

CITY OF SACRAMENTO  
1231 I Street, Sacramento, CA 95814

Permit No: 0301762  
Insp Area: 4  
Thos Bros: 256-H6

Site Address: 150 ANJOU CR SAC  
Parcel No: 225-1770-080 WESTBOROUGH 7 LOT 60

Sub-Type: NSFR  
Housing (Y/N): N

CONTRACTOR  
JOHN LAING HOMES  
1536 EUREKA RD STE 100  
ROSEVILLE CA. 95661

OWNER

ARCHITECT

Nature of Work: MP1872 2 STORY 7 ROOM SFR

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 687596 Date 2/28/03 Contractor Signature N. Collins

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7031.5, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: NORTH PERMIT

Date \_\_\_\_\_ Owner Signature CENTER

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 2/28/03 Applicant/Agent Signature N. Collins

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier LUMBERMANS MUTUAL Policy Number 3BA16432400 Exp Date 04/15/2003

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 2/28/03 Applicant Signature N. Collins

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

### RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 150 Anjou Circle Assessor Parcel # 225-1770-080  
 Lot Number: 60 Subdivision Westborough Village #7

#### OWNER INFORMATION:

Legal Property Owner: John Laing Homes Phone# 780-1222  
 Owner Address: 1536 Eureka Road, #100, City Roseville, State Ca. Zip 95661

#### CONTRACTOR INFORMATION:

Contractor: John Laing Homes Lic. # 687596 Phone # 780-1222 Fax 780-2737

#### PROJECT INFORMATION:

Land Use Zone RIA Occupancy Group R3 Construction Type VN Fed Code 1A  
 No. of Stories: 2 No. of Rooms: 7 Street Width: \_\_\_\_\_  
 1<sup>st</sup> Floor Area 936 2<sup>nd</sup> Floor Area 936 Basement \_\_\_\_\_ Roof Material \_\_\_\_\_

AREA IN SQUARE FOOT OF:

Dwelling/Living	<u>1872</u>
Garage/Storage	<u>475</u>
Decks/Balconies	<u>100</u>
Carports	_____

SCOPE OF WORK: \_\_\_\_\_

FOR OFFICE USE ONLY

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

**THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT**

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
  - a) Assessor's Parcel Number
  - b) New Floor Area
  - c) Owners Name
  - d) Project Address



**F. RODGERS INSULATION  
RESIDENTIAL, INC.**

**THERMAL INSULATION CONTRACTORS**

Residential

**8459**

INSULATION  
CERTIFICATE

7775 LAS POSITAS ROAD · LIVERMORE, CA 94551  
(925) 294-9400 · FAX (925) 294-9475

1300 S RIVER RD. #125 · W. SACRAMENTO, CA 95691  
(916) 386-9400 · FAX (916) 386-9448

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

STREET 111H LOT# 60 TRACT # Plaisir

CITY Sac

EXTERIOR WALLS: MANUFACTURER 1/m THICKNESS/TYPE \_\_\_\_\_ R- VALUE 13

CEILING: BATS: MANUFACTURER 1/m THICKNESS/TYPE 12 1/2 R- VALUE 30

BLOWN IN: MANUFACTURER 1/m THICKNESS 12 1/2 R- VALUE 30

SQUARE FOOTAGE COVERED 651 NUMBER OF BAGS USED 15

FLOORS & OVERHANGS: MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R- VALUE \_\_\_\_\_

OTHER: MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R- VALUE \_\_\_\_\_

GENERAL CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_

CALIFORNIA CONTRACTORS LICENSE # \_\_\_\_\_

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_

INSULATION CONTRACTOR F. RODGERS INSULATION RESIDENTIAL

CALIFORNIA CONTRACTORS LICENSE #771285

DATE 10/15/03

SIGNATURE otbis TITLE \_\_\_\_\_

White - Customer Copy Yellow - Invoice Copy Pink - Field Copy Gold - Office Copy

# KwikKote

No. 200-915237

## Stucco System Installation Card

Job Name: PLAISIR @ WESTBOROUGH  
Address: 150 ANJOU CIR.

Lot #: 0000060

Stucco System Trade Name: KWIK KOTE  
Stucco System Manufacturer: KWIK KOTE CORP.

ICBO Evaluation Service, Inc.  
Report No. 3607  
Date of Job Completion:

Home Builder: JOHN LAING HOMES  
Address: 1544 EUREKA RD SUITE 250  
ROSEVILLE, CA

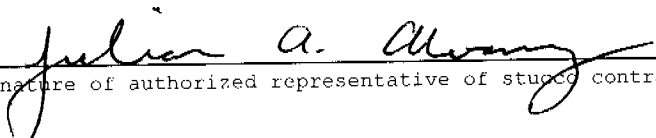
Stucco Contractor: KENYON PLASTERING, INC.  
Address: PO BOX 2077  
North Highlands, CA

Telephone Number: 916/349-8191

Approved Contractor Number as  
issued by the Stucco Manufacturer: 1001

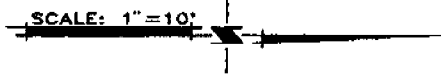
Card Print Date: 05/08/2003

This is to certify that the stucco system on the building exterior at the above address had been installed in accordance with the evaluation report specified above and the manufacturer's instructions.

