

# CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b>	LOREN MOORE - 1387 Garden Hwy. Sacramento, CA 95833		
<b>OWNER</b>	DENNIS FRYE , 4233 Winding Woods Way, Fair Oaks, CA 95628/Benson & Sedar		
<b>PLANS BY</b>	APPLICANT	11151 Sun Center Drive	Rancho Cordova, CA 95670
<b>FILING DATE</b>	1/9/87	<b>ENVIR. DET.</b>	EX 15061 b1
<b>ASSESSOR'S-PCL. NO.</b>	031-0450-040,069		
		<b>REPORT BY</b>	JP/vf

- APPLICATION:
- A. Plan Review for a 30 unit apartment complex in the Garden Apartment-Review (R-2B-R) zone.
  - B. Lot Line Adjustment to merge two lots.

LOCATION: West side of Gloria Drive, 155+ feet south of Rivergate Way.

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 30 unit apartment complex with 49 parking spaces.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1976 South Pocket Community Plan Designation:	Low density multiple family
Existing Zoning of Site:	R-2B-R
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Building Setbacks:	Required	Provided
North: Vacant, Apartments (under construction) R-2B-R	Front:	25 ft.	25 ft.
South: Single Family; R-1	Side :	5 ft.	10 ft.
East : Apartments; R-2B-R	Rear :	15 ft.	17 ft.
West : Single Family; R-1			

Parking Required:	47 spaces
Parking Provided:	49 spaces
Property Dimensions:	Irregular
Property Area:	1.4+ acres
Density of Development:	21.4 d.u. per acre
Square Footage of Units:	952 square feet
Height of Building:	24 feet
Topography:	Flat
Street Improvements:	Existing
Utilities:	Available
Exterior Building Materials:	Wood, masonite
Roof Material:	Composition Shingle
Exterior Building Colors:	Grey and Blue

Project Evaluation: Staff has the following comments regarding this proposal:

A. Land Use and Zoning:

The subject site consists of two vacant lots totaling 1.4± acres in the Garden Apartment-Review (R-2B-R) zone. Surrounding land uses are single family residential to the south and west, an apartment complex to the east and vacant land designated for apartment use and an apartment complex under construction to the north. The site is designated for low density multiple family by the 1976 South Pocket Community Plan. The applicant proposes to construct a 30 unit apartment complex on the subject site. The proposed project is compatible with existing densities in the area and the community plan land use designation for the site.

B. Site Plan:

The applicant has designed the project so the proposed two story apartment buildings are located as far as possible from the adjacent single family residences. The closest two-story structure is 22 feet from a single family residential property line and a one-story storage building is 17 feet from a single family residential property line. Along the north property line, a 10 foot building setback is provided adjacent to the future apartment use. Staff finds the proposed building setbacks to be adequate. Staff recommends that all trash enclosures and pool equipment structures be setback a minimum of 15 feet from all property lines to provide a noise buffer for adjacent residences.

In order to provide an increased building setback from adjacent single family residences, a portion of the parking lots and driveway have been located adjacent to the south and west property lines. A minimum six foot high solid masonry wall will be required along the property line between the parking lot, driveway and adjacent single family residences. The applicant has also provided a six foot wide planter along the south and west property lines in order to plant trees to provide a noise and visual buffer between the apartments and the single family homes. Staff finds that the required wall and landscaping will provide an adequate buffer between the two uses.

A 25 foot setback is provided adjacent to Gloria Drive. Staff recommends that this area be landscaped with four foot high undulating berms with lawn and trees.

C. Building Design:

Four, two-story building clusters are proposed consisting of three eight-unit clusters and one six-unit cluster. Proposed building materials are grey tongue and groove wood siding, grey wood trim, blue metal windows, blue steel pipe railing and a blue-grey composition shingle roof. Each unit is proposed to be two bedroom/two-bath, with fireplace, utility room and private patio.

Overall, staff finds the proposed units to be attractively designed and compatible with the surrounding neighborhood. Staff does recommend, however, that the first and second floor patios be screened with a solid wall for security and aesthetic purposes. Staff also recommends that trees be planted adjacent to the end elevations to add visual interest to these otherwise solid walls.

The applicant also proposes a one-story manager's office and one-story storage building. Elevations for these buildings should be submitted for staff review and approval prior to issuance of building permits.

The applicant has indicated that they intend to provide covered parking spaces. Staff recommends that a minimum of 30-parking spaces be covered and carport elevations be submitted for staff review and approval.

