

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 9810362

Insp Area: 2

Site Address: 1208 47TH AV SAC

Parcel No: 0240292001

Sub-Type: NGAR

Housing (Y/N): N

CONTRACTOR

TUFF SHED INC
3202 ORANGE GROVE
NORTH HIGHLANDS CA

95660

OWNER

GREENER NEIL
1208 47TH AV
SACRAMENTO CA

95831

ARCHITECT

Nature of Work: NEW DETACHED GARAGE (IN AR FLOOD ZONE) NO DRIVEWAY OR CURB CUT

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 661-664 Date 11-20-98 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 11-20-98 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier TRAVELERS INS. Policy Number JB-7546940 Exp Date 7-1-99

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 11-20-98 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

FLOOD ZONE DETERMINATION

FLOOD ZONE: AR (19)

Date: _____

1. Name of Owner(s): _____

2. Address: 1208 47th AVE

3. City: _____ State: _____ -Zip Code: _____

4. FIRM: Community, Panel Number: 060266 / 0025 F / July 6, 1998

5. APN Number: 024-0292-001

6. Location of Property: _____

Chad M. Lynn

NOV 20 1998

A/R FLOOD ZONECITY OF HAWAII
DEVELOPMENT SERVICES DIV.General Residential Construction Requirements

Residential construction in an A/R flood zone requires certain specialized construction features that are mandated by federal law. The purpose of these requirements is so that buildings constructed in the flood zone are able to withstand a specified flood level without incurring any damage. The specified flood levels vary, and will either be 3', or the Base Flood Elevation (BFE) at the specific site, whichever is less. Additional information regarding construction in flood zones is available at the building department. The following are some of the basic construction requirements:

- a. The finish floor has to be either 3' above the highest grade that is adjacent to the house, or above the BFE, whichever is less.
- b. All materials that are not higher than 3' above adjacent grade or the BFE must be water resistant. Some approved water resistant materials are concrete, metal, ~~construction heart grade redwood~~, pressure treated douglas fir lumber, pressure treated exterior plywood, and marine plywood. These requirements apply to doors and door jambs as well. Exterior grade plywood, douglas fir lumber, and standard redwood are not acceptable. In order to use standard 3/4" exterior grade plywood (not pressure treated) for the floor, the plywood must be above the flood level. Under-floor ducting is not considered water resistant.
- c. All mechanical equipment, including HVAC equipment and hot water heaters, has to be above the flood level.
- d. Insulation below the flood level has to be closed cell type and ICBO approved. This may not be available.
- e. The house and garage must meet flow-thru requirements, to eliminate pressure from potential floodwaters. Provide 1 sq. in. of vent in the foundation for every 1 sq. ft. of floor area. Space these vents evenly around the house, preferably on 2 opposing sides. The bottom of the vents must not be greater than 12" above the adjacent grade. Use 1/4" screen over the vents, and include a 10% reduction factor in the area calculation for the screening. Show the flow-thru calculations on the plans. Indicate the size and location of all vents. Provide a typical vent detail.
- f. Interior stem walls have to meet the flow-through requirement.
- g. Provide a detail of the vents to be used. Nominal sizes of pre-screened metal vents have a net area substantially less than the nominal dimensions.
- h. All garage framing, sheathing, siding, doors, overhead doors, and garage cabinets below the flood level have to be water resistant.

**City of Sacramento Development Services Division
Planning and Zoning Information Request**

Project Address: 1208 47TH AVE

Assessor's Parcel Number: 024-0292-001

Current Land Use: R35

Description of Request/Proposed Use: _____

NEW 20 X 20 GARAGE

Zoning Designation: R-1

Prior Applications for Project Site(P#,Z#,DRPB#): _____

Comments: Setbacks + lot coverage
O.K

Are There Any Planning Issues?: (Circle One) YES NO

Site Plan Check Required? (Circle One) YES NO

Design Review/ Preservation Required?: (Circle One) YES NO

Planning Review by/Date: [Signature] 10.16.20

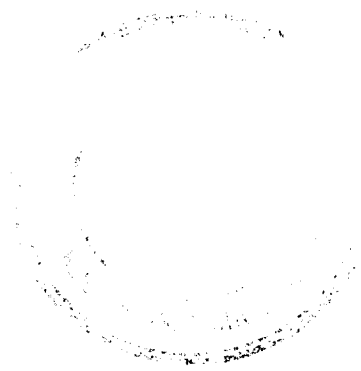
A list of items that must be reviewed by Planning is provided on the reverse side of this form.