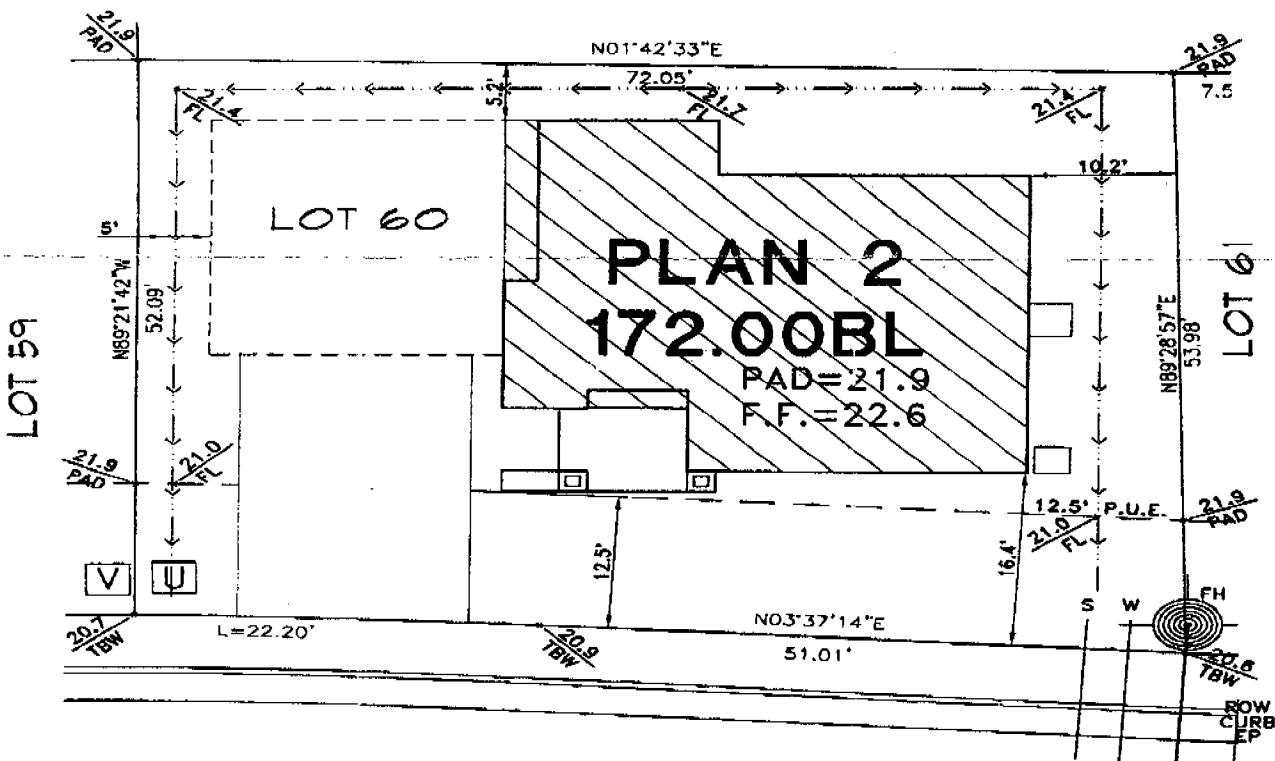
  
\_\_\_\_\_  
Signature of authorized representative of stucco contractor

10-1-03  
\_\_\_\_\_  
Date

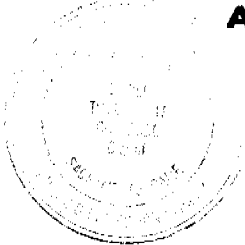
THIS PLOT PLAN IS NOT FOR SALES PURPOSES. THIS PLOT PLAN IS FOR THE PURPOSES OF INDICATING COMPLIANCE WITH ZONING SET BACKS, GENERAL DRAINAGE DIRECTION, AND APPROXIMATE UTILITY CONNECTION. ALL OTHER DATA SHOWN HEREON IS CONCEPTUAL. THIS PLOT PLAN DOES NOT REFLECT AS-BUILT CONDITION, RETAINING WALLS ARE OPTIONAL AND MAY OR MAY NOT BE CONSTRUCTED.



LOT 65



ANJOU CIRCLE



THE CITY ENGINEER HAS REVIEWED THIS PLOT PLAN AND FINDS IT COMPLIES WITH THE CITY ZONING ORDINANCES AND THE CITY ENGINEERING SPECIFICATIONS. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLOT PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLOT PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

LEGEND

- ▣ = UTILITY TRANSFORMER
- ⊞ = UTILITY SERVICE BOX
- ⊞ = UTILITY PEDESTAL
- ⊞ = UTILITY VAULT
- ⊞ = DRAINAGE INLET
- ⊞ = STREET LIGHT
- ⊞ = FIRE HYDRANT

LOT COVERAGE: 37.5%  
LOT AREA: 3834 S.F.  
ADDRESS: 150 ANJOU CIRCLE

**PLOT PLAN**  
**LOT 60**  
**WESTBOROUGH VILLAGE 7**

CITY OF SACRAMENTO CALIFORNIA

**WOOD ROGERS**  
ENGINEERING - PLANNING - SURVEYING  
5281 E. BURNETT BLVD., 1000 S. SACRAMENTO, CA 95819  
PHONE: (916) 341-7958 FAX: (916) 341-7959

DATE: 01-03-03	DRAWN: FJ	CHECKED: T2M	PROJECT NO: 1122.045
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File: J:\WOODS\WESTBOROUGH\VILLAGE 7\CIVIL\PLOT PLANS\LOT\_060.DWG Last edited: 01/03/03 by: rshilinsky