D. Lot Line Adjustment:

The applicant proposes to merge the two existing lots into one in order to build the apartment complex. The proposed adjustment has been reviewed by the City Real Estate, Engineering and Planning Divisions. There were no objections to the merger.

ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review pursuant to State EIR Guidelines. (CEQA Section 15061 b1)

RECOMMENDATION: Staff recommends the following actions:

1. Approve the Plan Review for a 30 unit apartment complex subject to conditions and based upon Findings of Fact which follow; and
2. Approve the Lot Line Adjustment by adopting the attached resolution.

Conditions/Plan Review:

- a. A revised site plan indicating the relocation of trash enclosures and pool equipment structures setback minimum of 15 feet from all property lines shall be submitted for staff review and approval prior to issuance of building permits.
- b. A revised landscape shading and irrigation plan shall be submitted for staff review and approval prior to issuance of building permits. The landscape plan shall include the following:
  1. a minimum six foot wide landscaped strip between the south and west property lines and the driveway/parking lot area. This area shall be planted with minimum 15 gallon Evergreen trees and shrubs;
  2. trees shall be planted at the ends of all two-story units;
  3. a minimum four foot high undulating berm landscaped with trees and shrubs in the 25 foot front landscaped setback.
- c. A minimum six foot high, decorative, solid masonry, wall shall be provided along the south and west property lines adjacent to the driveway and parking stalls. The wall design and materials shall be subject to Planning Director review and approval prior to issuance of building permits. The design and materials of any other fences proposed along the north and west property lines shall be subject to Planning Staff review and approval.
- d. Revised elevations indicating screened patio areas shall be submitted for Planning Staff review and approval prior to issuance of building permits.
- e. Elevations for the one-story manager's office, one-story storage building and the carport structures shall be submitted for Planning Staff review and approval prior to issuance of building permits.

- f. a minimum of 30 parking spaces shall be covered.
- g. The roofing material shall be a heavy butt composition shingle or equivalent material and subject to Planning Staff review and approval prior to issuance of building permits.
- h. The project shall follow the attached multiple family residential design criteria.

Findings of Fact:

1. The project, as conditioned, is based upon sound principles of land use in that:
  - a. adequate setbacks and a masonry wall along the parking lot are provided between the proposed apartments and existing single family uses; and
  - b. adequate landscaping is provided.
2. The project will not be injurious to the public health, safety or welfare, or result in the creation of a nuisance in that;
  - a. the project is compatible with the residential character of the neighborhood;
  - b. the project is compatible with existing and approved densities in the area; and
  - c. adequate on-site parking is provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for low density multiple family use by the 1976 South Pocket Community Plan and the proposed apartment use conforms with the plan designation.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION ON DATE OF

FEBRUARY 12, 1987

APPROVING A LOT LINE ADJUSTMENT TO MERGE LOT A OF PARKVIEW ESTATES UNIT NO. 1 AND LOT A OF PLAT OF ZEPHYR RANCH UNIT NO 2. (APN: 031-0450-040,069)

(B7-047)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located on the west side of Gloria Drive, 155 feet south of Rivergate way; and

WHEREAS, the lot line adjustment is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15061 b1); and

WHEREAS, the lot line adjustment is consistent with the 1974 General Plan and 1976 South Pocket Community Plan; the proposed project is found to be consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for Low Density Multiple Family use by the 1976 South Pocket and the proposed apartment use conforms with the Plan Designation;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line adjustment for property located on the west side of Gloria Drive, 155 feet south of Rivergate Way, City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto, subject to the following conditions:

