

# CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b>	Zack Arbios - 8401 Jackson Road, Sacramento, CA 95826		
<b>OWNER</b>	Buzz Oates Enterprises - 8401 Jackson Road, Sacramento, CA 95826		
<b>PLANS BY</b>	Leo McGlade & Assoc. - 3417 Arden Way, Suite A, Sacramento, CA 95825		
<b>FILING DATE</b>	5-23-86	<b>ENVIR. DET.</b>	Neq. Dec. 6-16-86
<b>ASSESSOR'S-PCL. NO.</b>	035-091-01, 02, 03, 04, 11; 035-101-04		
<b>REPORT BY</b>	CV:sg		

- APPLICATION:**
- A. Negative Declaration
  - B. Plan Review for a 130,890+ square foot warehouse and 32,110+ square foot office
  - C. Lot Line Adjustment (withdrawn by staff)

**LOCATION:** The area bounded by Blair Avenue, Southern Pacific Railroad tracks, Belleau Wood Lane and 48th Avenue.

**PROPOSAL:** The applicant is requesting the necessary entitlements to develop six warehouse/office buildings.

**PROJECT INFORMATION:**

1974 General Plan Designation: Industrial  
 1984 Airport-Meadowview Community  
 Plan Designation: Industrial  
 Existing Zoning of Site: M-1-R(EA-4) Overlay Zone  
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Bldg.	Required	Provided
North: Vacant, industrial; M-1	Front:	A	25'	105'+
South: Vacant; M-1-R		B	25'	25'+
East: Vacant, industrial; M-1-R		C	25'	25'+
West: Southern Pacific Railroad tracks; R-1		D	25'	25'+
		E	25'	95'+
		F	25'	90'+

Parking Required: 210 spaces  
 Parking Provided: 241 spaces  
 Property Dimensions: Irregular  
 Property Area: 8.5+ acres  
 Square Footage of Building: A - 19,200, B - 19,200, C - 19,200, D - 19,200, E - 57,600, F - 28,600  
 Height of Building: 18'+  
 Topography: Flat  
 Street Improvements: Existing  
 Utilities: Existing  
 Exterior Building Materials: Concrete, brick veneer  
 Roof Material: Built-up roof with mineral cap

**BACKGROUND:** On June 25, 1985 the City Council approved a post subdivision modification to add six lots to previously approved tentative map (APN: 035-191-10; 035-101-04) (P85-187). Six of the total eight lots resulting from these actions comprised the subject site for P86-217.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site is a vacant 8.5± acre parcel and is zoned M-1-R. Surrounding land uses include vacant and industrial to the north, south and east and railroad tracks to the west. The subject site is located in the Executive Airport Overlay Zone Four (EA-4) which permits warehouse and office development.

B. Proposed Site Plan

The applicant proposes to construct a total of six warehouse buildings which will include office use. Plans submitted by the applicant indicate a total of 130,890 square feet of proposed warehouse and 32,110 square feet of proposed office use.

The proposed facility will have street frontage on Blair Avenue, Belleau Wood Lane and along a portion of 47th and 48th Avenues. Proposed landscaped setback areas along Blair Avenue include a 12.5 foot setback for building F, a 25 foot setback for building A, and 25 foot landscaped setbacks are proposed for buildings B, C and D. A five to 10 foot landscaped area is proposed for building E along 47th Avenue cul-de-sac and two five foot landscaped planters are also proposed along a portion of 48th Avenue cul-de-sac.

The tree shading ordinance requires that 50% of the parking area shall be shaded. The applicant has not submitted detailed landscaping plans. These plans will need to be submitted to determine compliance with the Tree Shading Ordinance.

Staff notes a total of four signs proposed for the project. The applicant has not submitted detailed plans for these signs. These signs will require sign permits.

C. Proposed Building Design

Staff has no objections to the proposed building elevations for buildings B, C and D. The building elevations proposed for building A indicate an exposed aggregate finish. Staff recommends a thin brick veneer, as shown on the east elevation for buildings B and D, be added to the north, south, east and west elevations of building A. The proposed elevations for building E include only an exposed aggregate finish. Staff recommends a brick veneer band, as shown on the east elevation for buildings B and D, be added to the north, south and east elevations for building E. The proposed elevations for building F indicate only exposed aggregate finish. Staff recommends that a brick veneer band, as shown on the east elevation for buildings B and D, be added to the north, south and west elevations for building F.

D. Transportation Management Plan (TMP)

The Trip Reduction Ordinance requires that any proposed development expecting 200 or more employees shall be required to develop a trip designed to meet

the goals of the City's Trip Reduction Ordinance. According to staff's original calculations based upon plans submitted by the applicant, including information submitted in the environmental questionnaire, staff determined there would be more than 200 employees.

The applicant has submitted a letter (see exhibit A) indicating the proposed project will actually have less than 200 employees and, therefore, qualifies as a minor project. The Trip Reduction Ordinance allows the applicant to submit information indicating the actual number of full-time workers who will occupy the development. Staff has no problems in allowing this project to be classed as a minor project, provided less than 200 employees occupy the six proposed buildings.

E. Landscaping

To improve the appearance of the warehouse complex and screen parking areas, staff suggests that undulating mounds with trees be installed in the 25 foot wide planting strips.

- F. This project was reviewed by the City Traffic Engineering, Engineering, Fire, and Community Services, and the following comment was received:

Traffic Engineering

No comment, provided there are less than a total of 200 employees for the six proposed warehouse/office buildings. If 200 or more employees, then a Transportation Management Plan (TMP) will be required.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has reviewed the project and determined it will not have a significant adverse impact on the environment, and has filed a negative declaration.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the negative declaration; and
- B. Approve the R-review, based upon the conditions and findings of fact which follow.

