

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Hampton Engineering - 7533 Westgate Drive, Citrus Heights, CA				
OWNER	SBC Industries - 2110 El Camino Avenue, Sacramento, CA 95815				
PLANS BY	Hampton Engineering - 7533 Westgate Drive, Citrus Heights, CA				
FILING DATE	12-8-83	50 DAY CPC ACTION DATE		REPORT BY	SD:sg
Negative DEC.	12-29-83	EIR		ASSESSOR'S PCL. NO.	237-390-07, 17, 24, 25, 32, 33
					237-380-34, 35, 42

- APPLICATION:**
1. Environmental Determination
 2. Rezone 2± acres from Single Family (R-1) to Townhouse (R-1A) (Section 13, Zoning Ordinance)
 3. Tentative Map (P83-406) (Section 40.401, Subdivision Ordinance)
 4. Special Permit for halfplex development (Section 7-C, Zoning Ordinance)

LOCATION: Nine corner lots on Baumgart Avenue north of Bell Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to divide 2± vacant acres consisting of various corner lots into 18 halfplex lots.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1965 North Norwood Community
Plan Designation: Light Density Residential
Existing Zoning of Site: R-1
Existing Land Use of Site: Vacant
Proposed Zoning: R-1A

Surrounding Land Use and Zoning:

North: Vacant; A
South: Residential; R-1
East: Residential & vacant; R-1, R-1A
West: Residential; A

Parking Required: 18 spaces
Parking Provided: 18 spaces
Parking Ratio: 1:1
Property Area: 2± acres
Square Footage of Buildings: 976 sq. ft., 980 sq. ft.
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Colors: Various
Exterior Building Materials: Vertical siding, composition roof
Building Height: 16 ft., one story

Subdivision Review Committee Recommendation: On December 28, 1983, by a vote of six eyes, three absent, the Subdivision Review Committee voted to approve the tentative map. The applicant shall satisfy the following condition prior to filing the final map:

Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and

pay the required dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to filing the final map.

Background Information: The subject sites consist of various corner lots located in Glenwood Park Unit 7 which was approved by the City Council on October 16, 1979 (P-8731) (see Exhibit A). The map has been recorded. Street improvements and utilities have been constructed.

Staff Evaluation: Staff has the following comments regarding this proposal:

1. The applicant is requesting the entitlements necessary to subdivide nine corner lots and develop 18 halfplex units. The proposed halfplex development will not alter the density or character of the area since two family units are allowed on corner lots under the Zoning Ordinance (Section 2-B-4.3). The request will allow individual ownership of each unit.
2. The applicant has submitted one elevation and one floor plan. This consists of two two-bedroom, two bath units approximately 1,000 square feet in size. Each unit has a single car garage. The units have been designed to provide separate street frontages for each unit. Building material consists of vertical siding with composition shingle roofs.
3. Staff has several concerns with regard to the single floor plan/elevation submitted by the applicant. Since the sites are located primarily in a row along Baumgart Way, a monotonous streetscape will result. To assure variety and interest along the street frontage, staff suggests that two additional elevation/floor plans be submitted. The plans should incorporate the following design criteria:
 - a. a variety of building materials including horizontal wood siding, stucco, and brick;
 - b. different building foot prints (floor plans);
 - c. two car garages on some units;
 - d. a variety of element treatments including entryways, windows and rooflines.

The additional elevation/floor plans should be submitted to staff for review and approval prior to issuance of the first building permit. The elevation/floor plans should be scattered throughout the site.

4. The Planning and Community Services Departments have determined that .202 acres of land are required for parkland dedication purposes and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted not more than 90 days prior to filing the final map.

Staff Recommendation: Staff recommends the following:

1. Ratification of the negative declaration;

2. Approval of the rezoning of 2± vacant acres from R-1 to R-1A;
3. Approval of the tentative map subject to the condition which follows;
4. Approval of the special permit for halfplex development subject to conditions and based upon findings of fact which follow;

Condition - Tentative Map

The applicant shall satisfy the following condition prior to filing the final map:

Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated and submitted not more than 90 days prior to filing the final map.

Conditions - Special Permit

- a. The applicant shall submit two additional elevation/floor plans to staff for review and approval prior to issuance of building permit. The plans shall incorporate the following design criteria:
 1. a variety of building materials including horizontal wood siding, stucco, and brick;
 2. different building foot prints (floor plans);
 3. two car garages on some units;
 4. a variety of element treatments including entryways, windows, and rooflines.
- b. A master plan as well as individual site plans shall be reviewed and approved by staff prior to issuance of the first building permit to assure units are mixed along the street frontage.

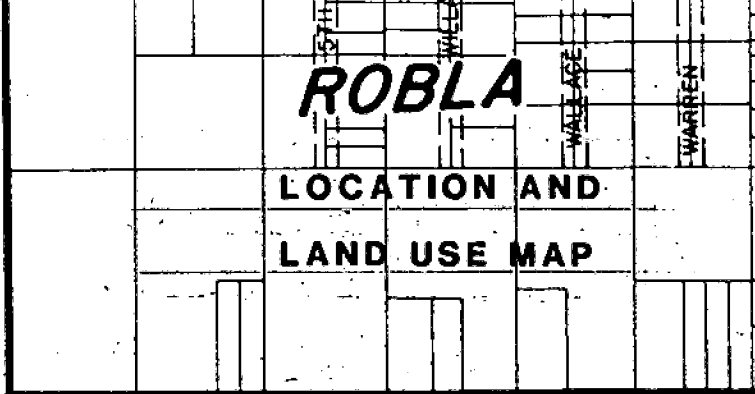
Findings of Fact - Special Permit

- a. The proposal, as conditioned, is based upon sound principles of land use in that:
 1. structures are designed to be consistent in appearance with single family units in the area;
 2. duplexes are allowed on corner lots in the R-1, Single Family zone;
 3. a sufficient number of elevation/floor plans will provide an interesting, varied streetscape.

- b. The proposed project, as conditioned, will not be detrimental to public health, safety or welfare or result in the creation of a nuisance in that
 - 1. adequate on-site parking is provided;
 - 2. it is consistent with the existing residential character of the surrounding area.
- c. The proposed project is consistent with the 1974 General Plan and the 1965 North Norwood Community Plan which designate the site for residential uses.