1. Provide new legal description

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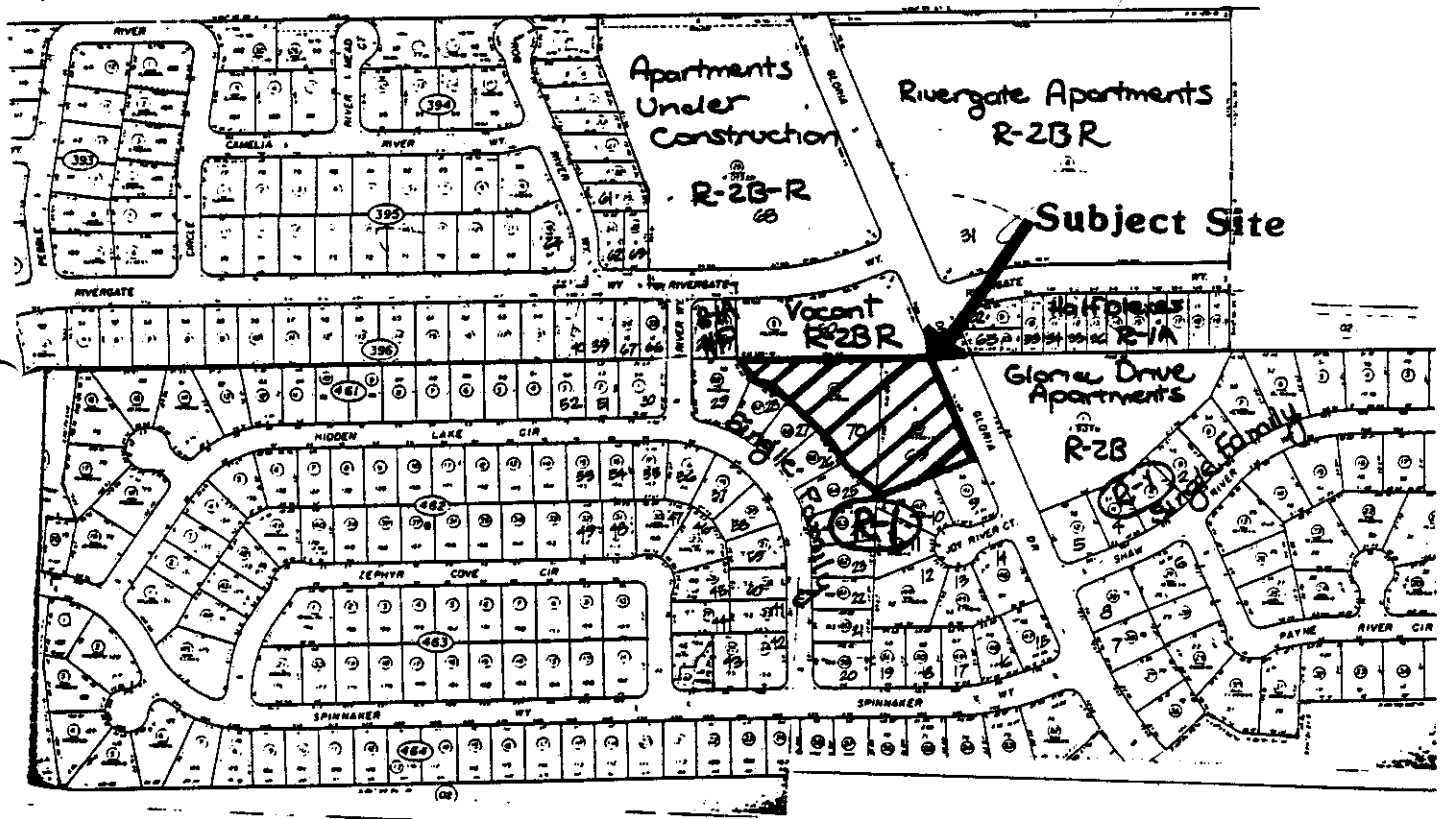
CHAIR

ATTEST:

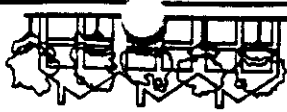
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SECRETARY TO CITY PLANNING COMMISSION