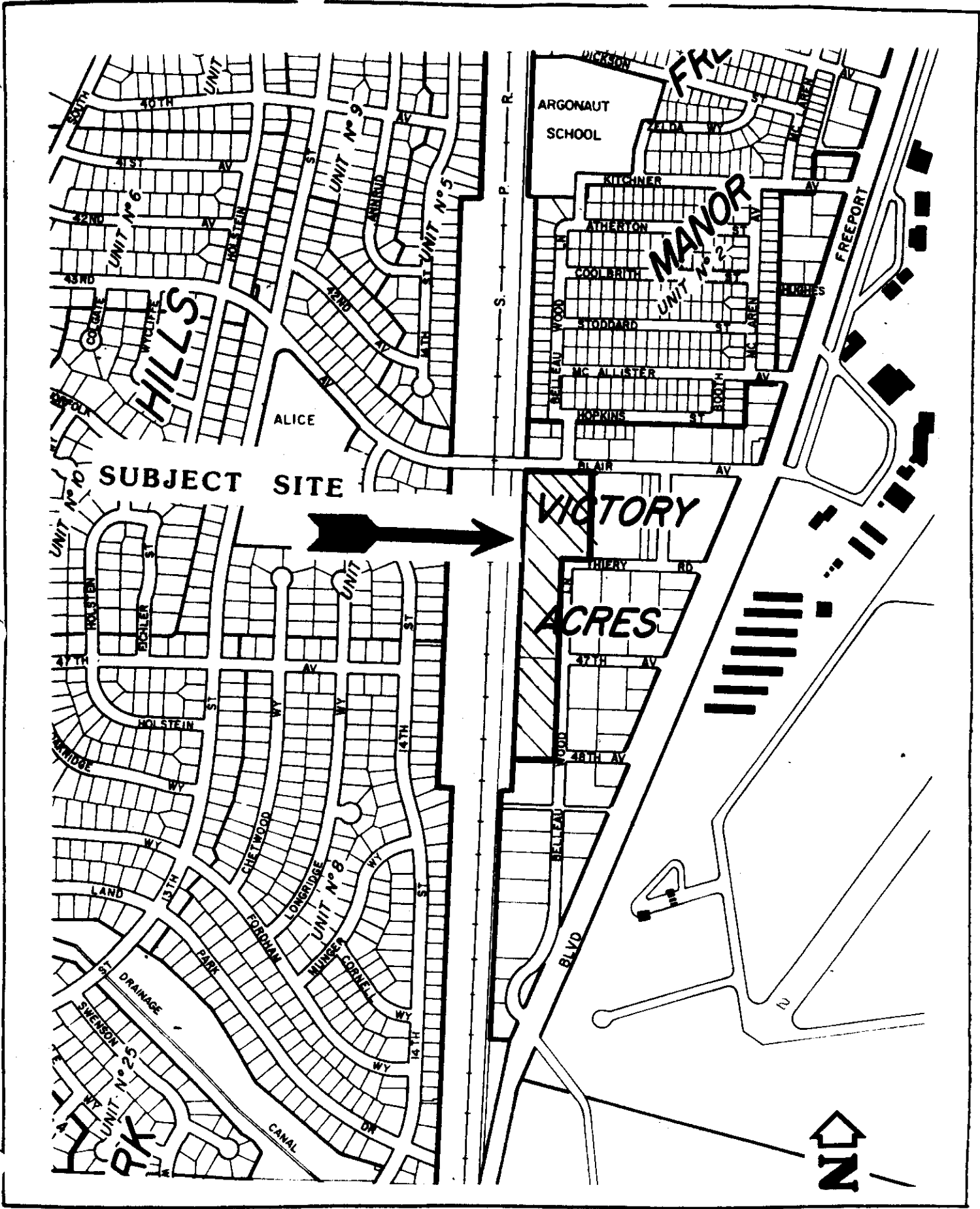
Conditions - R-Review

1. Landscaped setback areas shall be 25 feet for buildings A, B, C and D, as proposed. Landscaped setback areas for building F shall be 12.5 feet, as proposed.
2. The applicant shall install three foot high undulating mounds with trees in the 25 foot setback areas.
3. Plans shall be submitted to the Planning staff to determine compliance with the tree shading ordinance.
4. The proposed signage shall comply with the City Sign Ordinance.

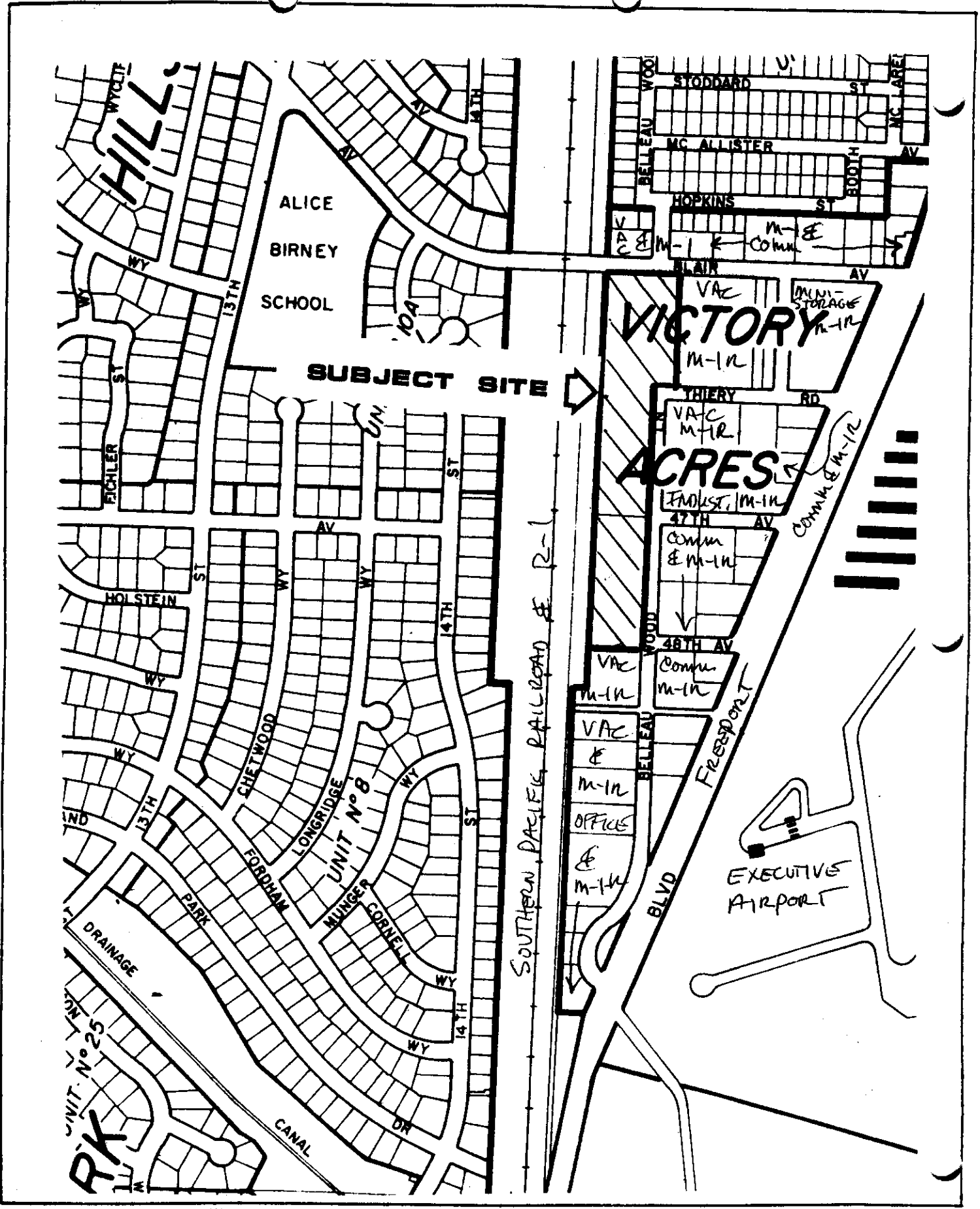
5. A thin brick veneer band, as shown on the east elevation for buildings B and D, shall be added:
  - a. to the north, south, east and west elevations of building A;
  - b. to the north, south and east elevations of building E; and
  - c. to the north, south and west elevations for building F.

