

# CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Lukensbill Enterprises, 3600 Power Inn Road, Sacramento, CA 95826		
OWNER	Lukensbill Enterprises, 3600 Power Inn Road, Sacramento, CA 95826		
PLANS BY	TDK Architects, 1545 River Park Dr., Sacramento CA		
FILING DATE	7-16-87	ENVIR. DET.	Ex 15301e
ASSESSOR'S-PCL. NO.	006-266-13.15		
REPORT BY	JP:tc		

- APPLICATION:
- A. Variance to allow nine tandem parking spaces for a 2,500± sq. ft. addition to a 41,052 sq. ft. office building.
  - B. Variance to locate an additional 15 required parking spaces off site in an existing 24 space parking lot.

LOCATION: 1700 - 9th Street

PROPOSAL: The applicant is requesting the necessary entitlements to add 2,500 square feet of commercial space to an existing 41,052 square foot office building.

PROJECT INFORMATION:

1974 General Plan Designation:	Commercial/Office
1980 Central City Community Plan Designation:	Heavy Commercial
Existing Zoning of Site:	C-4
Existing Land Use of Site:	Office Building

Surrounding Land Use and Zoning:

North: Bateson State Office Building; R-5  
South: Warehouse; C-4  
East : Multiple Family; R-3A  
West : Parking; M-1

Parking Required:	109 spaces
Parking Ratio Required:	1: 400 (Office and Retail)
Parking Provided:	86 spaces on site (including 9 tandem), 24 off site
Property Dimensions:	120' x 160' (building) 40' x 320' (parking lot)
Property Area:	0.7± acre total
Square Footage of Building:	Existing Building: 41,052 sq. ft. Proposed Addition: 2,500 sq. ft.
	Total: <u>43,552 sq. ft.</u>

BACKGROUND INFORMATION: On January 24, 1985, the Planning Commission approved a Special Permit to construct a 42,500± sq. ft. office building on the subject site and a Special Permit to waive nine parking spaces per the parking reduction ordinance (P85-017). The applicant subsequently determined that the parking reduction program was infeasible at that time and requested a variance to locate

the nine required parking spaces in an parking lot to be located in the railroad right-of-way adjacent to the office building (P85-368). The variance to locate the nine parking spaces off site was approved by the Planning Commission on October 10, 1985. Building permits for the project were obtained and a 41,052+ square foot office building was constructed on the subject site. A 24 space parking lot was developed in the adjacent railroad right-of-way.

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Existing Land Use and Zoning

The subject site consists of two parcels. A 41,052+ square foot office building with 95 parking spaces is located on the 0.4+ acre lot on the southwest corner of 9th and Q Streets. Parking for the office is located at a sub-ground level and the first floor level of the building. To the south of the building, a 24 space parking lot is located on a portion of the railroad right-of-way. Surrounding land uses are a State office building to the north, warehouse to the south, condominiums to the east and a parking lot to the west. The site is designated for heavy commercial uses by the 1980 Central City Plan.

B. Applicant's Proposal

The applicant proposes to add 2,500 square feet of commercial space to the existing office building. This would be accomplished by removing parking spaces on the ground level and adding the building square footage (Exhibit B). The increase in square footage requires that a total of 109 parking spaces be provided. The applicant is requesting a variance to restripe the existing parking garage to allow nine tandem parking spaces and a variance to utilize the entire 24 space off site parking lot to meet the parking requirement for the office/commercial building.

C. Commercial Square Footage Addition

Planning Staff has no objection to the addition of commercial square footage to the office building as long as the commercial uses are those which serve the surrounding office building and residential uses and do not draw their clients from outside the surrounding neighborhood. By limiting the commercial uses to those that serve the adjacent area, additional traffic will not be drawn into the neighborhood and retail uses that may otherwise locate in the C-3 zone would not be drawn to this area. Planning staff has developed a list of 16 retail commercial uses that would be permitted in the proposed addition. The applicant has reviewed this list and has indicated to staff that they have no objections to limiting the square footage addition to the building to these commercial uses.

D. Parking

A condition of approval of the previous off site parking variance request was that the applicant enter into a lease agreement with the owner of the adjacent property where the nine off site spaces were to be located (P85-368). The applicant entered into a lease agreement with the property owner which expires on May 31, 1990 and constructed a 24 space parking lot on the property. The applicant also entered into an agreement with the City to either extend the lease for an additional five years or acquire the site for parking prior to expiration of the original land lease. If the applicant does not purchase the land on which the off-site parking is located or acquire other off site parking within the 10 year lease period, a second condition of approval for the existing variance requires that the applicant comply with a parking reduction program. Planning staff finds that these previous conditions of approval will provide a guarantee that the additional 15 off site parking spaces are available for the adjacent office/commercial building use.