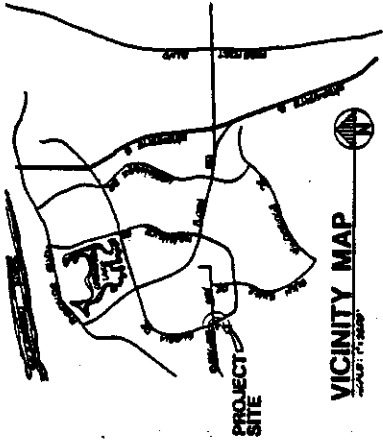
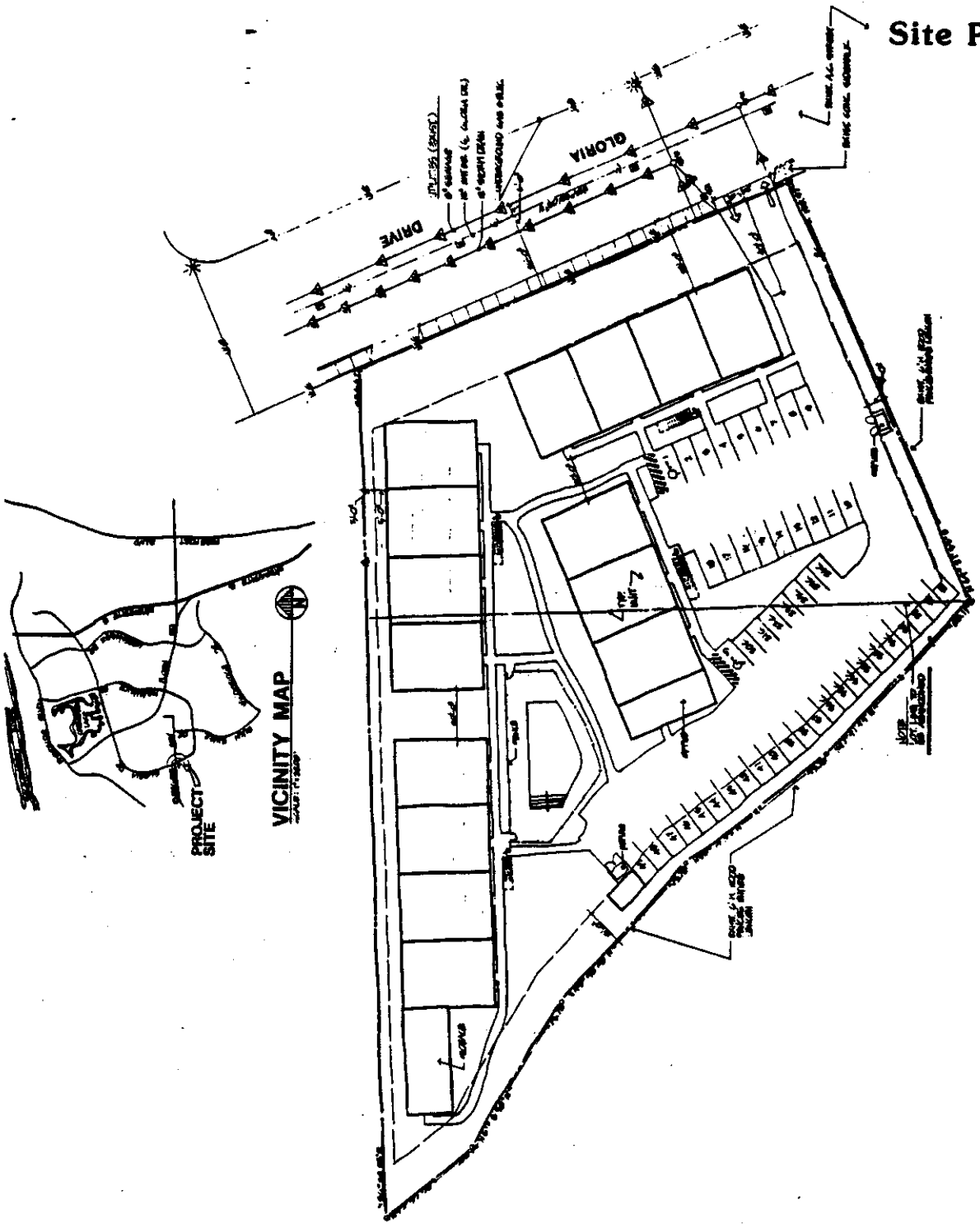


# LAND USE & ZONING MAP



# EXHIBIT A

## Site Plan



SITE PLAN



## EXHIBIT B

The land referred to in this Report is described as follows:

In the State of California, County of Sacramento, and being:

LOT A, AS SHOWN ON THE "PLAT OF ZEPHYR RANCH UNIT NO. 2", RECORDED IN BOOK 126 OF MAPS, MAP NO. 18, RECORDS OF SAID COUNTY.

The land referred to herein is described as follows:

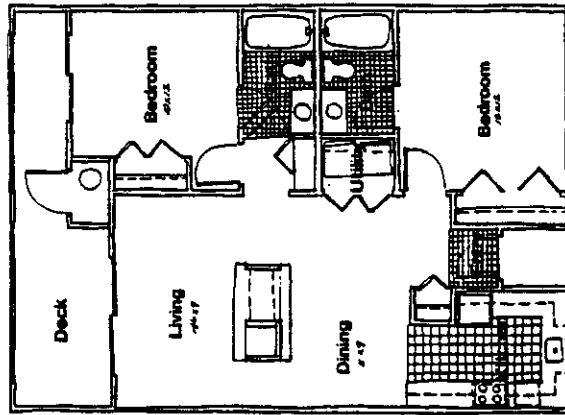
All that certain real property situate, lying and being in the City of Sacramento, County of Sacramento, State of California, described as follows:

Lot A, as shown on the "Plat of Parkview Estates Unit No. 1", filed in the office of the County Recorder of Sacramento County, California in Book 126 of Maps, Map No. 17.