Findings of Fact - R-Review

1. The project, as conditioned, is based upon sound principles of land use in that:
  - a. the proposed plan is compatible with the Airport-Meadowview Community Plan for development in the M-1-R zone in the Jensen Field area;
  - b. the design of the warehouse/office buildings and landscaping will be compatible with surrounding development; and
  - c. adequate parking will be provided on-site.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare nor result in the creation of a nuisance in that the site provides an adequate area for warehouse/office development which is compatible with uses permitted in the EA-4 and M-1-R zones.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for industrial use by the 1984 Airport-Meadowview Plan, and the proposed warehouse/office use conforms with the plan designation.



**VICINITY MAP**



**LAND USE & ZONING MAP**

**Buzz  
Oates  
Enterprises**

8401 JACKSON ROAD  
PO BOX 19038  
SACRAMENTO, CALIFORNIA 95819  
• 916 • 381-3600

Chuck Taylor  
City of Sacramento  
Traffic Engineering section  
Sacramento CA 95814

6-10-86

Dear Mr. Taylor,

This letter is regarding the application for review of our projects located on Belleau Wood Dr. in the South City. It would appear from the first contact with you that the project falls under the standards for "major project" within the trip reduction ordinance. The basis for this reasoning would be that the utilization of space for the project is based on 20% office and 80% warehouse use. It is our contention that these numbers have been generated by us in order to comply with the parking ordinance and maintain an acceptable level of parking and are not representative of our usual leasing practice. In fact our usual leasing practice leads us to expect an impact which is in the range of 5% office or less

Utilizing these numbers as follows, the total square footage of the combined structures will be 163,000 square feet. If the office space is figured at 5% [greater than the historical amount of offices] the space dedicated to office will be 8,150 square feet and therefore the amount dedicated to warehouse would be 154,850 square feet. Utilizing the Zoning Code the full time occupancy rate of the project would be;

$8,150 \times .0035 = 28.53$  occupants in offices.

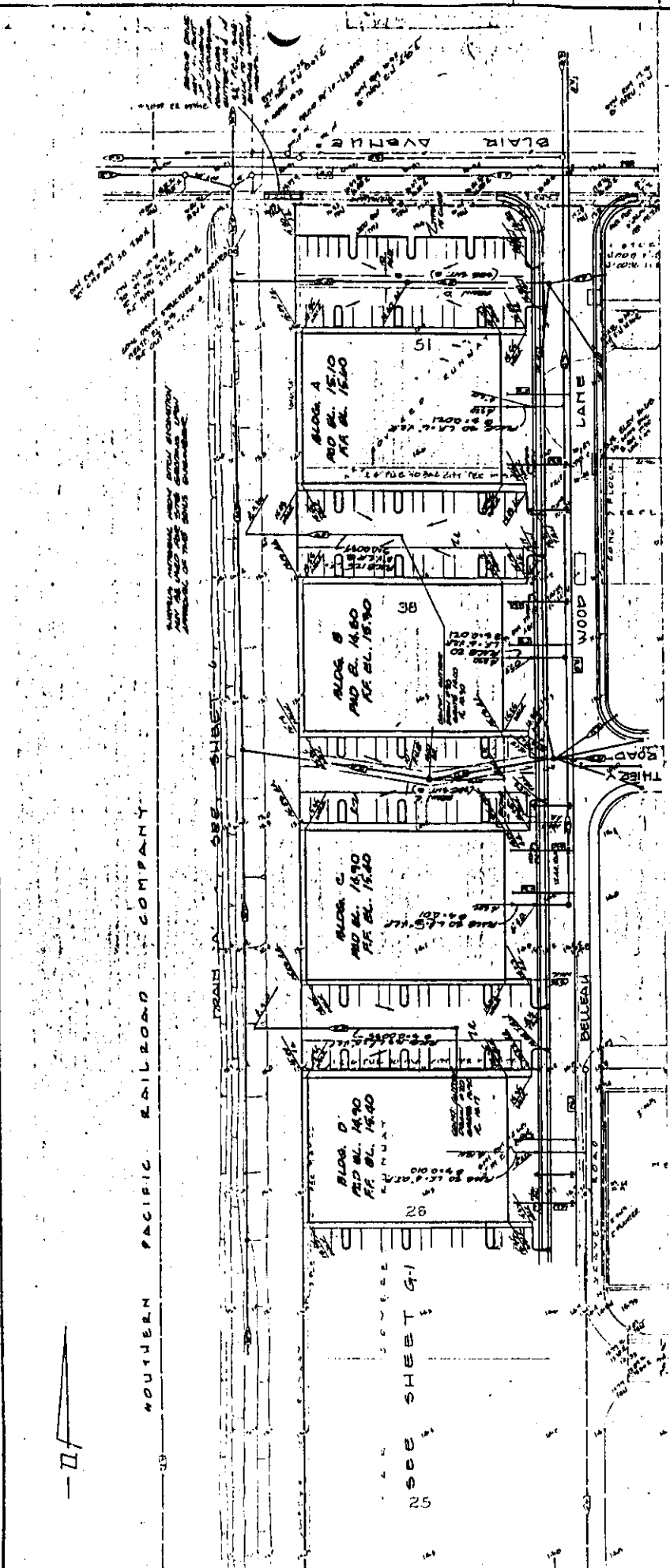
$154,850 \times .0010 = 154.85$  occupants in warehouses.

The total occupancy in full time workers therefore would be 183.38 handily placing this project below the "major project" threshold of greater than 199 employees.

It is our strong contention that this is a realistic appraisal of the actual occupancy rate of this group of buildings and that as such these buildings comply with the intent of the ordinance as a "minor project". In addition the Zoning ordinance makes reference to the minimum square footage for a building of Industrial/Warehousing use to be 200,000 square feet before it qualifies as a major project. In either case and for any reasonable view of both the intent and actual wording of the ordinance these buildings grouped separately or jointly do not comprise a "major project"

  
Zack Arbios  
Buzz Oates Enterprises.