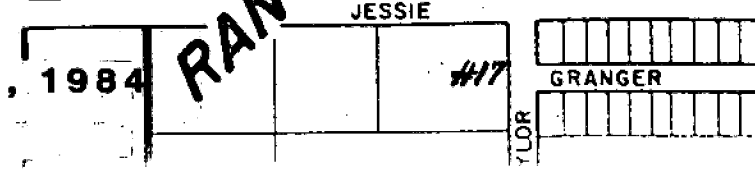
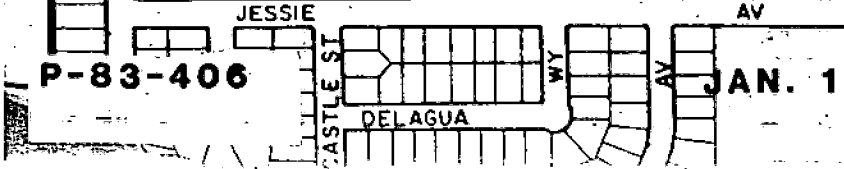
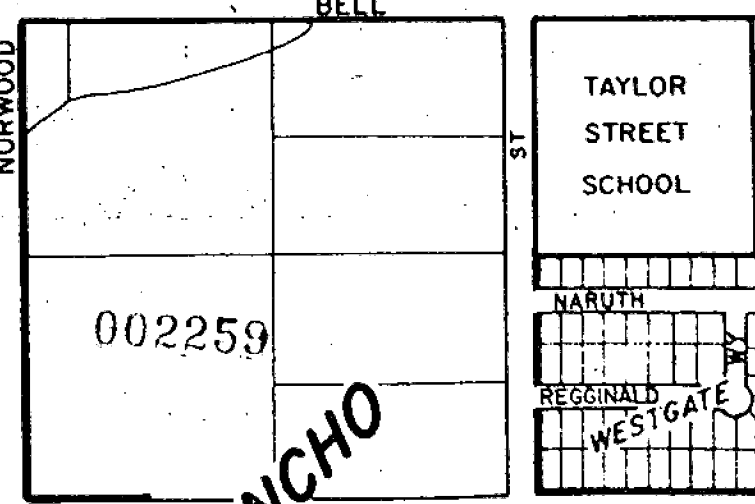
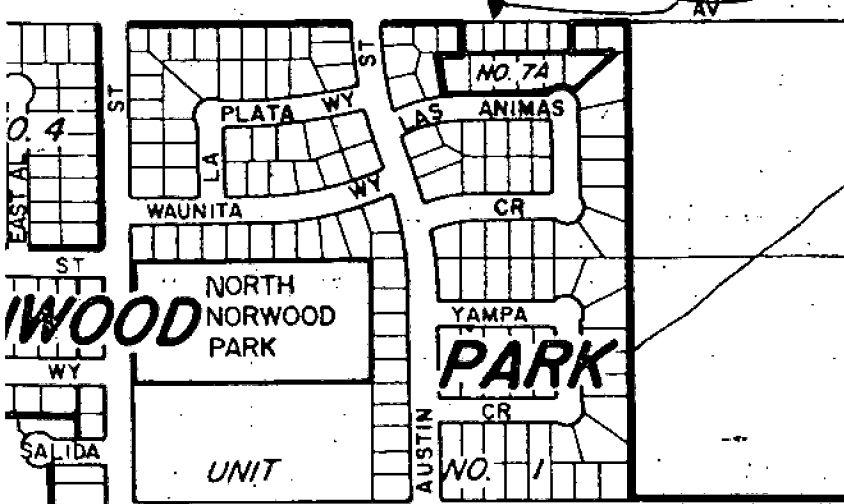
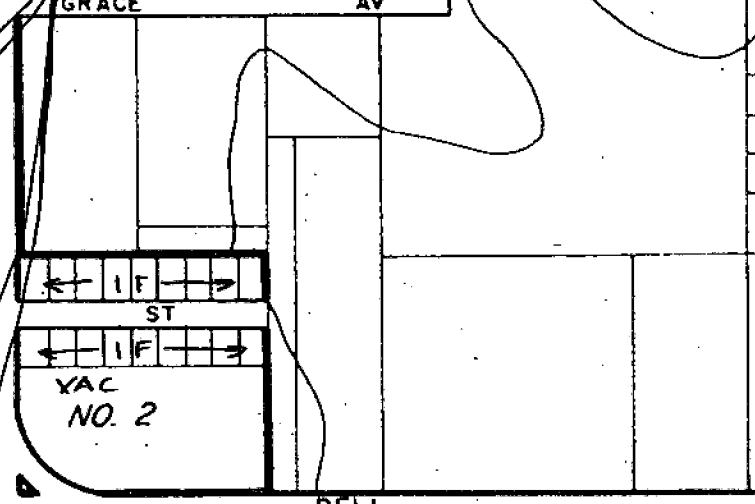
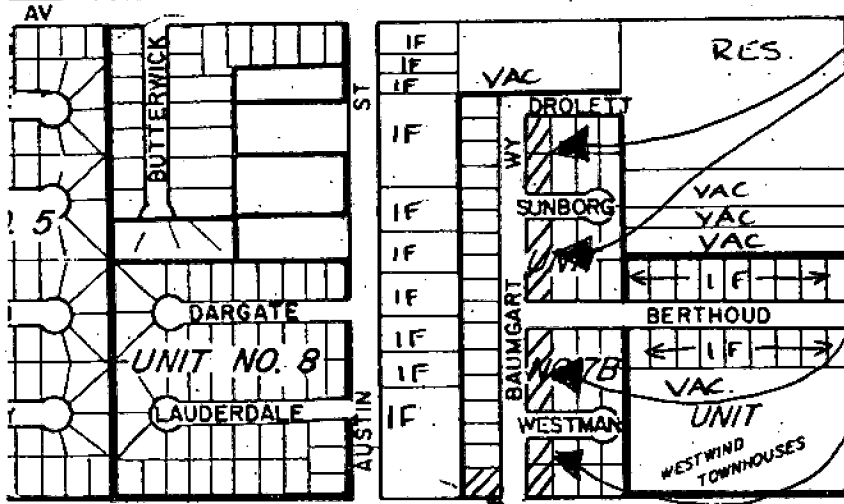
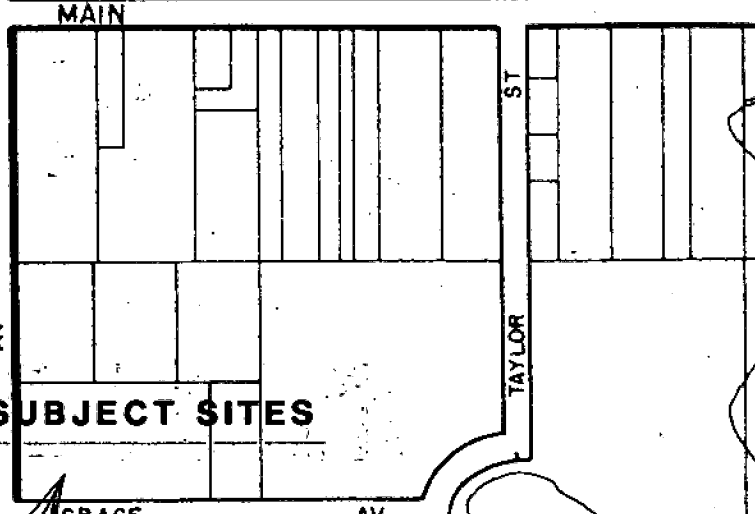
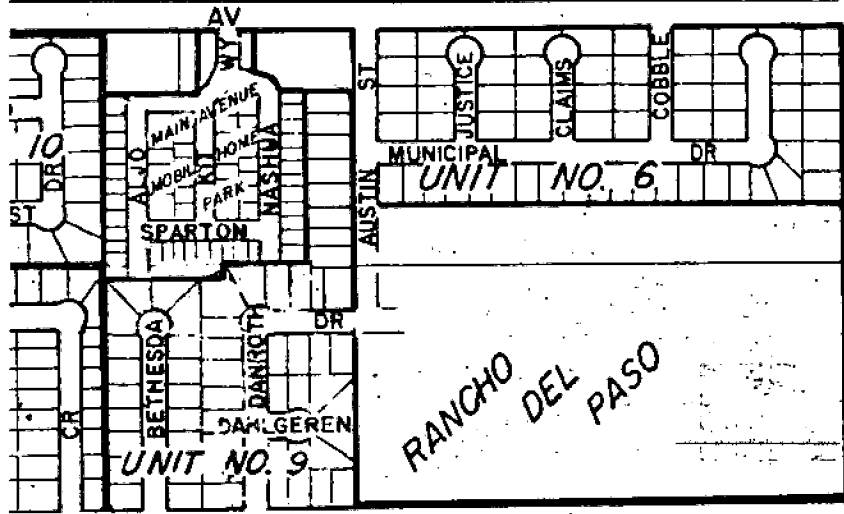
002258

SUB



ROBLA

LOCATION AND LAND USE MAP



JAN. 12, 1984

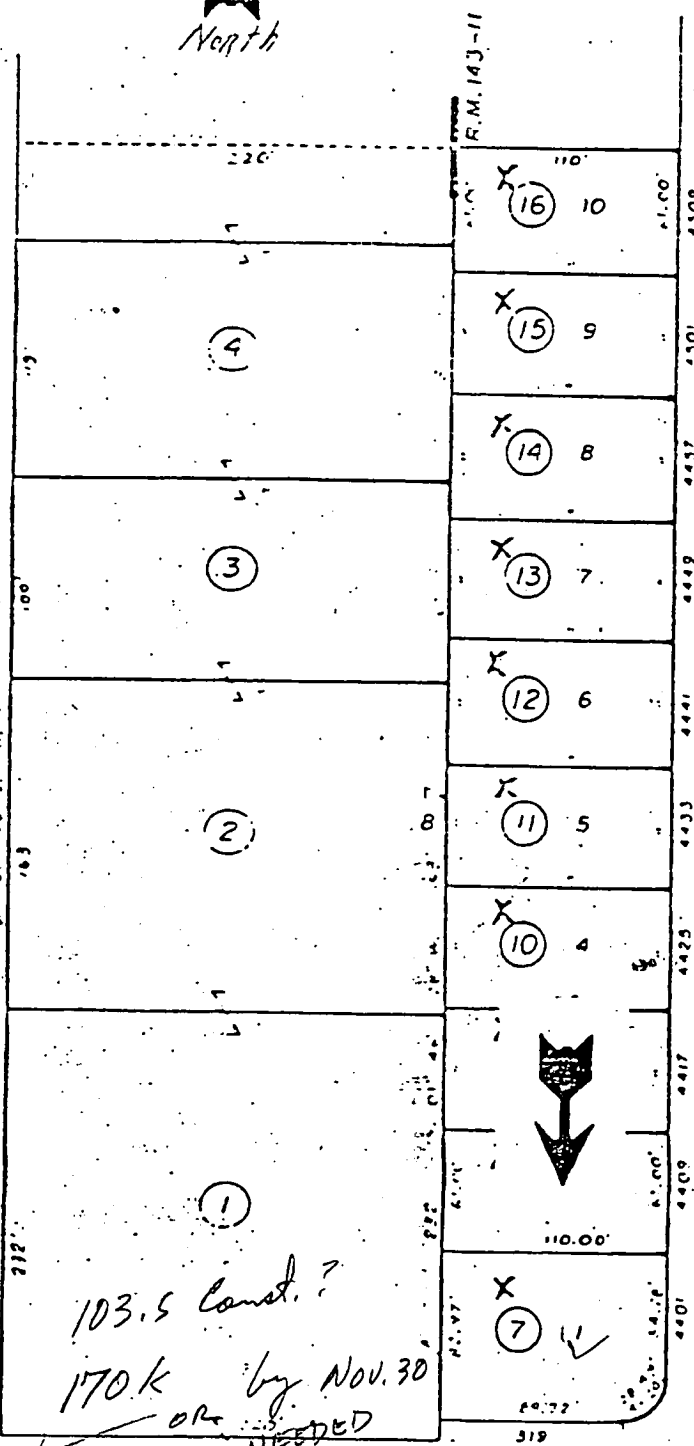
RANCHO

ORIGINAL

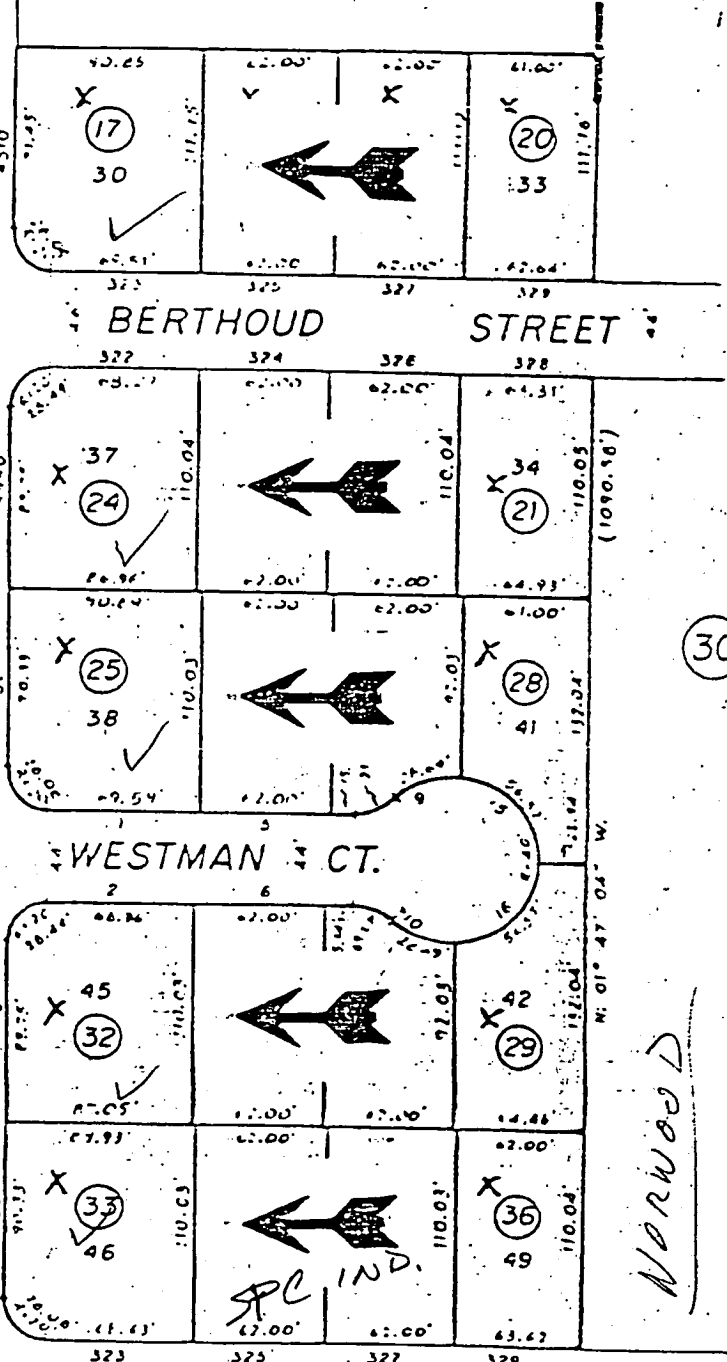
237-30



AUSTIN STREET



WAY BAUMGART



NORWOOD

103.5 Const.?
 170k by Nov. 30
 OR
 \$66,500 - NEEDED

Norm Hampton 2

ALL LOTS TO BE SPLIT Bell

R.M. 143-11 AVE.