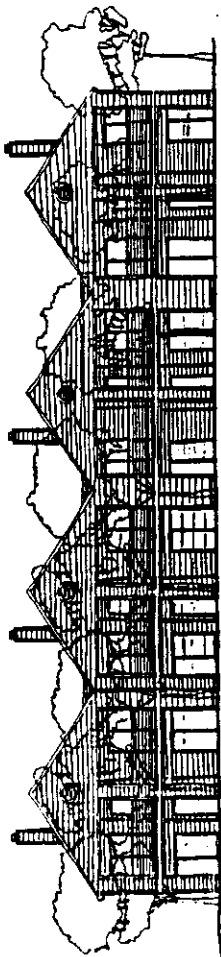
EXCEPTING THEREFROM all minerals, oil, gas and other hydrocarbon substances within or underlying said land below a depth of 500 feet from the surface of said land, together with a perpetual sub-surface right of ingress and egress for the purpose of prospecting, exploring, mining, extracting and producing said substances, but excluding therefrom all right in and to the surface of said land down to a depth of 500 feet measured vertically from the surface of said land; 50% being reserved by Gus C. Gianulias and Julie Gianulias, his wife; 25% being reserved by John B. Evrigenis and Sophia Evrigenis, his wife, in deed recorded October 4, 1979, in Book 7910-04, of Official Records, page 492, Sacramento County.



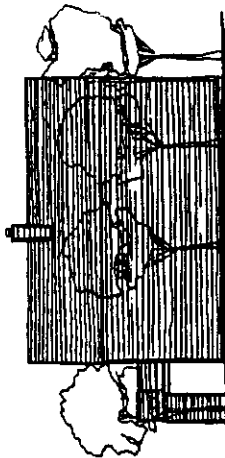
EXHIBIT C  
 Floor Plan & Elevations



FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



EAST ELEVATION (BEST SQUARE)  
 SCALE: 1/8" = 1'-0"

MATERIALS  
 COMPOSITION SHINGLES - BLUE GRAY  
 T&G WOOD SINGLS - STAINED GRAY  
 WOOD TRIM - STAINED GRAY  
 METAL - BRASS - BLUE  
 STEEL TIE RODS - BLUE



SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"

P87-047

2-12-87

Item 19

MULTIFAMILY RESIDENTIAL DESIGN CRITERIA

EXHIBIT D

A. GENERAL BUILDING DESIGN AND ORIENTATION

1. Multi-family buildings adjacent to public streets shall be designed and oriented to minimize the likelihood of on-street parking by project residents. Examples of acceptable design and building orientation are:
  - minimize location of main entry doors of units facing the public street
  - orient ends of building toward public street
  - break up long buildings containing many units into smaller building clusters or incorporate a breezeway through midsection of a long building which provides closer access to off-street parking area for residents
  - locate off-street parking areas between the public street and building (off-street parking area to be located and screened behind bermed landscape setback area - Section B-4).
2. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
3. Buildings shall be designed and oriented to reduce overview of private backyards and patio areas of on-site and adjacent developments and windows from second story units.
4. Accessory structures shall be compatible in design and materials with main building.
5. Communal facilities shall be centrally located.
6. Recreational facilities shall be located and/or designed so as not to create a nuisance to surrounding units or to impact adjacent properties. Sufficient setbacks, landscaping and berming between recreation facilities and surrounding units shall be provided to minimize noise and visual conflicts.
7. Solar heating and cooling of units shall be achieved to the maximum extent possible.
8. Site planning shall take into account optimum solar orientation of structures.
9. Site planning shall minimize the incidences of one building shading another.
10. Private outdoor or garden areas shall be oriented to the south as much as possible.
11. Roofing materials shall be medium wood shake or shingle, or equivalent aluminum, concrete, tile, or other imitation shakes, subject to Planning Director approval.
12. The location of second story end unit windows shall be varied to provide variety in exterior unit detailing and designed in such a way as to reduce the incidence of overview into private first floor open space areas.