# SITE PLAN



see p86-217

6-26-86

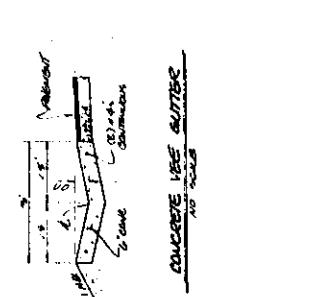
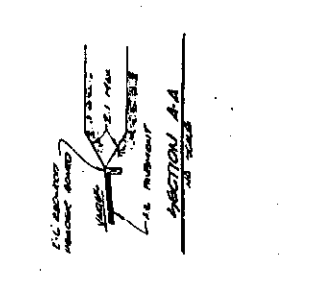
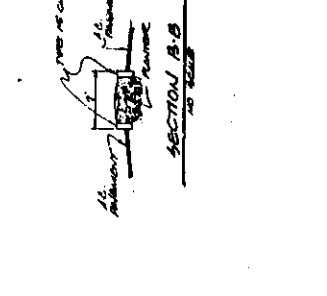
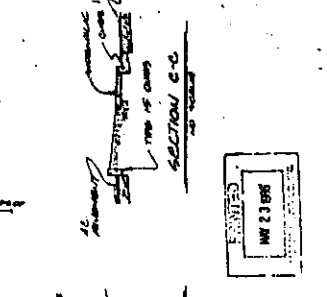
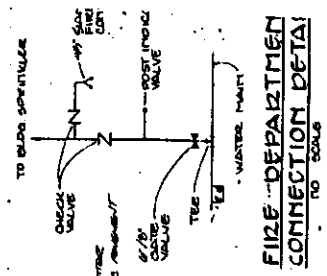
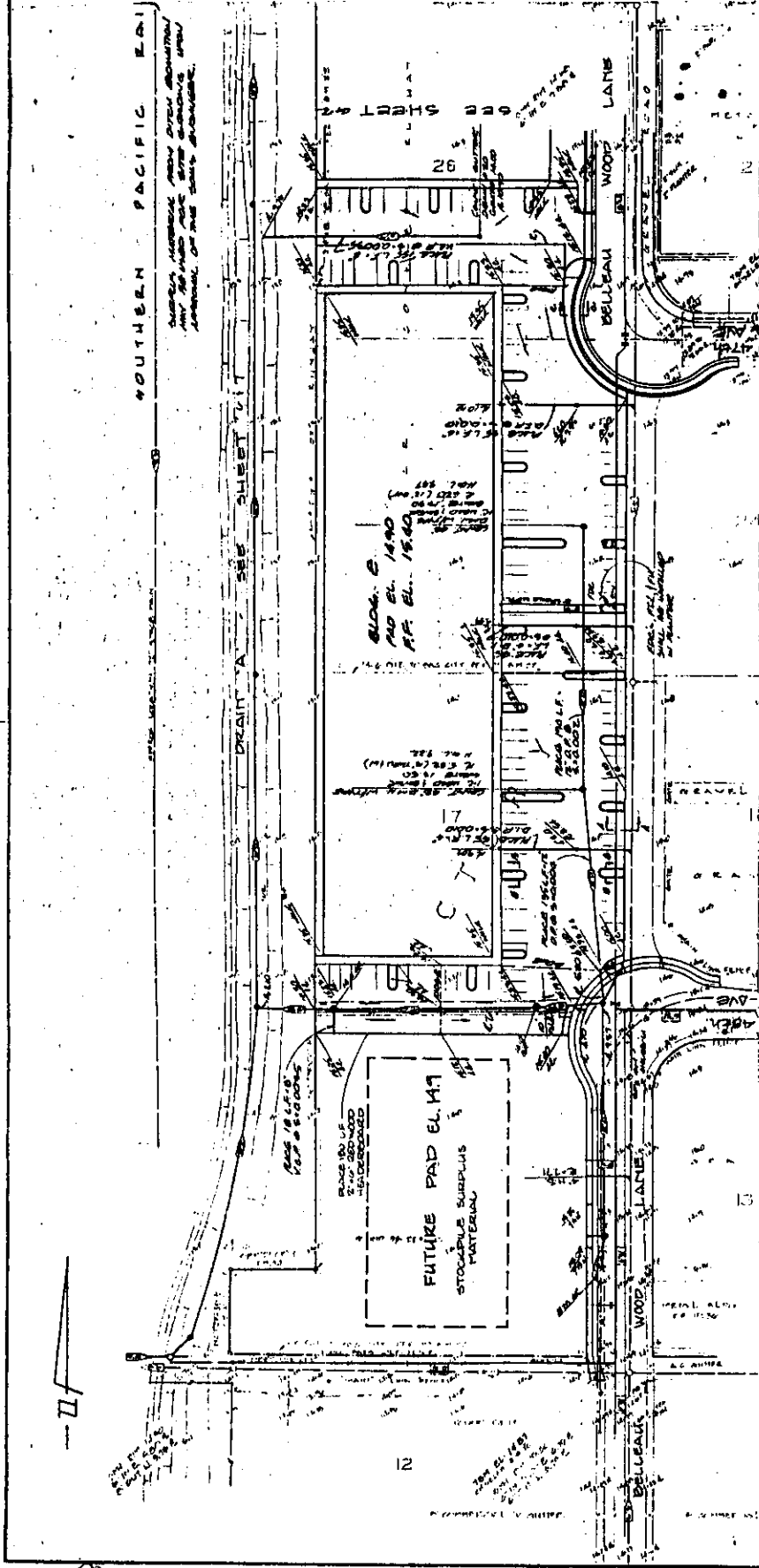
- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS, DATED MAY 1981.
  2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE EXACT LOCATION OF ALL UTILITIES AND TO BE SHOWN ON THE PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY CONTACTING THE UTILITY COMPANIES AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
  3. THE UTILITY LOCATIONS, SIZES AND DEPTHS OF EXISTING UTILITIES SHALL BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BY CONTACTING THE UTILITY COMPANIES AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
  4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BY CONTACTING THE UTILITY COMPANIES AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
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IMPROVEMENT PLANS FOR		SHEET 4-2	
EXECUTIVE AIRPORT BUSINESS PARK		-OF- 3	
MORTON & PITALO, INC.		CITY OF SACRAMENTO	
CIVIL ENGINEERING		CALIFORNIA	
PLANNING SURVEYING		GRADING PLAN	
MP		960077	
DESIGNED BY	CHECKED BY	SCALE	DATE
UNLIMITED	ALCANTARA	1" = 40'	AUGUST 1, 1986
NO.	REVISIONS	DATE	DESCRIPTION