This diagram is not a Survey of the land,
 but is furnished as a courtesy of
 FIRST AMERICAN TITLE INSURANCE CO.
 and not intended to be part of the Policy
 of Title Insurance or Preliminary Title Report.

002260 CITY OF SACRAMENTO
 Assessor's Map Bk. 237, Pg. 39
 County of Sacramento, Calif.

B, R.M. Bk. 143, Pg. 11 (11-17-80)
 M. Bk. 18, Pg. 2

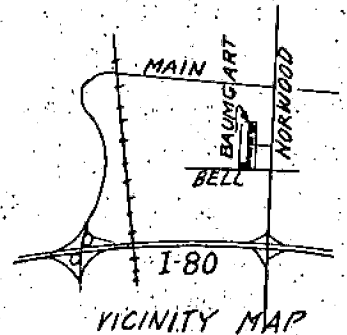
TENTATIVE MAP
 A PROPOSAL TO CREATE 18 HALF-PLEX LOTS
 BY SEPARATE CERTIFICATES OF COMPLIANCE
 LOTS 1, 21, 22, 29, 30, 37, 38, 45 & 46
 GLENWOOD PARK UNIT NO. 7B 143 BM11
 CITY OF SACRAMENTO, CA.
 NOVEMBER 1983

P 83406

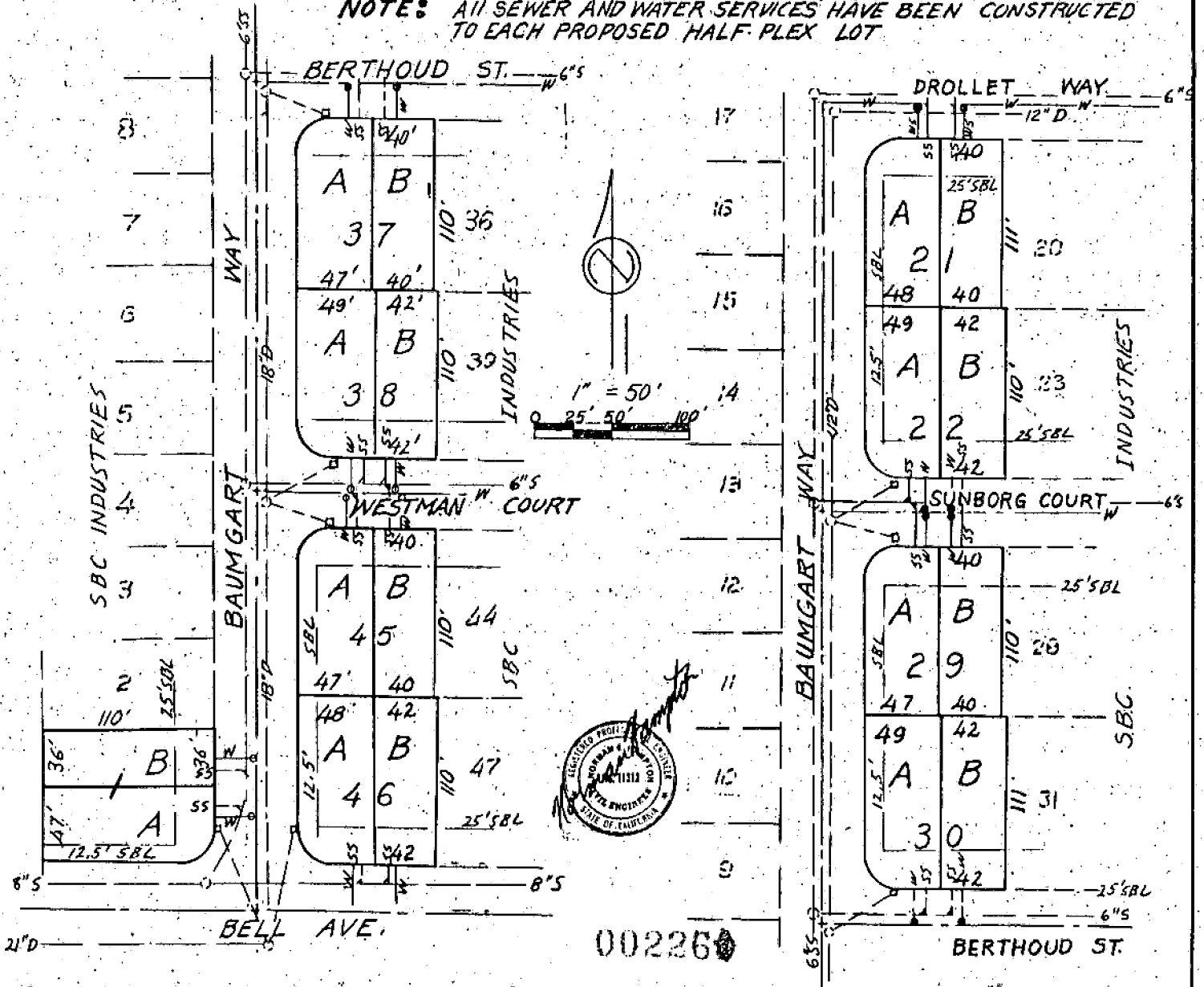
OWNER: SBC INDUSTRIES
 2110 EL CAMINO, AVE.
 SACRAMENTO, CA. 95815

ENGINEER: HAMPTON ENGINEERING
 7533 WESTGATE DRIVE
 CITRUS HEIGHTS, CA. 95610

PRESENT ZONE: R-1 VACANT
 PROPOSED ZONE: R1A HALF-PLEX
 18 LOTS NET GROSS AREA 89000 SF.
 SCHOOL DISTRICT: GRANT
 WATER SEWER & STORM DRAIN BY
 CITY OF SACRAMENTO



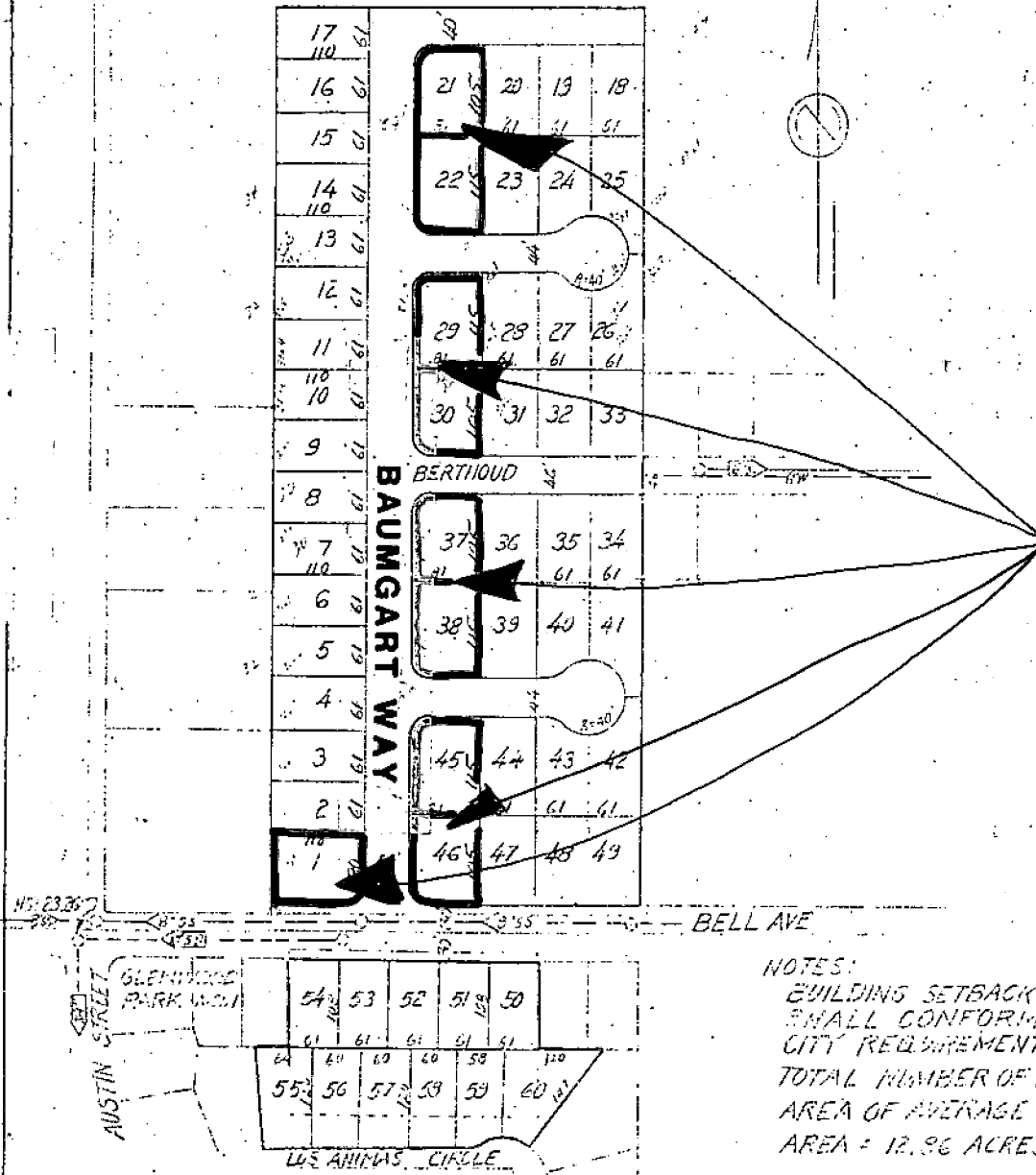
NOTE: ALL SEWER AND WATER SERVICES HAVE BEEN CONSTRUCTED TO EACH PROPOSED HALF-PLEX LOT



