamilton

WEST EL CAMINO



LAND USE & ZONING MAP

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