see 28



# SITE PLAN



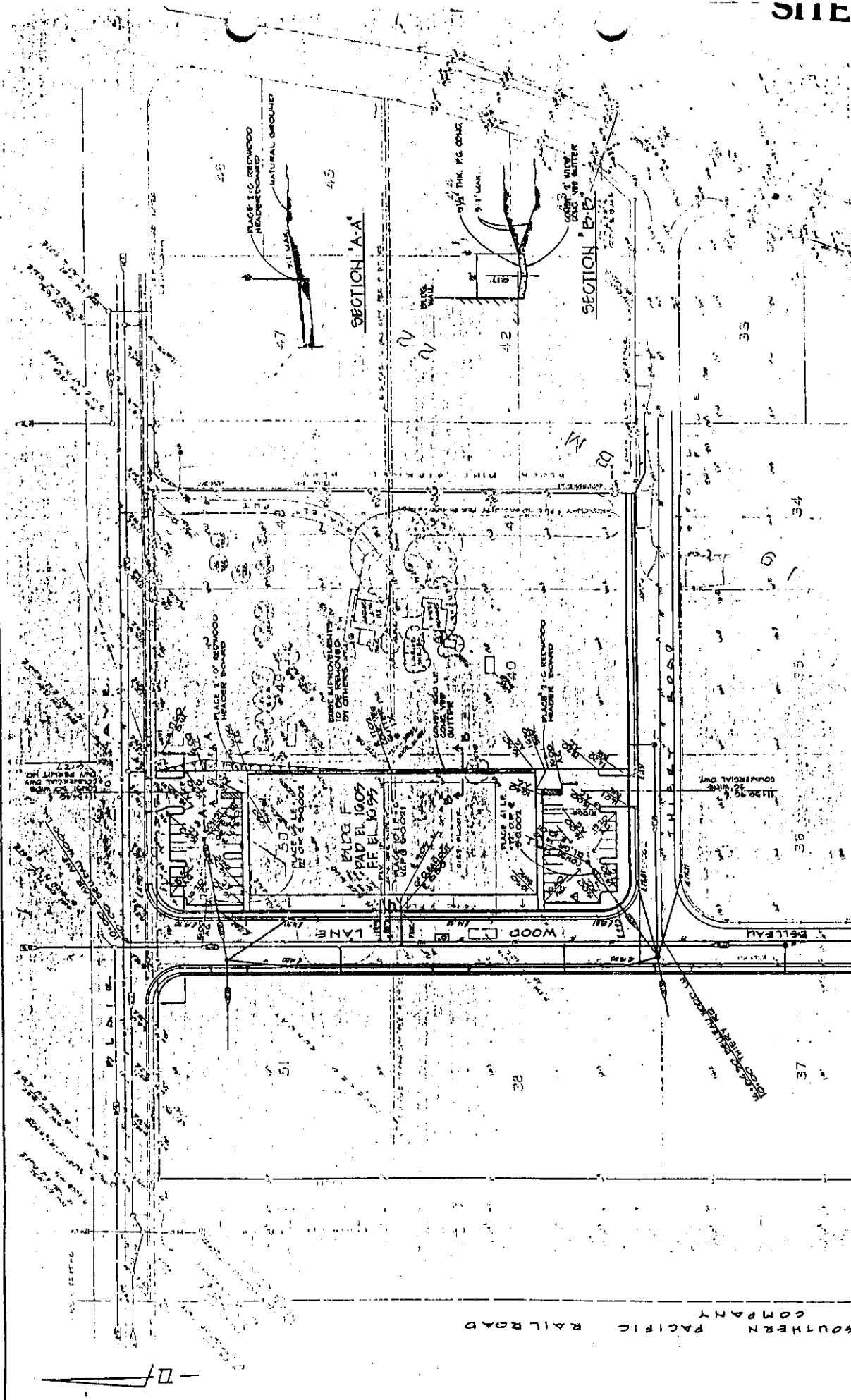
SHEET <b>6-1</b> OF <b>3</b>		33	
IMPROVEMENT PLANS FOR <b>EXECUTIVE AIRPORT BUSINESS PARK</b> GRADING PLAN CITY OF SACRAMENTO CALIFORNIA			
MORTON & PITALO, INC. CIVIL ENGINEERING PLANNING SURVEYING		M.P. ENGINEER	
DRAWN BY CHECKED BY DATE		FIELD BOOK SCALE HORIZ. 1" = 40' VERT. 1" = 10'	
BENCH MARK ELEV. 122.08 FROM 1981 SEE SHEET 1		REVISIONS NO. DESCRIPTION DATE BY	

9228 186-217

6-26-86

9228

# SITE PLAN



IMPROVEMENT PLANS FOR <b>EXECUTIVE AIRPORT BUSINESS PARK</b>		GRADING PLAN CITY OF SACRAMENTO CALIFORNIA	
MORTON & PITALO, INC. CIVIL ENGINEERING PLANNING SURVEYING		CHECKED BY: G.K.H. SUBMITTED: <i>A.L.C. Pitalo</i> S.E.L. NO. 1112	
REVISIONS NO. _____ DESCRIPTION _____ DATE BY _____	BENCH MARK ELEV. _____ DESCRIPTION _____	FIELD BOOK SCALE _____ NORTH _____ DATE _____	DRAWN BY: _____ SURVEILED: <i>A.L.C. Pitalo</i> S.E.L. NO. 1112

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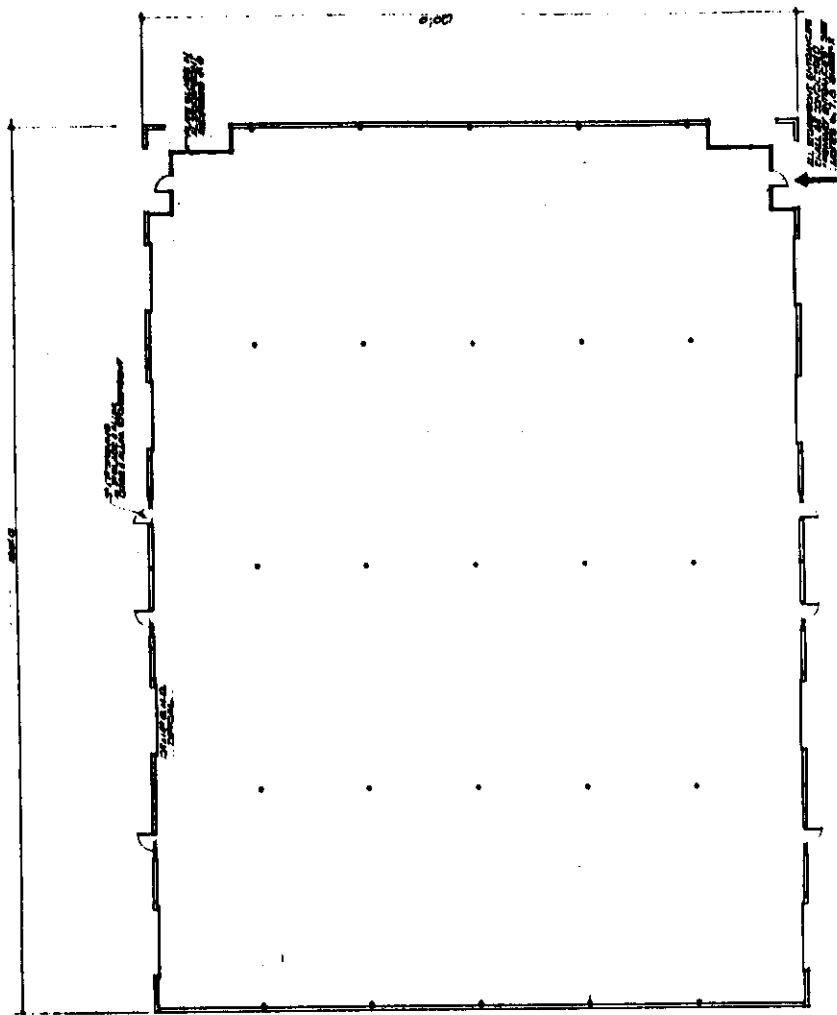
28

# FLOOR PLANS

Lee McLeod & Associates, Inc.  
1117 W. 1st St. Suite 100  
San Francisco, CA 94111 (415) 441-1117



SCALE: 1/8" = 1'-0"