The applicant proposes to provide nine tandem parking spaces in the existing parking garage to meet the remainder of the required parking for the commercial square footage addition. Planning staff has no objection to locating tandem spaces in the garage as long as the tandem spaces and the spaces whose maneuvering areas are effected by the tandem spaces (18 parking spaces total) are assigned and clearly marked as assigned spaces.

ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15301e1).

RECOMMENDATION: Staff recommends the Commission take the following actions:

- A. Approve the variance to allow nine tandem parking spaces, subject to conditions and based upon findings of fact which follow; and
- B. Approve the variance to locate an additional 15 required parking spaces off site subject to conditions and based upon findings of fact which follow.

Conditions

1. The entire 24 space off site parking lot shall be used as required parking for the 43,552 square foot office/commercial building. The applicant presently has a five year lease for the 24 space parking lot site which expires May 31, 1990. The applicant shall:
  - a. extend the land lease an additional five years prior to expiration of this original land lease, or
  - b. acquire the site on which the 24 space parking lot is located for parking prior to expiration of the original land lease.

Proof of extension of the lease or acquisition of the property shall be placed on file with the Planning division on or before June 1, 1990.

2. The applicant shall enter into an agreement indicating that the 24 parking spaces are for the exclusive use of the building located at 1700 9th Street. This agreement shall be recorded with the County Recorder prior to issuance of building permits for the addition and shall run with the land.
3. If the subject 24 space parking lot is not purchased by the applicant by May 31, 1995, the applicant shall extend the lease to this property subject to the review and approval of the Planning Director. If the lease to the parking lot cannot be extended the applicant shall obtain other off-site parking subject to Planning Commission review and approval.
4. The 2,500 square foot addition to the existing 41,052 square foot office building shall be limited to the following uses:
  - a. Bakery
  - b. Deli
  - c. Mini Mart
  - d. Restaurant/Cafe
  - e. Candy Store/Ice Cream Parlor
  - f. Drug Store/Pharmacy
  - g. Laundromat
  - h. Beauty/Barber Shop
  - i. Dry Cleaner
  - j. Bank/Savings and Loan
  - k. Copy Shop
  - l. Gift Shop
  - m. Book Store/Magazine Store/Newsstand
  - n. Florist
  - o. Art Gallery/Frame Shop
  - p. Shoe Repair

Office uses are not permitted in this 2,500 square foot area.

5. The 18 parking spaces effected by the tandem parking shall be assigned spaces and clearly marked as assigned parking spaces subject to Planning Director review and approval prior to final approval of the 2,500 sq. ft. building addition.

Findings of Fact

1. Granting the variance requests does not constitute a special privilege extended to one property owner in that:
  - a. the off site parking lot site is unsuitable for other purposes.
  - b. the tandem parking spaces will be assigned and will not interfere with the maneuvering area of other parking spaces.
2. Granting the variance requests do not constitute a use variance in that parking lots are allowed in the C-4 zone.
3. The proposed project will not be injurious to the public welfare nor to surrounding properties in that adequate parking for the office/commercial building will be provided.
4. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for Heavy Commercial use by the 1980 Central City Plan and the proposed office/commercial use conforms with the plan designation.