NEIL GREENER
1208 47TH AVE.
SACRAMENTO, CA. 95831

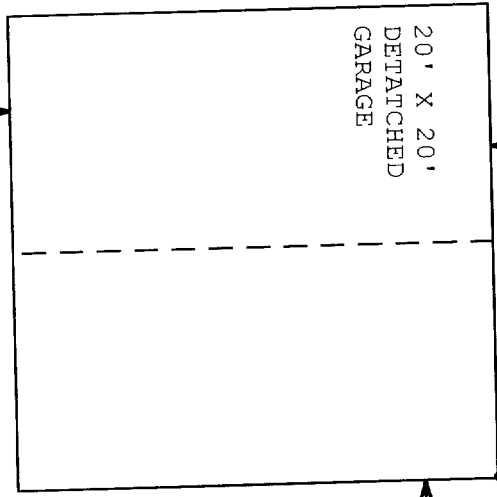
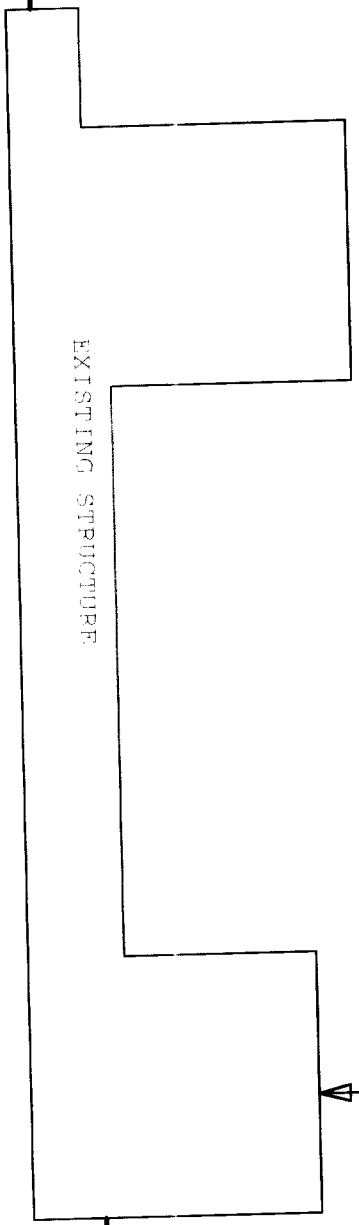
(916) 421-6194

1208 47th Ave
Sacramento, CA 95831
M... ..

Faint, illegible text, possibly a stamp or official notice.