FLOOR PLAN - BUILDING A

P86-217

P86-217

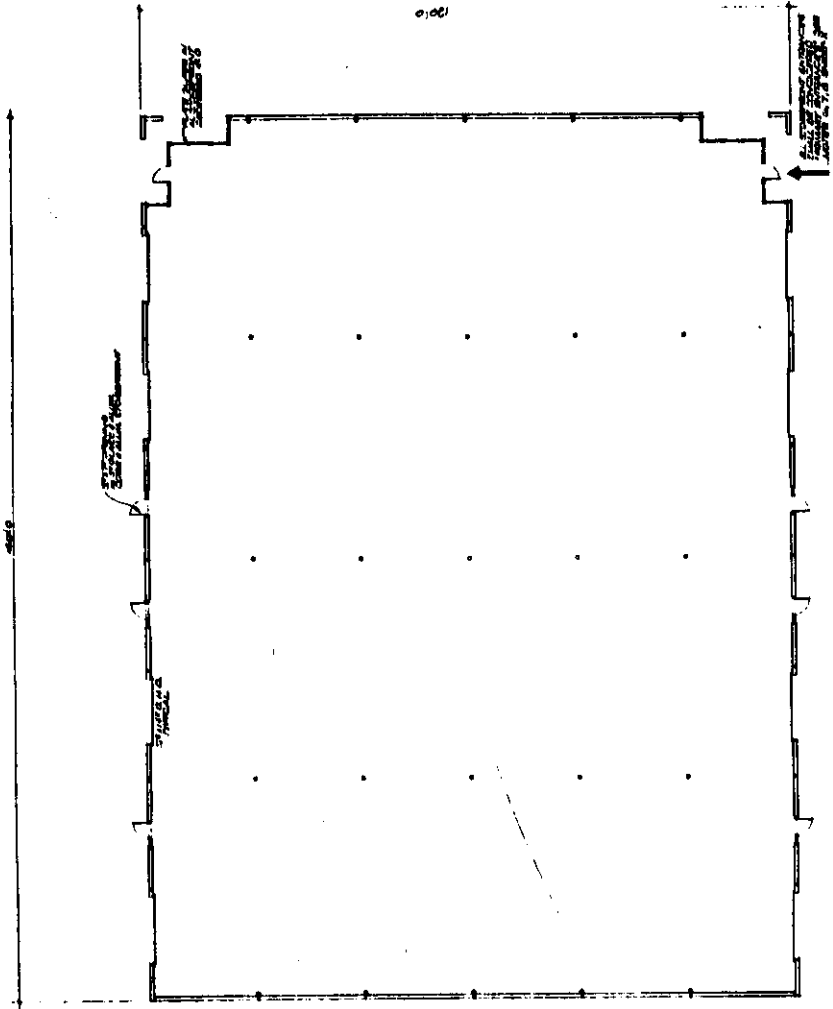
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Dom 28

# FLOOR PLANS

Leo McGee Associates, Inc.  
1017 Mission St. San Francisco, CA 94103 (415) 441-2200

FLOOR PLAN B



FLOOR PLAN - BUILDING B

SCALE 1/8" = 1'-0"

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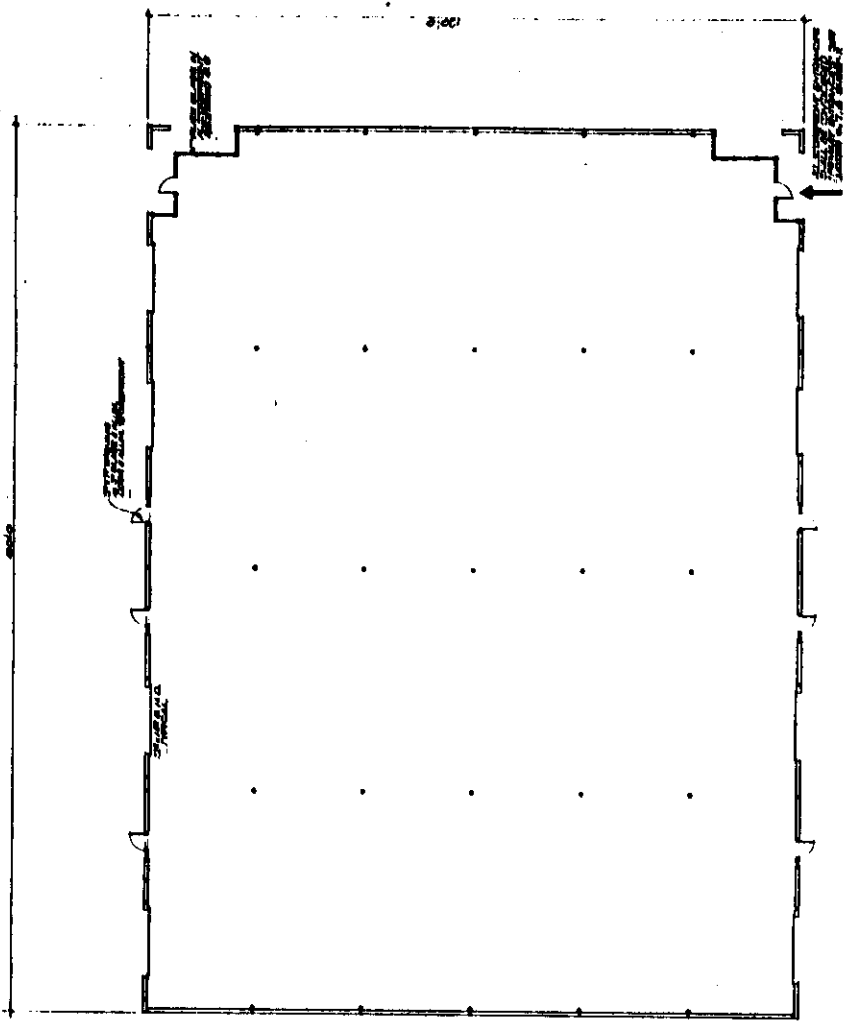
Leo McElroy & Associates, Inc.  
 1511 North Hollywood Blvd., Suite 1000, Hollywood, CA 90028 (213) 885-2200



FLOOR PLAN  
 BUILDING C

VGS

# FLOOR PLANS



FLOOR PLAN - BUILDING C  
 SCALE: 1/8" = 1'-0"