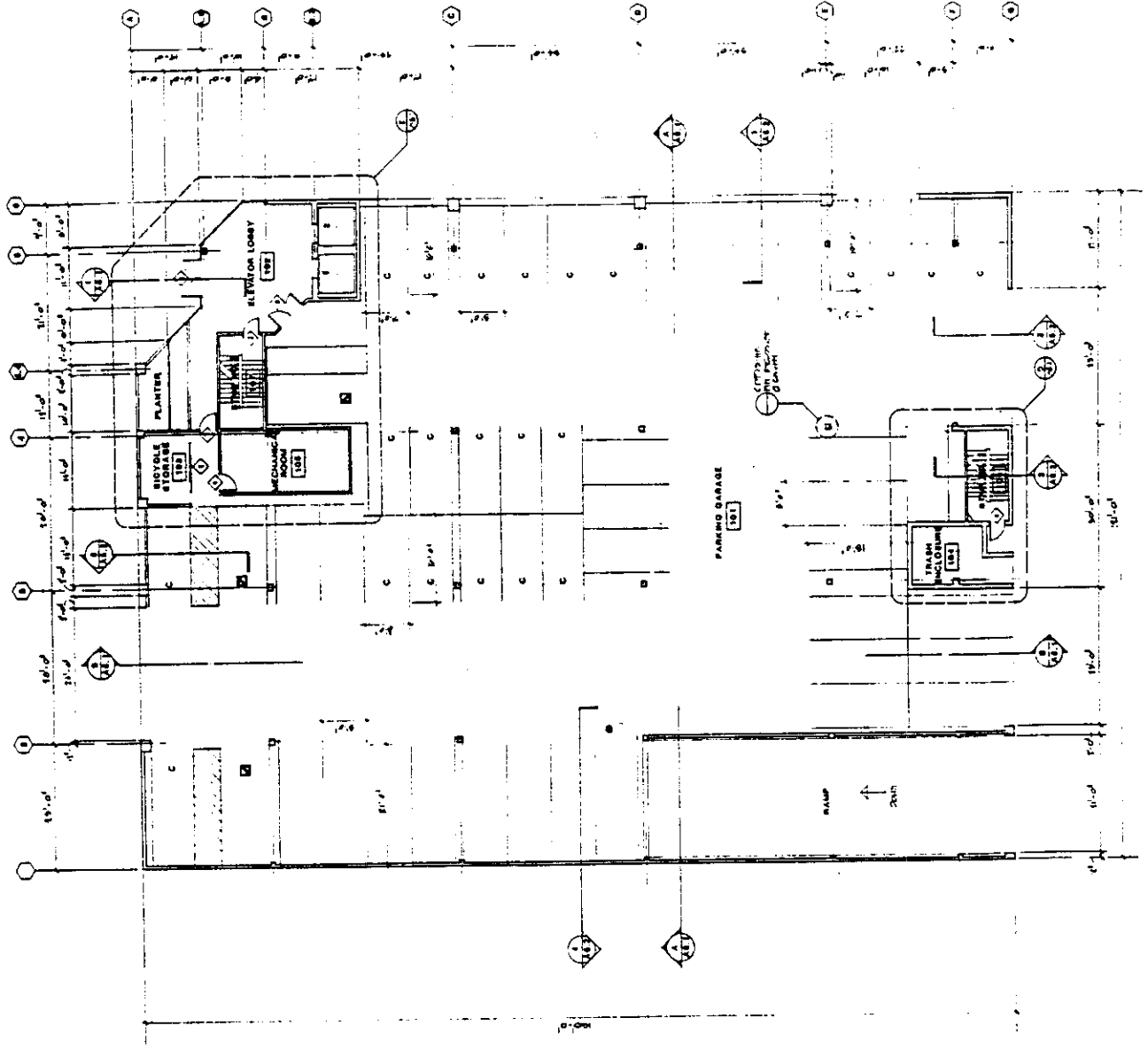


TDK N 11/17/87

# EXHIBIT A

## Existing 1st Floor

**FLOOR PLAN**  
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN



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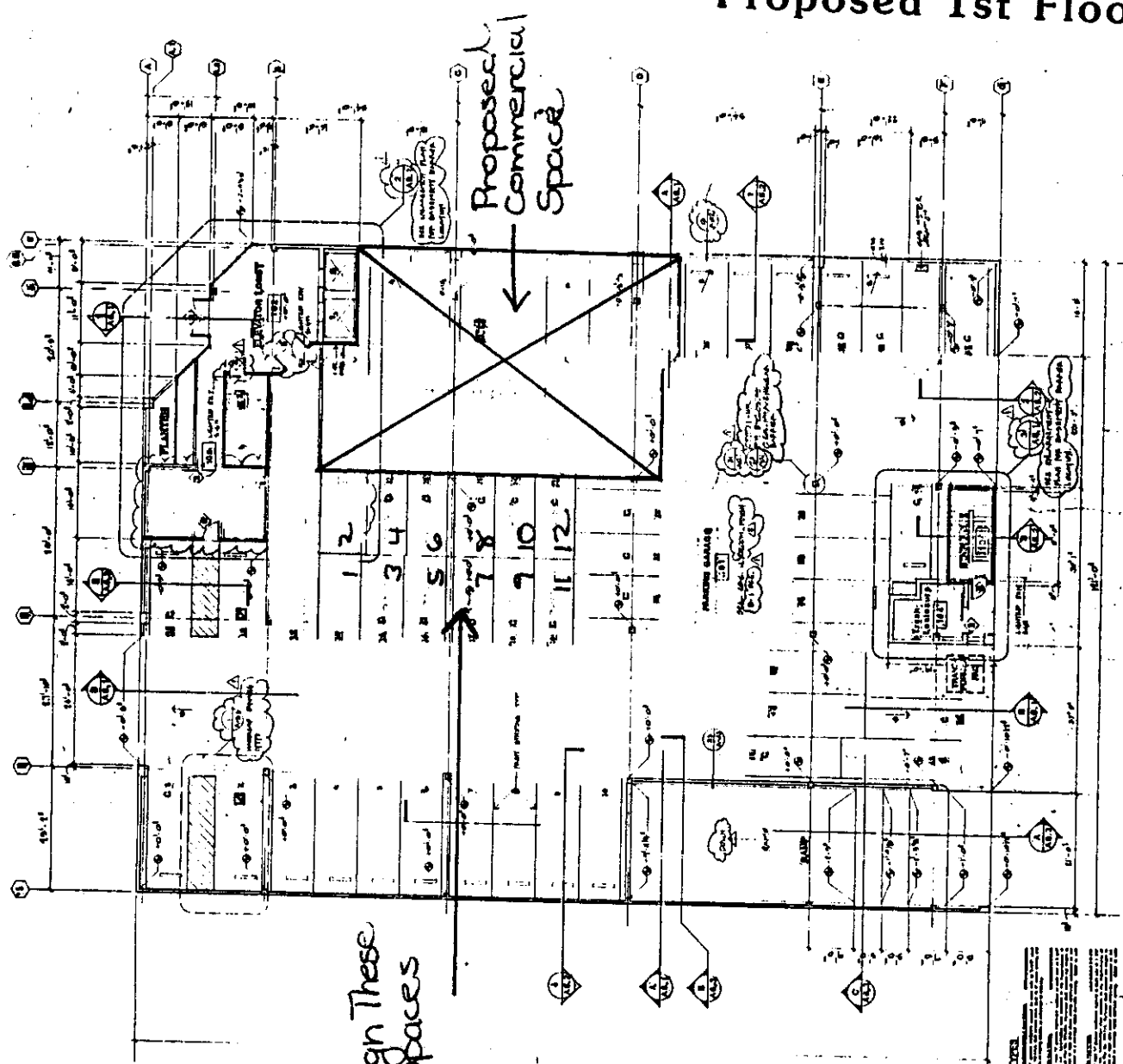
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**EXHIBIT B**