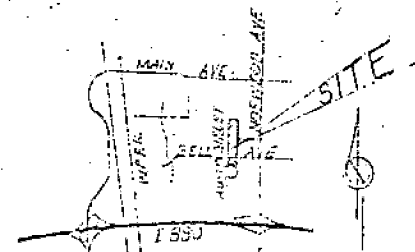
00226

GLENWOOD PARK UNIT NO. 7
 PORTIONS OF LOTS 7, 8 AND 9 "RIO LINDA
 SUBDIVISION NO. 8" BOOK 18, MAP NO. 2
 AND LOT A "PLAT OF GLENWOOD PARK
 UNIT NO. 1" BOOK 63 OF MAPS, MAP NO. 17

CITY OF SACRAMENTO
 STATE OF CALIFORNIA
 JANUARY 1979



SUBJECT SITES



VICINITY MAP

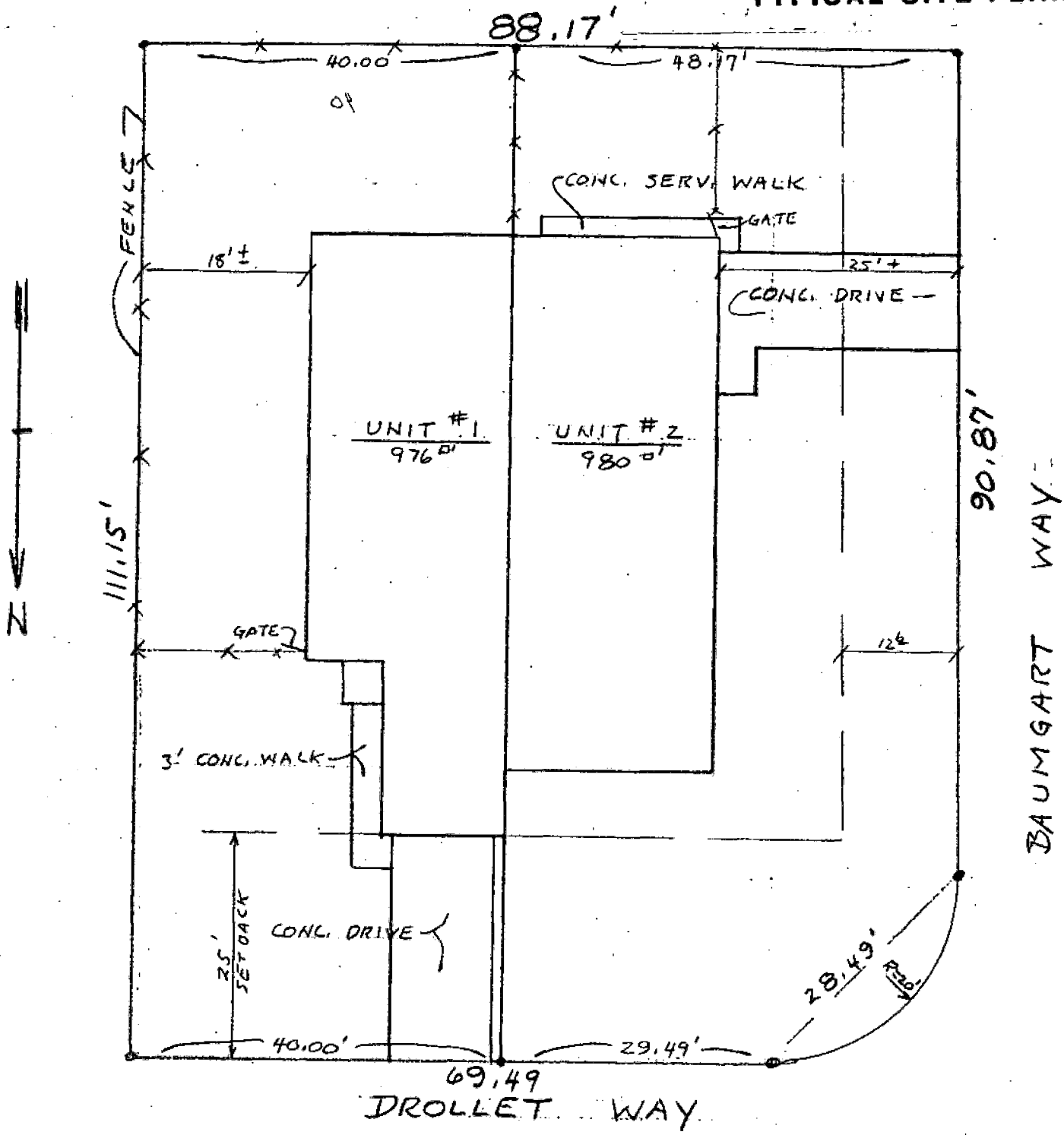
OWNER-SUBDIVIDER:
 BAUMGART AND CORFEE
 4179 ENGLEWOOD
 SACRAMENTO, CALIFORNIA

ENGINEER:
 HAMPTON ENGINEERING INC.
 7464 FARMGATE WAY
 CITRUS HEIGHTS CALIFORNIA 95610
 (916) 361-8741

NOTES:
 BUILDING SETBACK LINES
 SHALL CONFORM TO
 CITY REQUIREMENTS
 TOTAL NUMBER OF LOTS: 60
 AREA OF AVERAGE LOT - 6800 SF
 AREA - 12.86 ACRES 4.66 D.U./AC.

APN 237-380-04, 05, 06
 237-265-13, 20 & 21

TYPICAL SITE PLAN



PLOT PLAN

1/16" = 1'-0"

LOT NO 21

GLENWOOD PARK UNIT 7-B

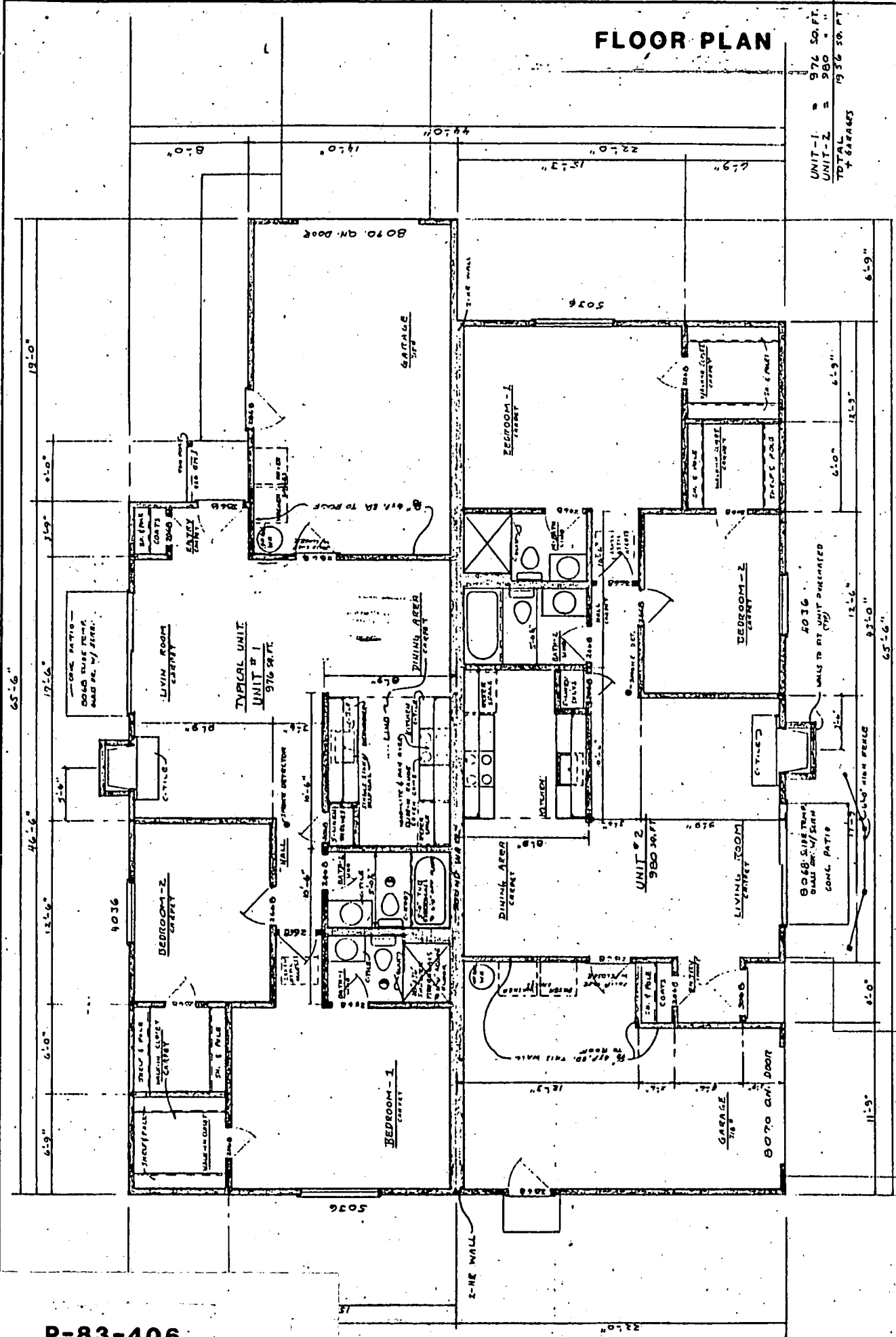
SACRAMENTO, CA.