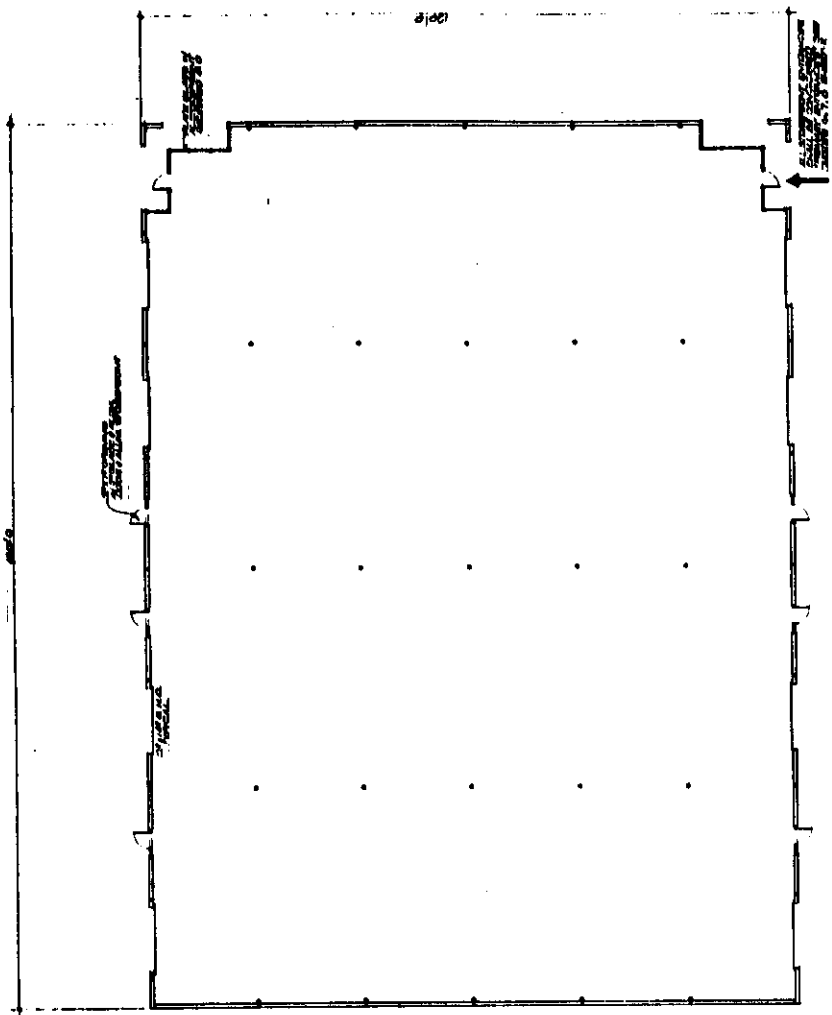
P86-217

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Plan 28



# FLOOR PLANS

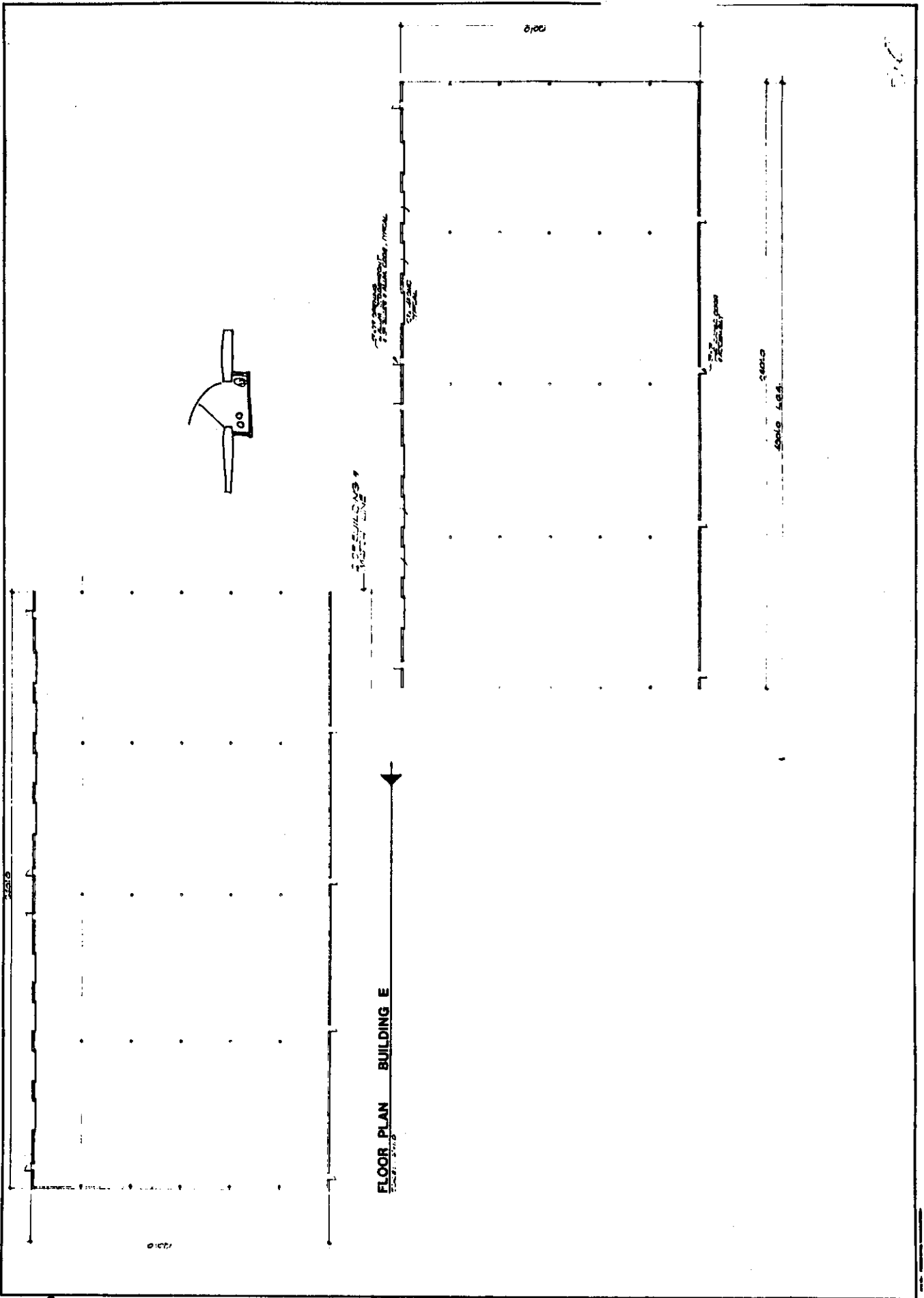


FLOOR PLAN - BUILDING D  
SCALE: 1/8" = 1'-0"

# FLOOR PLANS

Leo McLeod & Associates, Inc.  
1177 Y. Ave. S. Sacramento, CA 95833 (916) 486-1100

FLOOR PLAN BUILDING E



P86-217

10-26-86

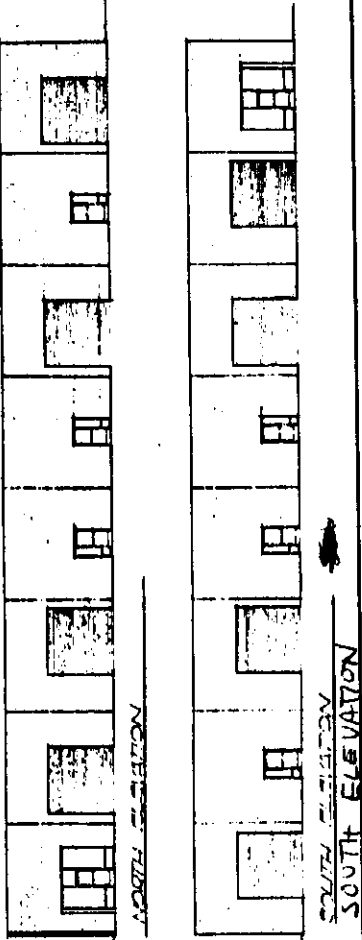
Page 28

# ELEVATIONS

100 McLeod, Pasadena, CA 91104 (714) 854-4400

ENTERED ELEVATION  
BY DWG. A. L. D. D.