**Proposed 1st Floor**

**FLOOR PLAN**

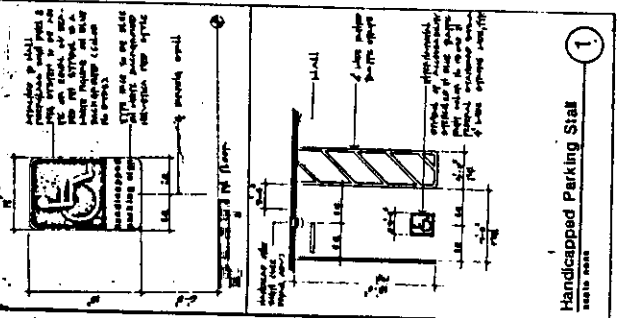


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FIRST FLOOR PLAN

**WALL TYPES**

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Handicapped Parking Stall  
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# EXHIBIT C

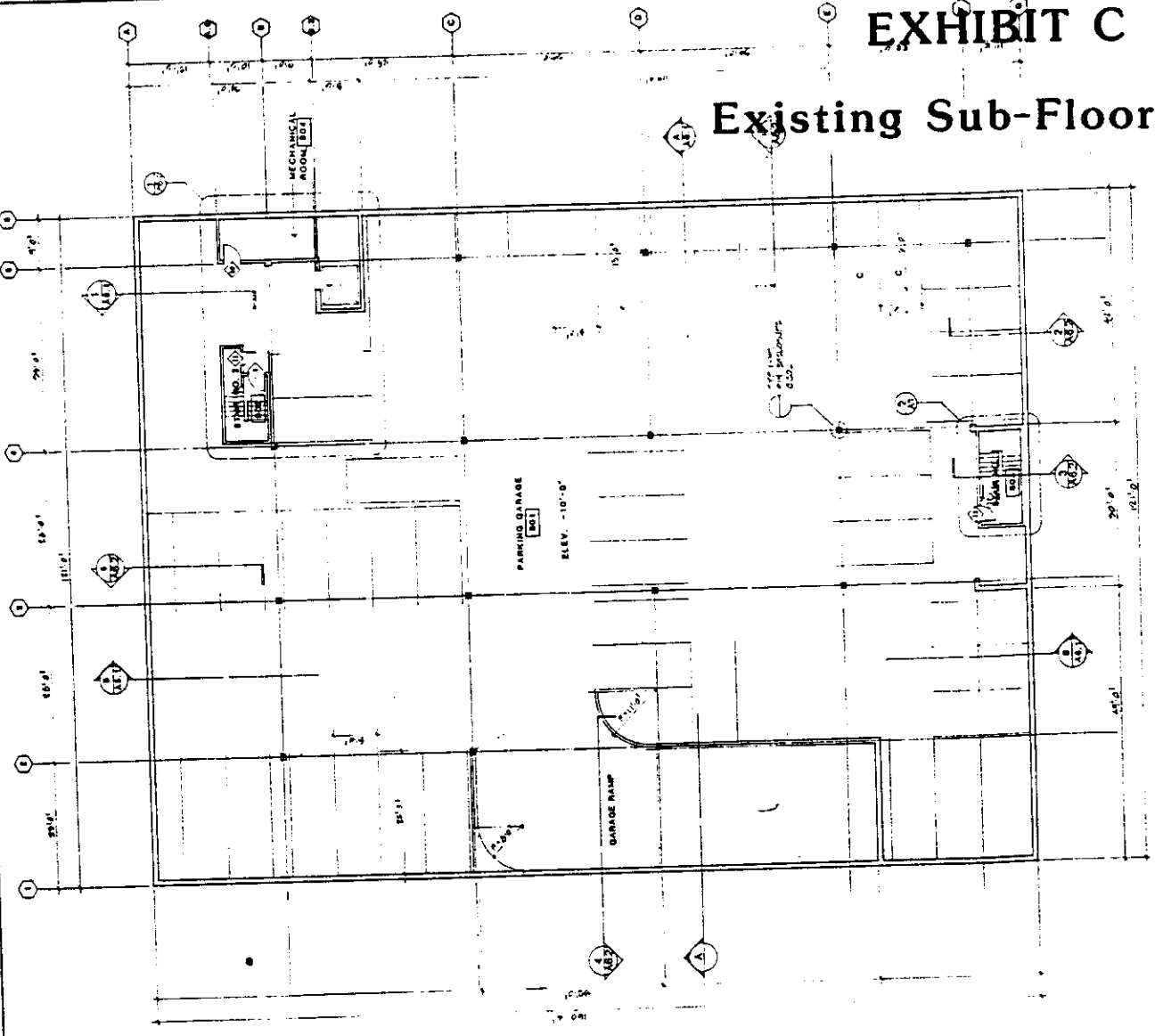
## Existing Sub-Floor

### FLOOR PLAN

### SUB LEVEL FLOOR PLAN



SCALE 1/8" = 1'-0"