002263

FLOOR PLAN

UNIT-1 = 976 SQ. FT.
 UNIT-2 = 980 SQ. FT.
 TOTAL = 1956 SQ. FT.
 + GARAGES

GLENWOOD PARK	
SCALE	DATE OF G.C. 2/18/84
DATE 10-10-83	REVISED 10-24-83
DESIGNER/ARCHITECT <i>Shepherd & Co.</i>	
PROJECT NO. 1956	
DRAWING NUMBER	



FLOOR PLAN
 1/4" = 1'-0"

NOTES:

1. ALL CEILING SHALL HAVE R-30 INSULATION
2. ALL GLAZING SHALL BE DOUBLE PANE
3. ALL WEST FACING GLASS MUST HAVE SHADESCREEN WITH A COEFFICIENT OF AT LEAST 0.38

THIS BLOCK DESIGN MEETS THE REQUIREMENTS OF TABLE 24 PART 2, CH. 2-27.

Shepherd & Co.

P-83-406

JAN., 12, 1984

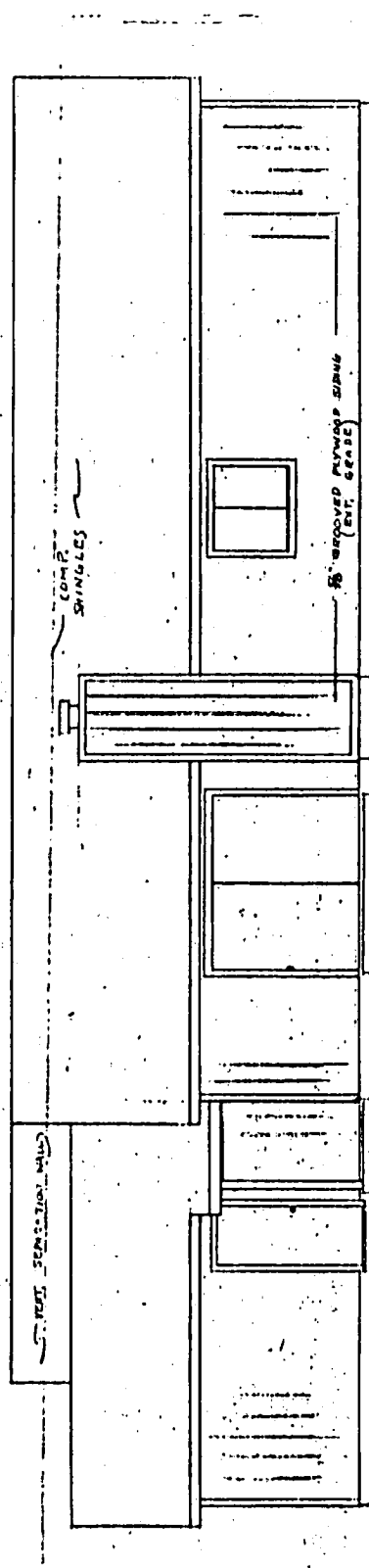
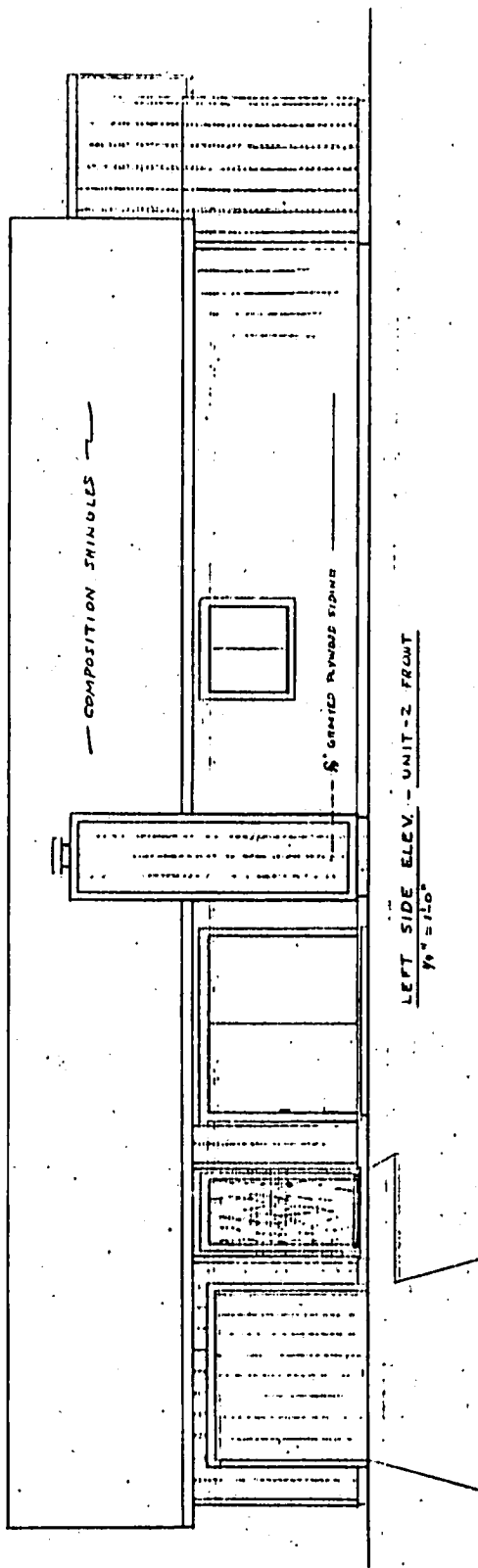
ITEM 17

002264

OUTSIDE ELEVATIONS

DATE	1984
PROJECT	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
APPROVED BY	

George W. Kelly



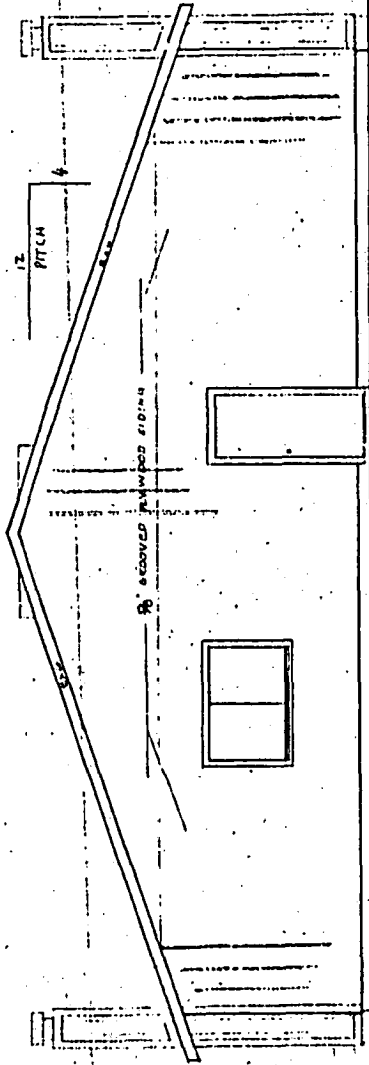
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OUTSIDE ELEVATIONS

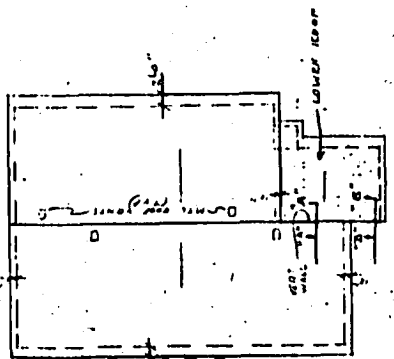
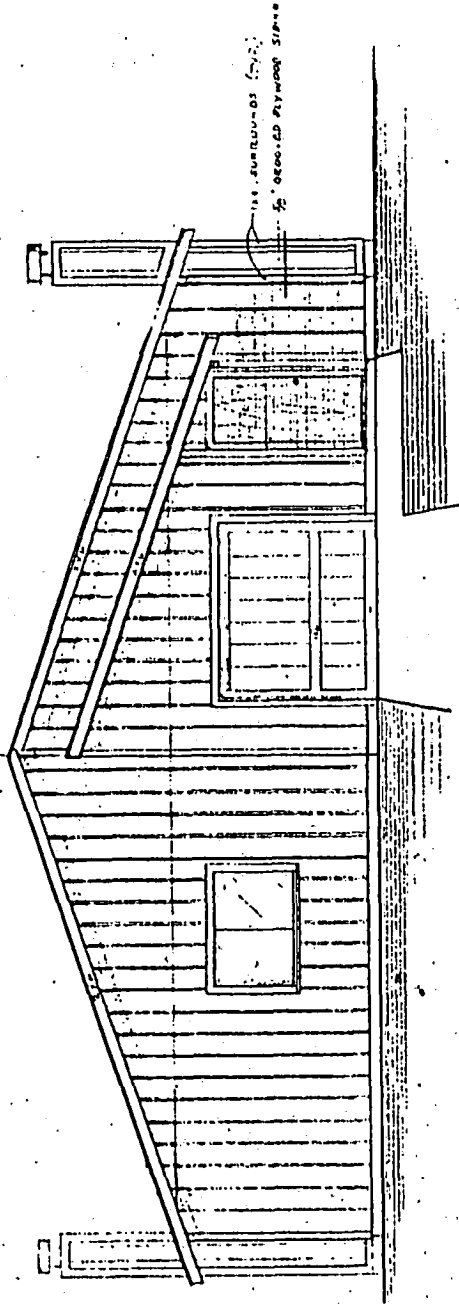
SCALE:	DATE:	DESIGNED BY:	PROJECT NO.:
		George W. Lutz	# 1556
			3

P 83406

REAR ELEVATION
1/4" = 1'-0"



FRONT ELEV. UNIT #1
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"