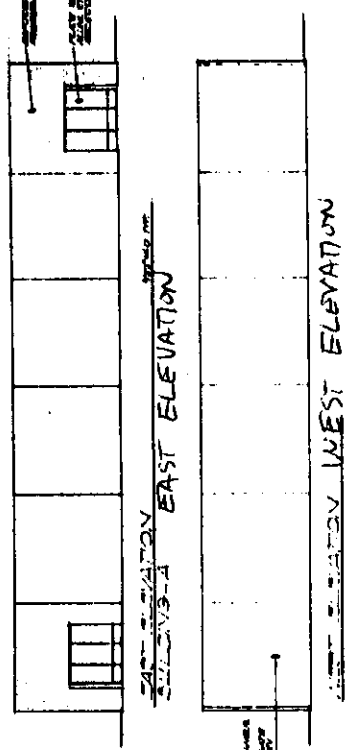
## BUILDING A



NORTH ELEVATION

SOUTH ELEVATION

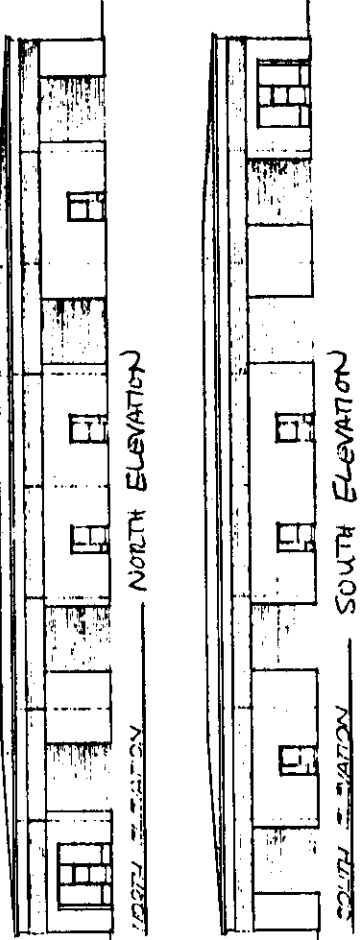
## BUILDING B



EAST ELEVATION

WEST ELEVATION

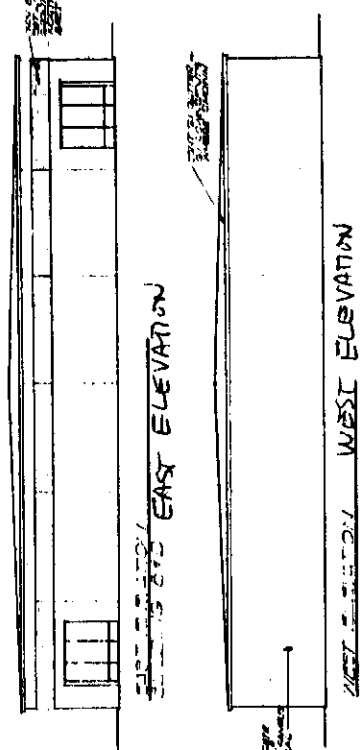
## BUILDING C



NORTH ELEVATION

SOUTH ELEVATION

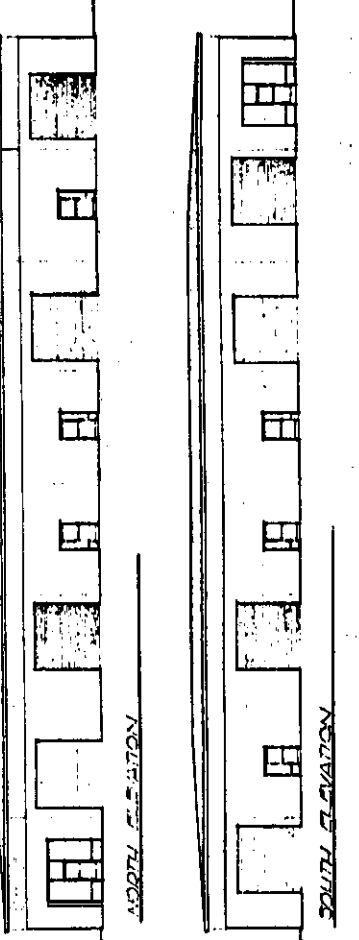
## BUILDING D



EAST ELEVATION

WEST ELEVATION

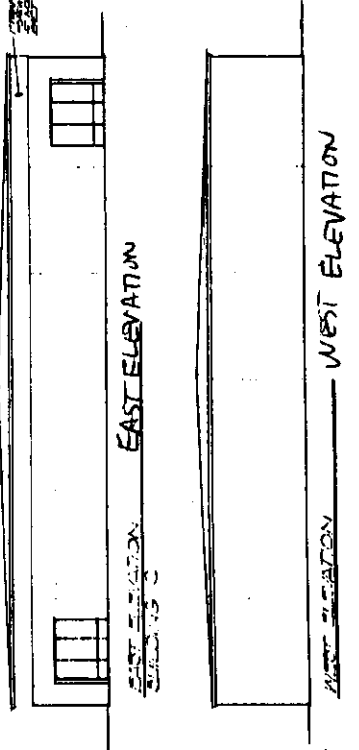
## BUILDING E



NORTH ELEVATION

SOUTH ELEVATION

## BUILDING F



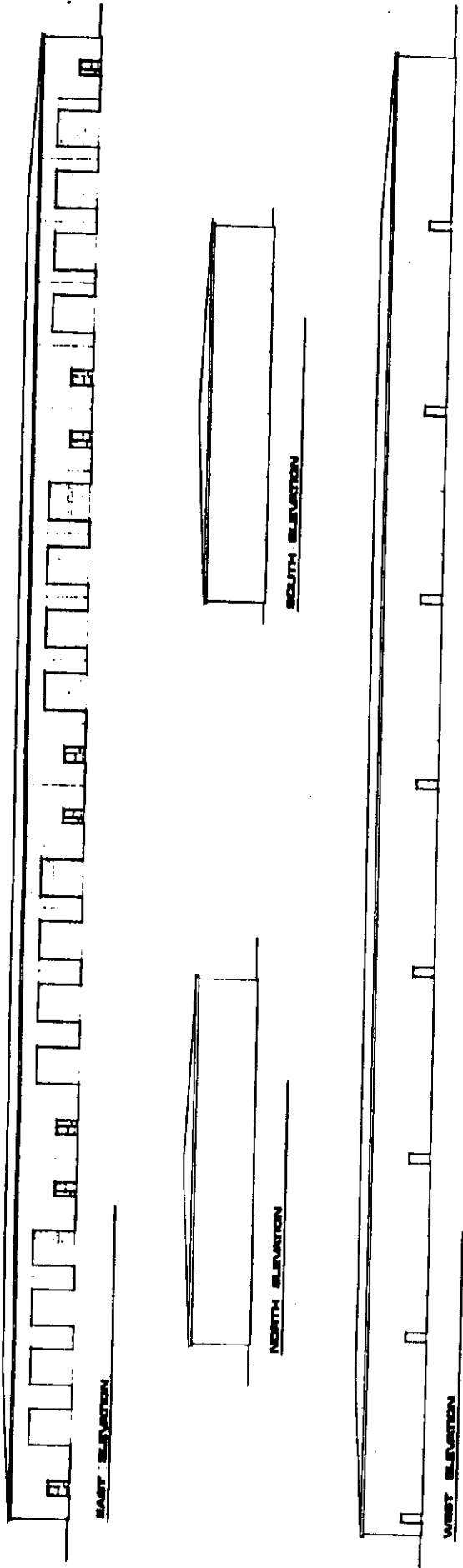
EAST ELEVATION

WEST ELEVATION



# ELEVATIONS

BUILDING E



P86-217

6-26-86

Item 28