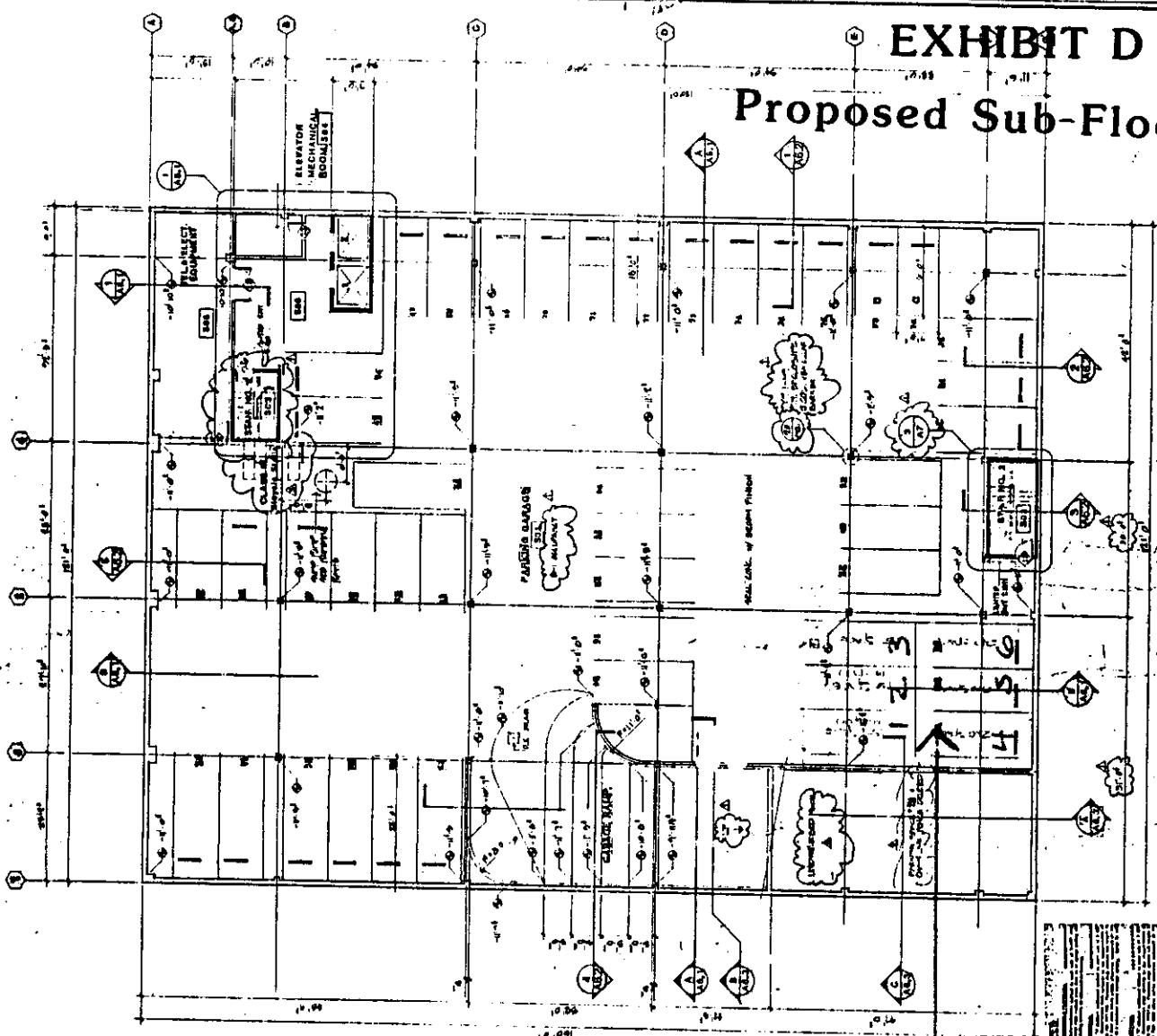


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**EXHIBIT D**  
**Proposed Sub-Floor**



**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

SUB LEVEL FLOOR PLAN

Assign  