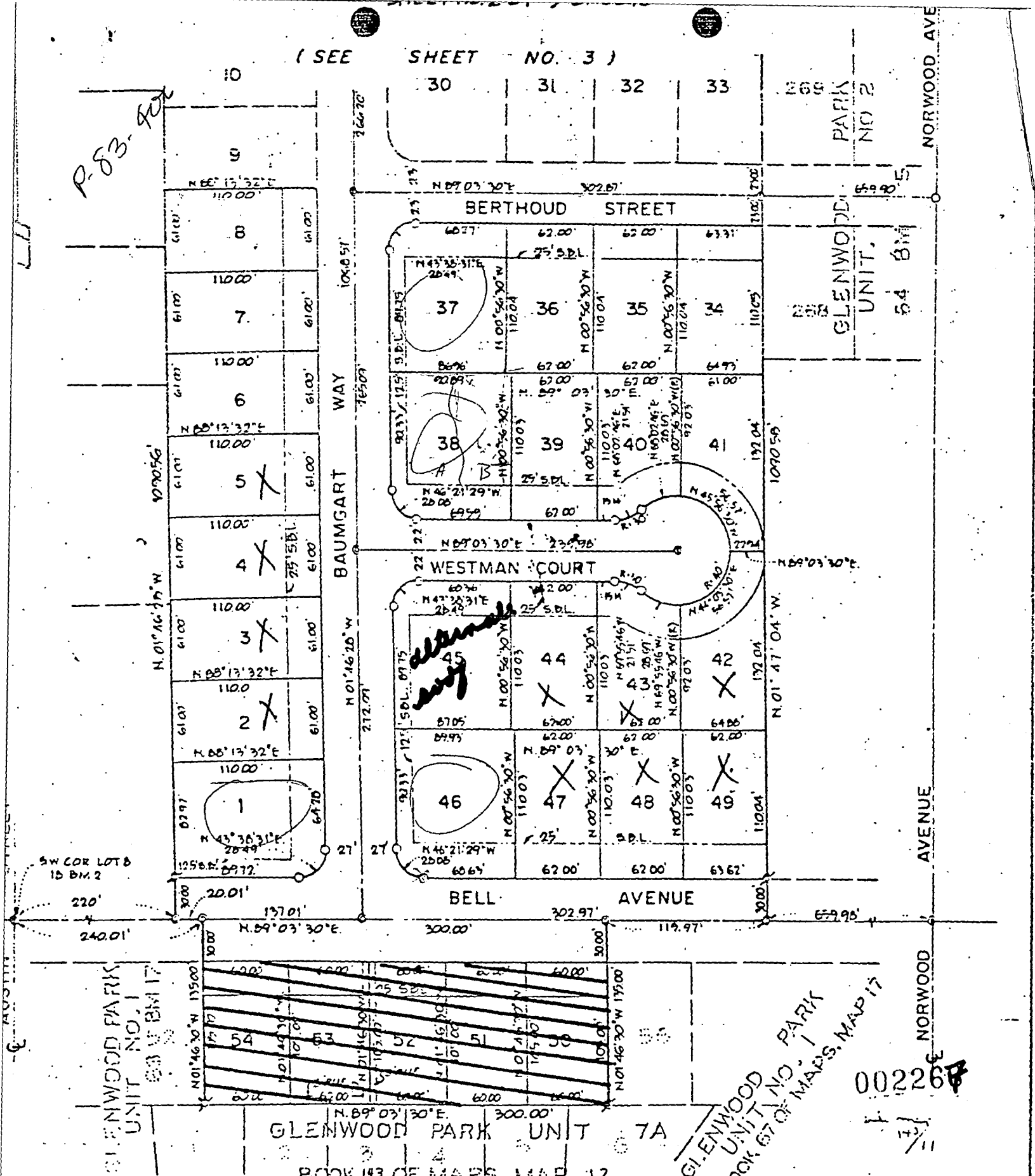
P-83-406

JAN. 12, 1984

002266

ITEM 17

(SEE SHEET NO. 3)



NOTES:

- 1 ALL STREET CORNERS HAVE A 20-FOOT RADIUS AT THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
- 2 A SOILS REPORT FOR THIS SUBDIVISION WAS PREPARED BY ROPER AND ASSOCIATES ON APRIL 4, 1980. A COPY OF THIS REPORT IS AVAILABLE FOR PUBLIC INSPECTION AT THE CITY OF SACRAMENTO BUILDING INSPECTION DEPARTMENT.

THE BASIS OF BEARINGS OF THIS SURVEY IS THE CENTERLINE OF BELL AVENUE PER GLENWOOD PARK UNIT NO. 1 (63 DM 17) AS DETERMINED FROM FOUND MONUMENTS SHOWN HEREON AND BEING N.01° 46' 24" W.

LEGEND:

- ⊙ FOUND SPIKE (WASHER IN STREET & SET 1/4" IRON PIPE
- PUBLIC UTILITY EASEMENT (P.U.E.)
- (R) RADIAL LINE
- ANGLE POINT IN SUBDIVISION BNDY. SET 1/4" DIAMETER PARKER-KALON

GLENWOOD PARK UNIT 7A

BOOK 143 OF MAPS, MAP 12

GLENWOOD PARK UNIT NO. 1
BOOK 67 OF MAPS, MAP 17

002268

P-53-400

GLENWOOD PARK UNIT NO. 1
BOOK 63 OF MAPS, MAP 17

GLENWOOD PARK UNIT NO. 2
BOOK 64 OF MAPS, MAP 17

NORWOOD AVENUE

AVENUE

NORWOOD AVENUE

BERTHOUD STREET

WESTMAN COURT

BELL AVENUE

BAUMBART WAY

10

30 31 32 33

34 35 36 37

9

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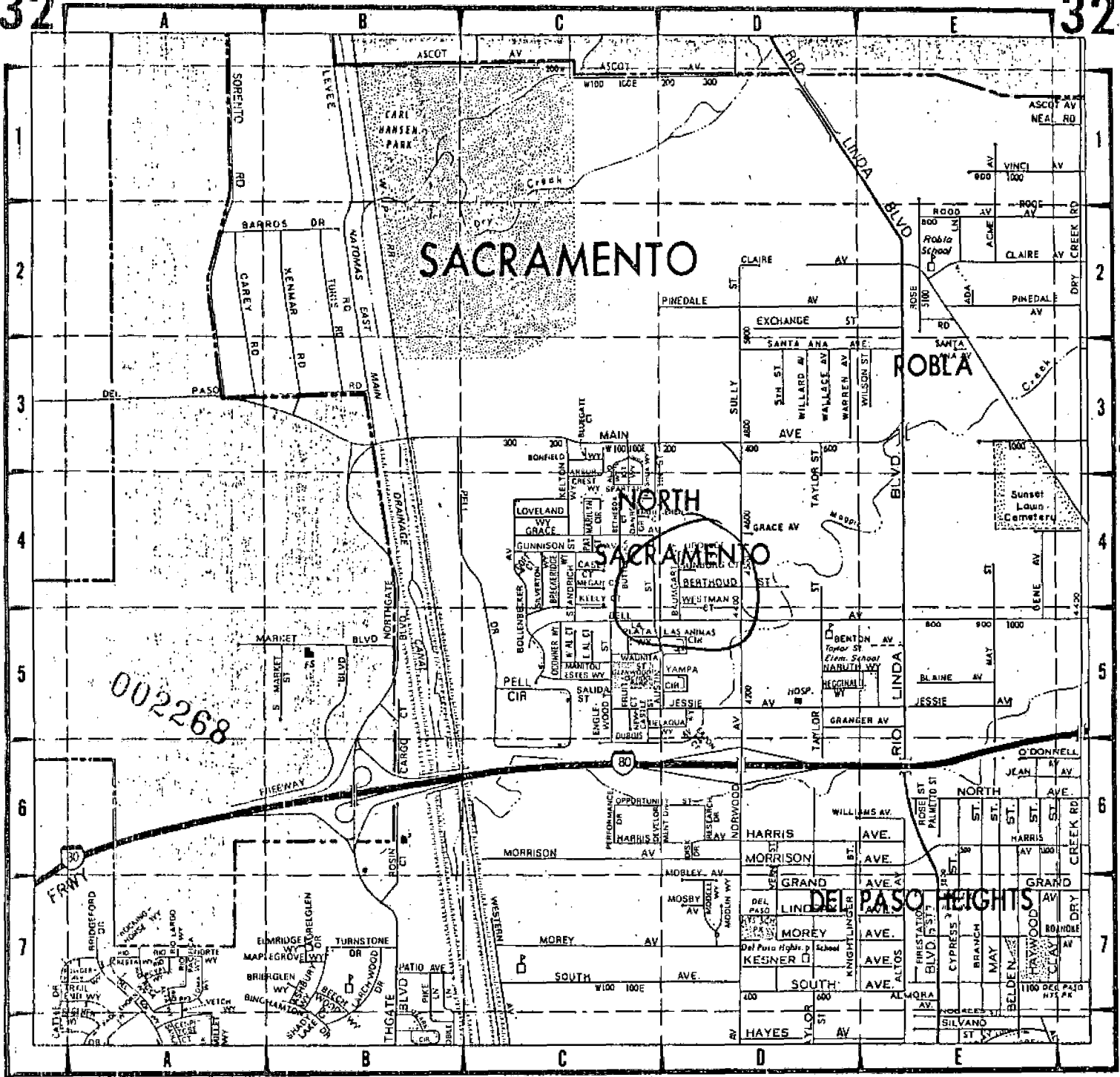
200

201

202

203

366,000'
364,000'
362,000'
360,
358,
354,000'
354,000'
352,000'



FOR CONTINUATION SEE MAP 31

FOR CONTINUATION SEE MAP 35

2,145,000' 2,148,000' 2,151,000' 2,154,000' 2,157,000' 2,160,000'

PORTIONS OF LOTS 1 AND 8 PLAT OF KIO LINDA SUBDIVISION NO. 8
 CITY OF SACRAMENTO, STATE OF CALIFORNIA
 SCALE: 1" = 50' OCTOBER, 1980