B. OFF STREET PARKING DESIGN CRITERIA

1. Off-street parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly) of which a minimum 1:1 shall be covered parking. Six foot decorative masonry walls are required on interior property lines between parking lot areas and existing or proposed residential development. The design and materials used for covered parking structures shall be compatible to the main building structures.
2. For the convenience of tenants and guests, and to encourage the use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.
3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.
4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Surface parking areas and carport roofing shall be screened from second story units by trees or lattice and trellis work.
6. The project shall comply with the 50% shading of surfaced areas requirement of the Zoning Ordinance.
7. Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
8. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
9. There shall be a ratio of at least one tree for every five parking spaces planted throughout or adjacent to open and covered parking areas. Rows of parking stalls, either open or covered, shall be broken up by a tree planting approximately every 10 spaces.
10. The parking stall depth shall be reduced by two feet.
  - a. The two feet gained shall be incorporated into adjacent landscaping or walkways.
  - b. For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
11. The more efficient 90 degree parking arrangement shall be utilized when possible, so as to minimize parking lot size.
12. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.

C. ON-SITE CIRCULATION

1. Minimum pedestrian/vehicle conflict should be sought in driveway/ walkway system design.

2. A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors. An auto turnout lane shall be provided adjacent to directory map to eliminate blocking of driveway entrance.
3. Walkway location shall assure convenient access between parking and dwelling units.
4. Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface textures.
6. Walkway connections between buildings and street sidewalks are discouraged if they encourage on-street parking by residents.

#### D. BICYCLE STORAGE

1. One bicycle parking facility is required for every ten (10) off-street parking spaces required, excluding developments which provide individual enclosed garages.
2. Fifty percent (50%) of the required bicycle parking facilities shall be Class I. The remaining facilities may be Class I, Class II or Class III.
3. Bicycle racks and lockers shall be provided throughout the development.

#### E. LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
  - a. Compatible with one another and with existing material on the adjacent site.
  - b. Complimentary to building design and architectural theme.
  - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
2. Landscape treatment shall include:
  - a. The major treatment for all setback areas shall be lawn and trees. At least 75% of the ground cover treatment within landscaped areas within the entire project shall be lawn. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc., may result in erosion or other problems.
  - b. Larger specimens of shrubs and trees along the site periphery, particularly along setback areas adjacent to public streets.
  - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide

adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.

- d. Consistency with energy conservation efforts.
  - e. Trees located so as to screen parking areas and private first floor areas and windows from second story units.
  - f. Undulating landscaped berms located along street frontage and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.
  - g. Deciduous trees shall be utilized along the south and west facing building walls to allow solar access during the winter.
  - h. For crime deterrent reasons, shrubs planted below first floor windows should be of a variety which has thorns and/or prickly leaves.
  - i. Large growing street trees (preferably deciduous) shall be planted within the landscape setback areas adjacent to all public streets as a means of reducing outdoor surface temperatures during summer months and to provide a visual buffer between the units and public street.
3. Landscaping of parking areas is discussed in Section B.

#### F. TRASH ENCLOSURES

1. The walls of the trash enclosure structure shall be constructed of solid masonry material with decorative exterior surface finish compatible to the main residential structures. Split face concrete block finish is recommended. Brick or tile veneer exterior finish should be avoided.
2. The trash enclosure structure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when in the open position.
3. The trash enclosure facility shall be designed to allow walk-in access by tenants without having to open the main enclosure gates.
4. The walls shall be a minimum six feet in height, more if necessary for adequate screening.
5. The perimeter of the trash enclosure structure shall be planted with landscaping, including a combination of shrubs and/or climbing evergreen vines.
6. A concrete apron shall be constructed either in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The

location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at point of dumpster pickup.

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10' or width of enclosure facility; length 20'. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technicians (Plan Checker).

Paving material shall consist of 5" aggregate base rock and 6" portland cement paving.

7. The enclosures shall be adequate in capacity, number, and distribution.

G. SIGNAGE

All signage shall comply with the City Sign Ordinance, Section 3.61.

H. PERSONAL SAFETY DESIGN CRITERIA

Ordinance No. 84-056 relating to personal safety building code requirements has been adopted by the City Council on June 19, 1984. This ordinance applies to all residential building project including apartments and condominiums.

The building code requirements relate to: minimum outdoor lighting standards, addressing and project identification, door locking standards, etc.

A copy of this ordinance may be obtained from the City Building Inspections Division.