 These 6 Spaces

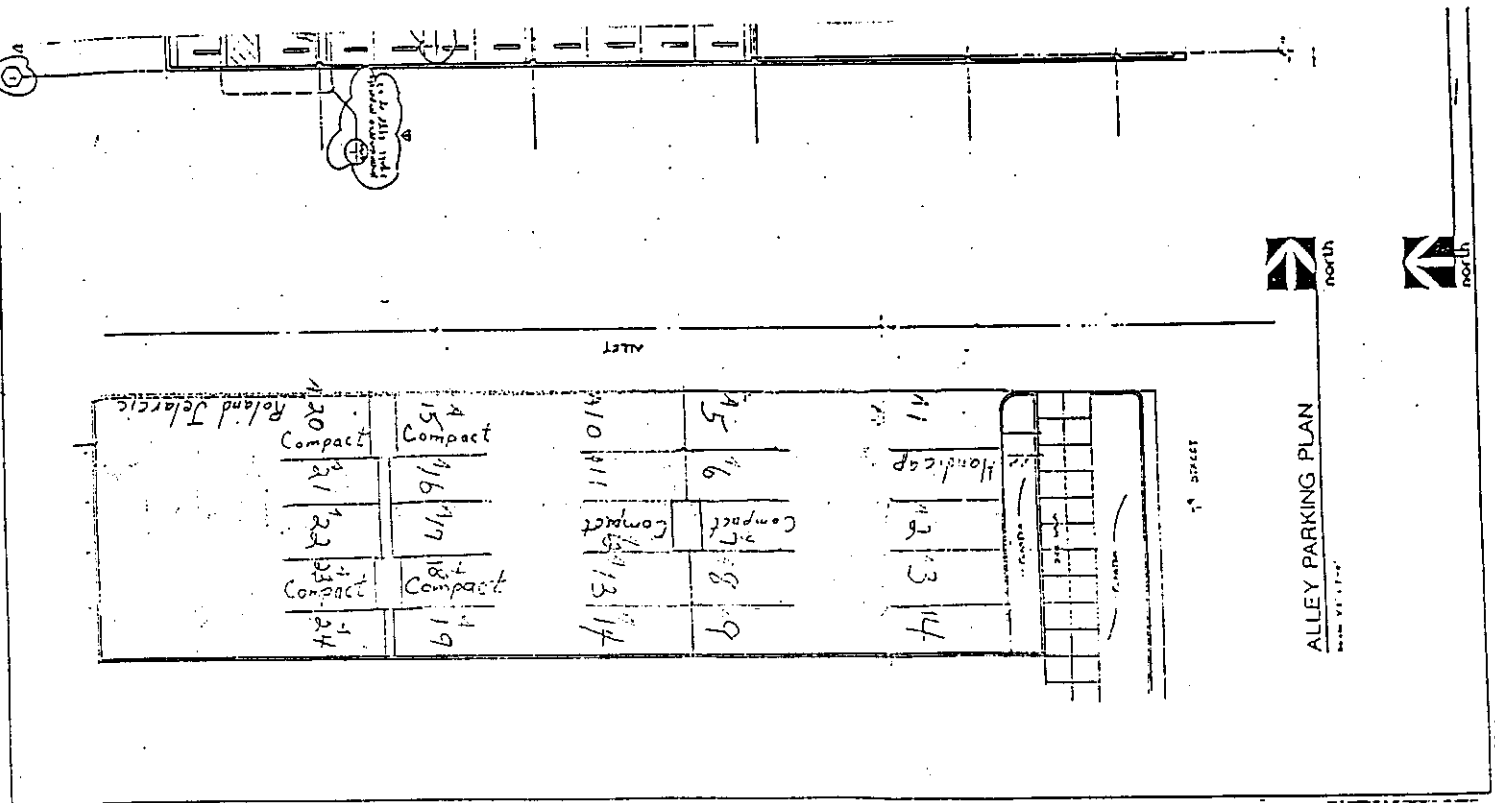
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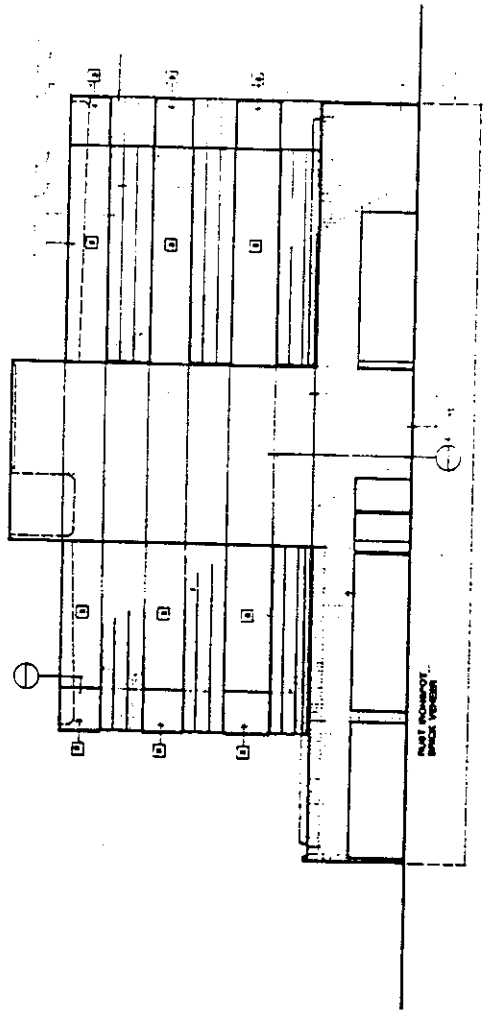
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# EXHIBIT E