HAMPTON ENGINEERING
 SHEET NO. 3 OF 3 SHEETS

Released

Fd #6 REBAR
 N.W. COR. LOT 7
 18 DM 2

N.E. COR. LOT 7
 18 DM 2

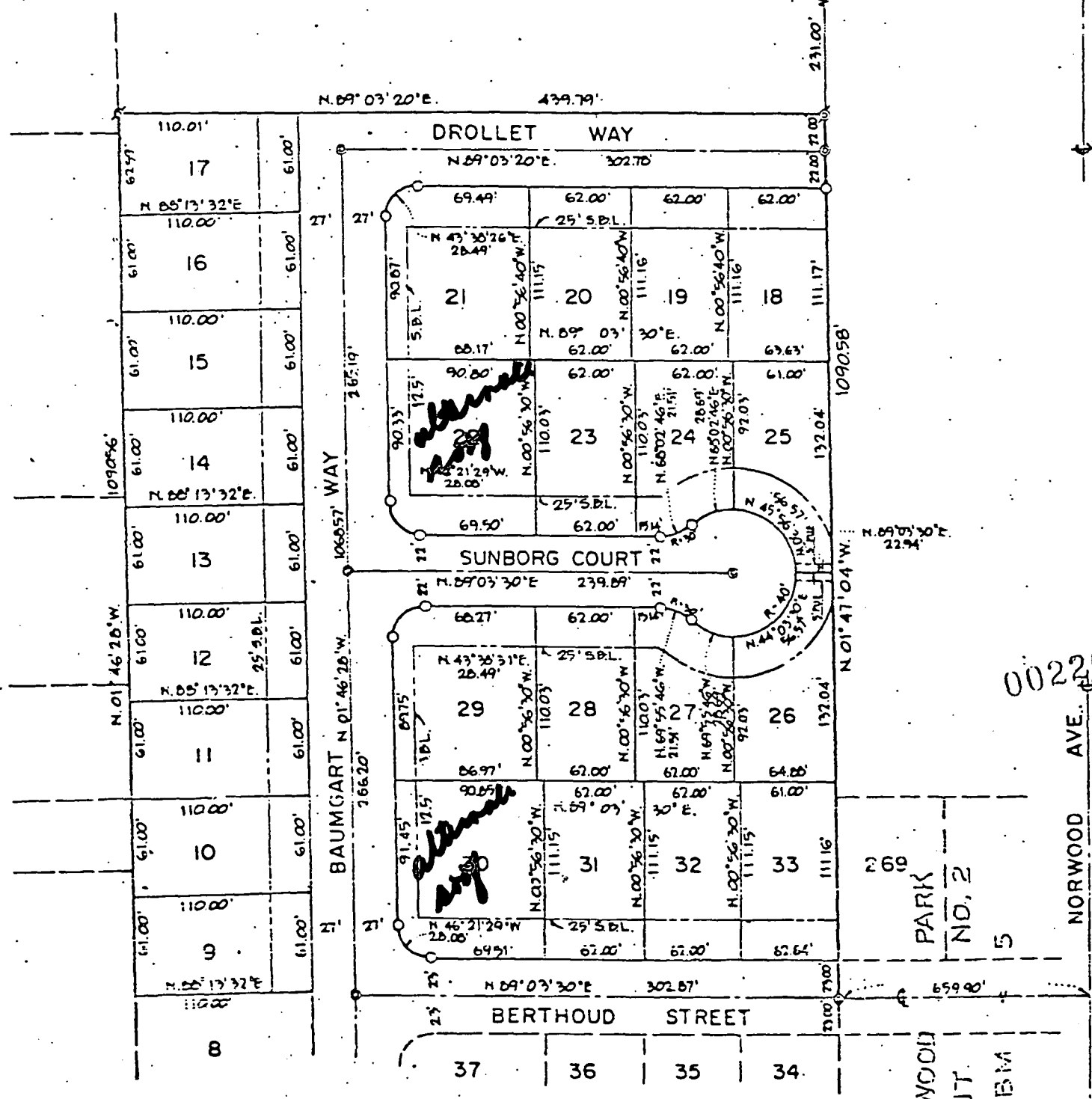
Fd 51KPL WASHER
 N.E. COR. LOT 6
 18 DM 2

GRACE AVE.

NORWOOD AVE.

NORWOOD AVE.

002269

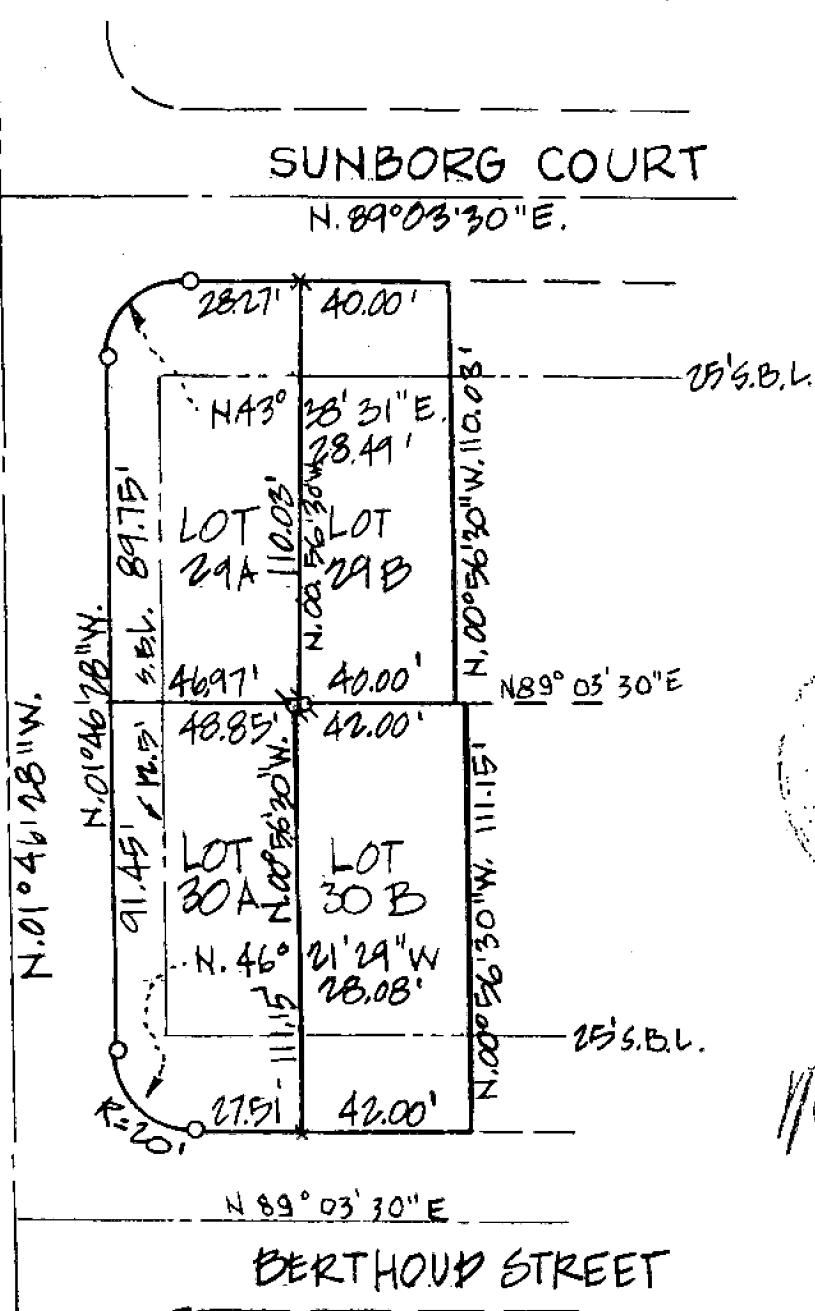


(SEE SHEET NO. 2)

NWOOD
 NIT
 BM

SCALE = 1" = 50'

BAUMGART WAY



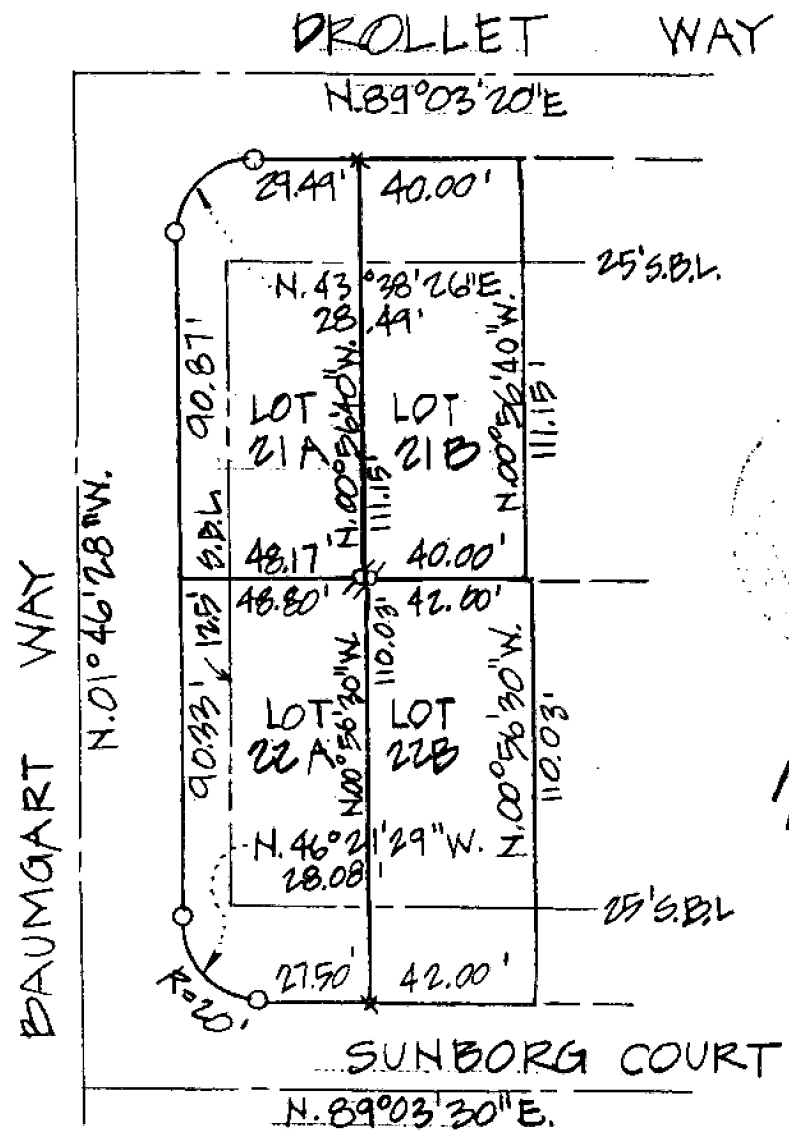
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- SET #5 REDAR TAGGED R.G.E. 11312
- x CHISELED "x" IN SIDEWALK

002270

CERTIFICATE OF COMPLIANCE MAP FOR GLENWOOD PARK-UNIT NO. 7B LOTS 29A & B AND LOTS 30A & 30B CITY OF SACRAMENTO, CALIFORNIA			
DRAWN BY: CHKD. BY: N.E.H.	DATE: DATE: MAY 84	JOB NO.	PLATE NO.
HAMPTON ENGINEERING 7537-WESTGATE DR., CITRUS HTS.			

SCALE: 1" = 50'



Handwritten signature

LEGEND

- x CHISELED "x" IN SIDEWALK
- o SET #5 REBAR TAGGED R.G.E. 11312

002271

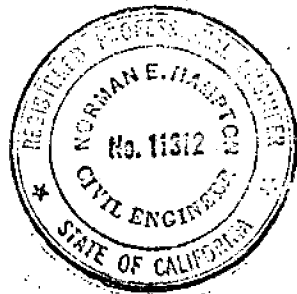
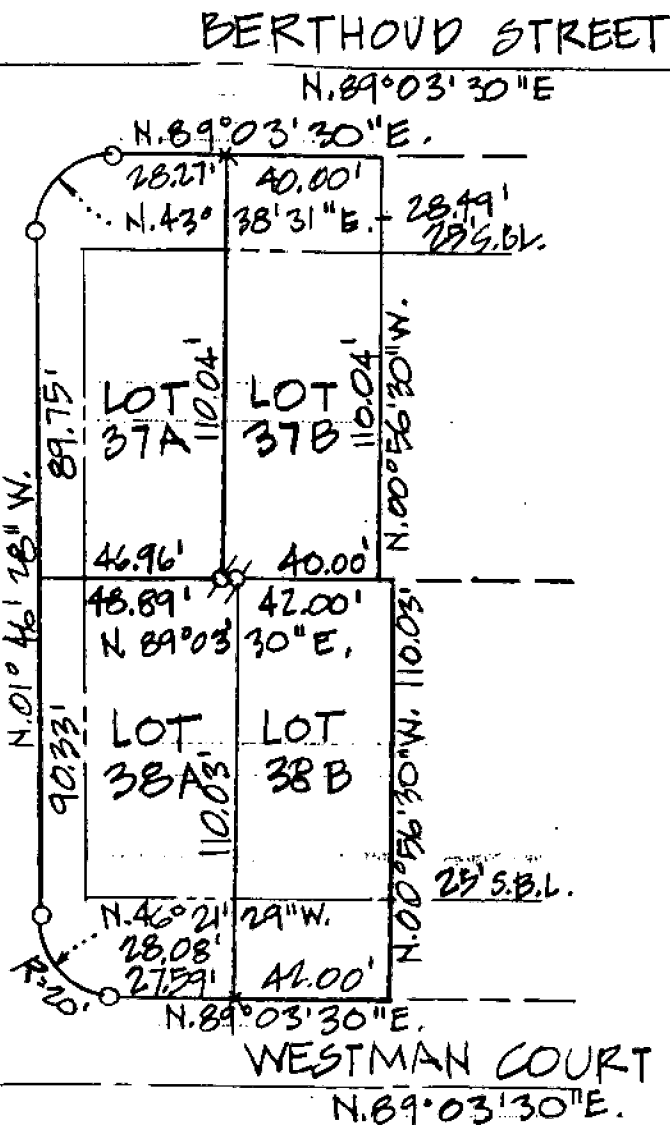
CERTIFICATE OF COMPLIANCE
MAP FOR
GLENWOOD PARK UNIT NO. 7B
LOTS 21A & 21B, 22A & 22B
CITY OF SACRAMENTO, CALIFORNIA

DRWN BY:	DATE:	JOB NO.	PLATE NO.
CHKD. BY: N.E.H.	DATE: MAY 84		

HAMPTON ENGINEERING
7537 WESTGATE DR. CITRUS HTS.

BAUMGART WAY

N.01°46'28" W.



Norman E. Hampton

LEGEND:

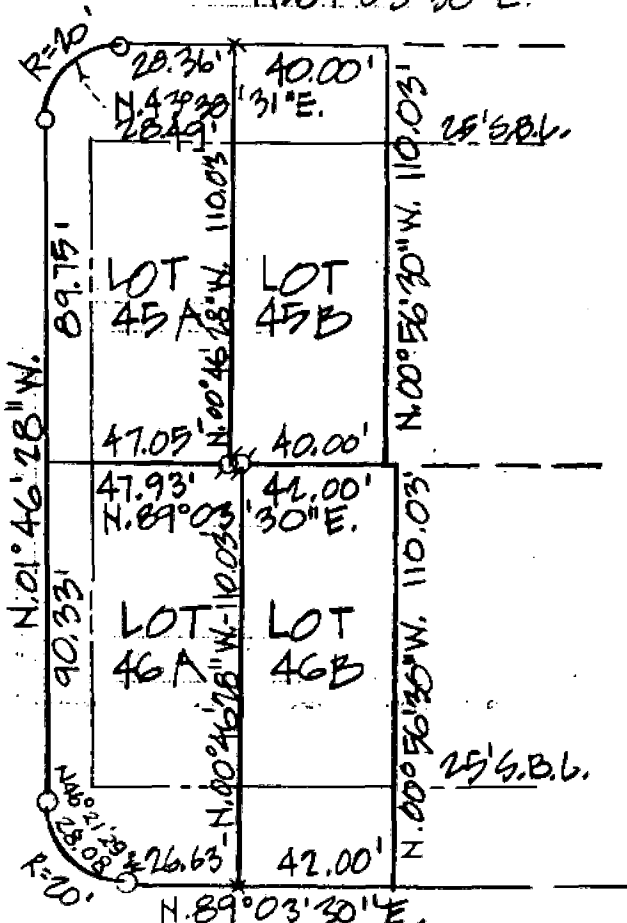
- ⊗ SET #5 REBAR TAGGED R.C.E. 11312
- x CHISELED "x" IN SIDEWALK

002272

CERTIFICATE OF COMPLIANCE			
MAP FOR			
GLENWOOD PARK-UNIT NO. 7B			
LOTS 37A & 37B AND LOTS 38A & 38B			
CITY OF SACRAMENTO, CALIFORNIA			
DRWN BY:	DATE:	JOB NO.	PLATE NO.
CHKD. BY: N.E.H.	DATE: MAY 84		5
HAMPTON ENGINEERING			
7537 WESTGATE DR., CITRUS HTS.			

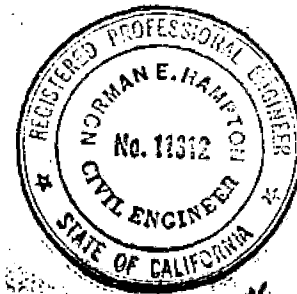
BAUMGART WAY

N. 01° 46' 28" W.



WESTMAN COURT

N. 89° 03' 30" E.



ME Hampton

BELL AVENUE

N. 89° 03' 30" E.

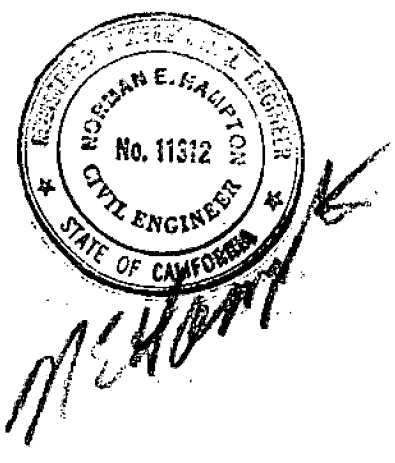
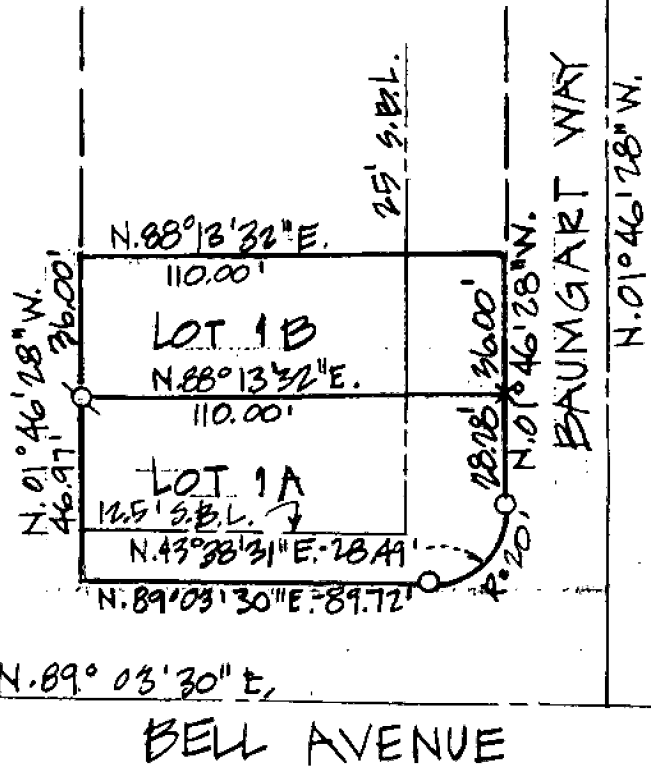
LEGEND:

- o SET #5 REBAR
- TAGGED R.C.E. 11312
- x CHISELED "X" IN SIDEWALK

002273

CERTIFICATE OF COMPLIANCE			
MAP FOR			
GLENWOOD PARK UNIT 7B			
LOTS 45A & 45B AND 46A & 46B			
CITY OF SACRAMENTO, CALIFORNIA			
DRWN BY:	DATE:	JOB NO.	PLATE NO.
CHKD. BY: N.E.H.	DATE: MAY 84		4
HAMPTON ENGINEERING			
7537-WESTGATE DR., CITRUS HTS.			

SCALE: 1" = 50'



N. 89° 03' 30" E,
BELL AVENUE

LEGEND:

- Q.....SET #5 REBARTAGGED R.G.E. 11312
- X.....CHISELED "X" IN SIDEWALK

002274

CERTIFICATE OF COMPLIANCE MAP FOR			
GLENWOOD PARK-UNIT NO.7B LOTS 1A & 1B CITY OF SACRAMENTO, CALIFORNIA			
DRAWN BY: CHKD. BY: N.E.H.	DATE: DATE: MAY 84	JOB NO.	PLATE NO. 5
HAMPTON ENGINEERING 7937- WESTGATE DR., CITRUS HTS.			