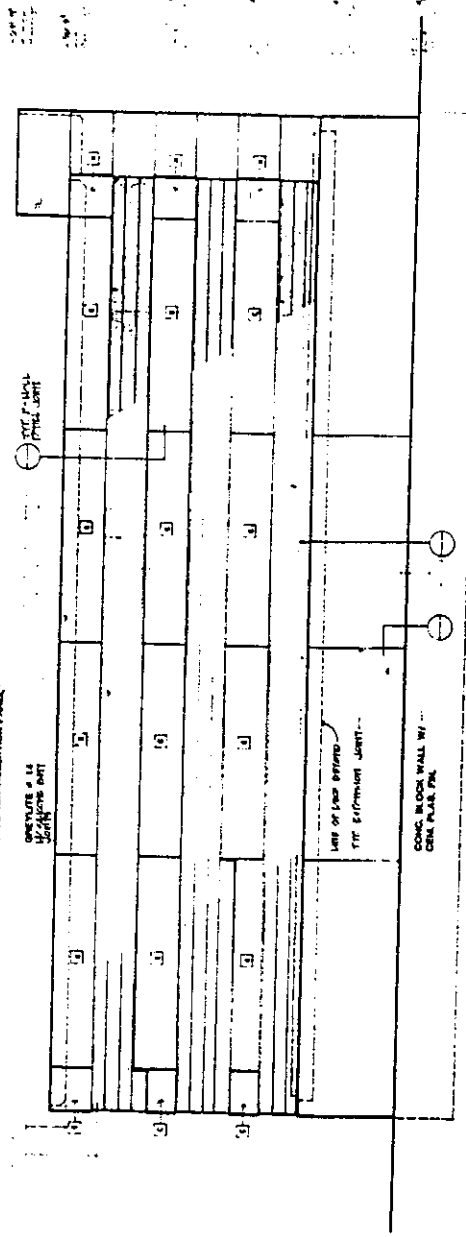
## Off Site Parking Lot



# EXHIBIT F Elevations



South Elevation



West Elevation

**ELEVATIONS**  
 scale: 1/8" = 1'-0"

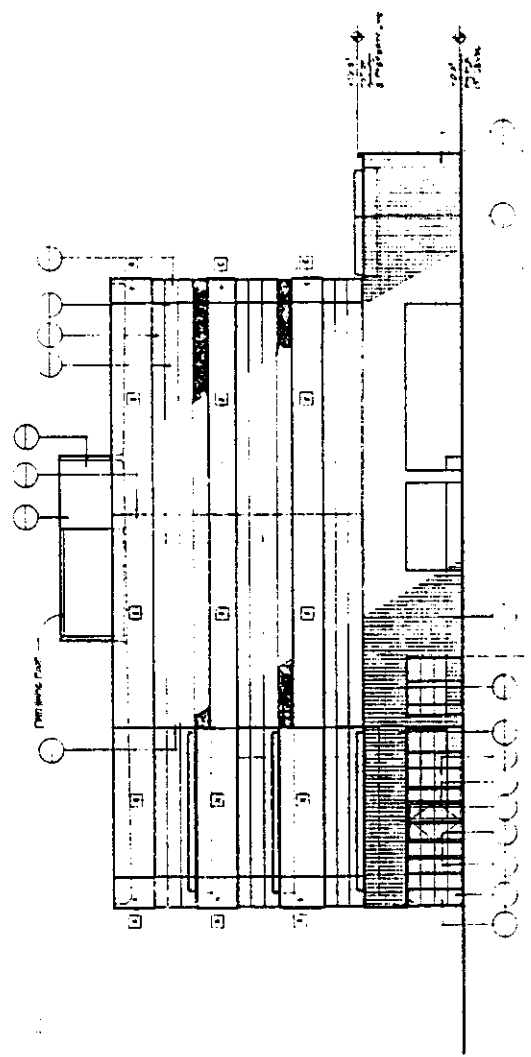
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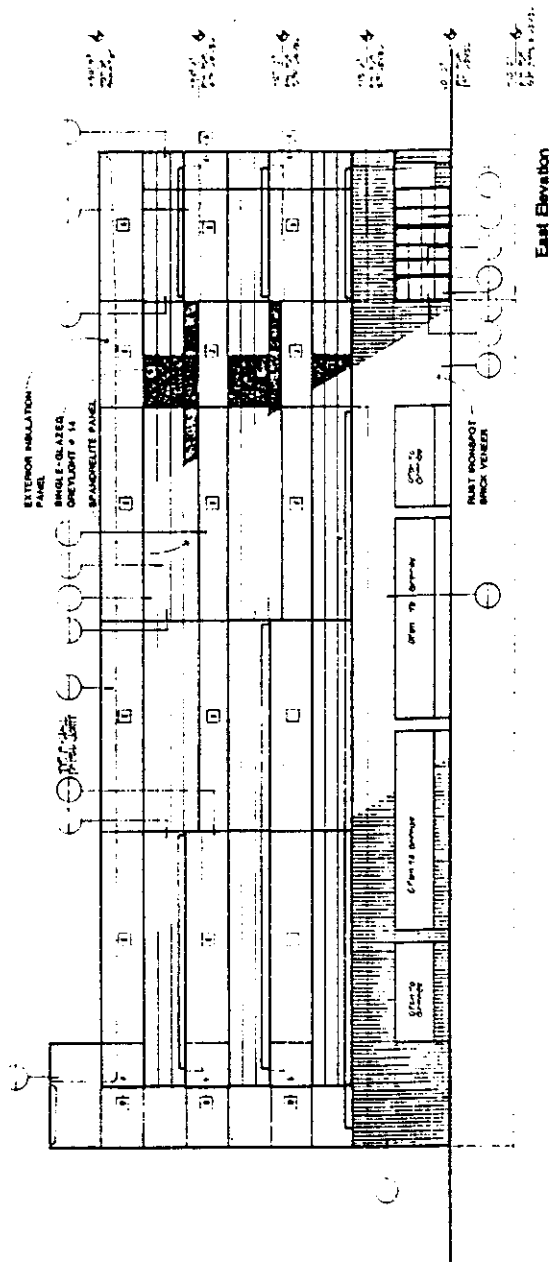
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# EXHIBIT G

## Elevations



North Elevation



East Elevation

**R-WALL PANEL SCHEDULE**

NO.	DESCRIPTION	FINISH	THICKNESS	FIN WITH
1	EXTERIOR INSULATION PANEL	1/2"	2 1/2"	1/2"
2	SINGLE-GLAZED WINDOW # 14	1/2"	1/2"	1/2"
3	SPANDRELITE PANEL	1/2"	1/2"	1/2"
4	BRICK VENEER	1/2"	1/2"	1/2"
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# ELEVATIONS

Scale: 1/8" = 1'-0"

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