EXISTING STRUCTURE



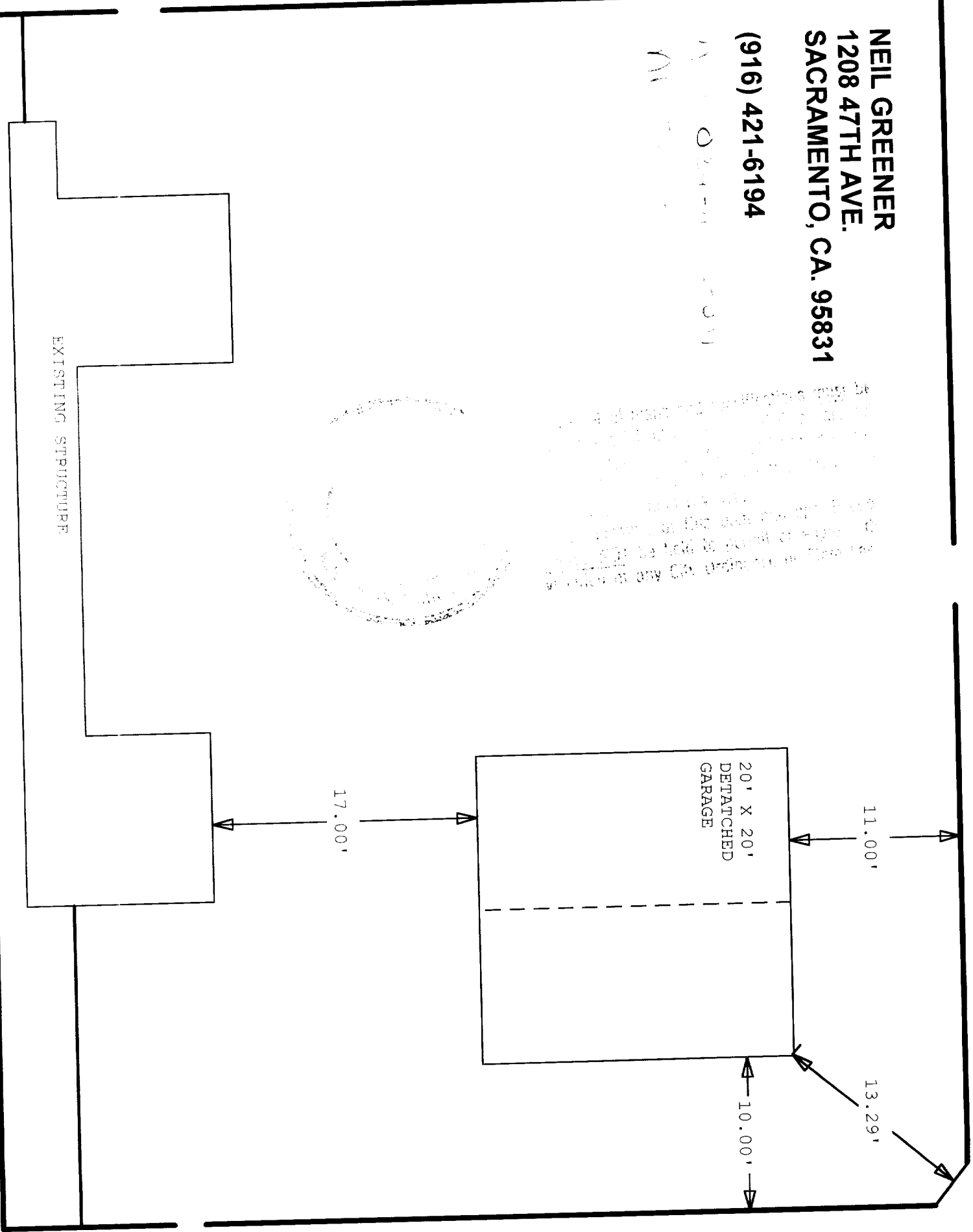
20' X 20'
DETACHED
GARAGE

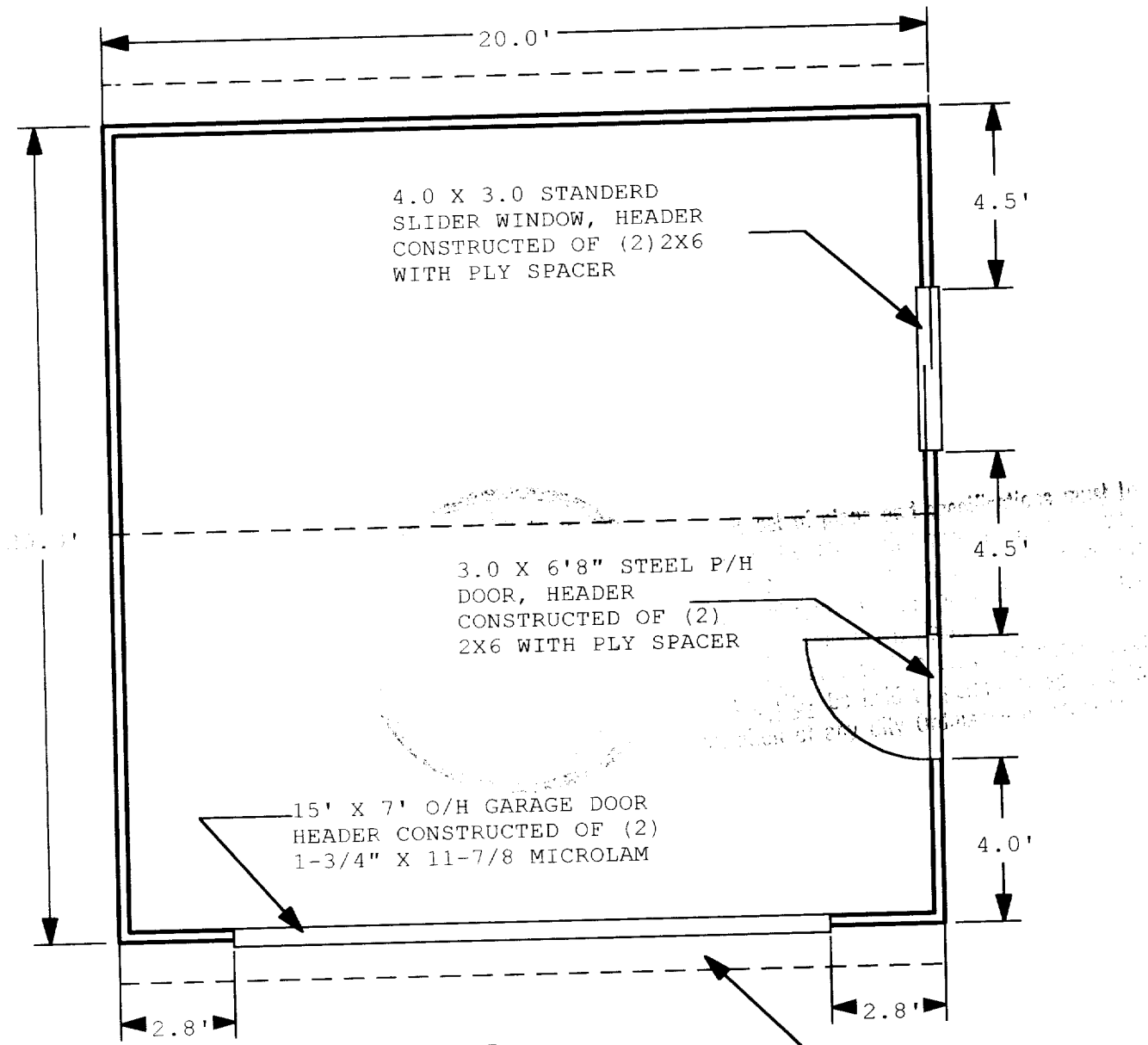
17.00'

11.00'

10.00'

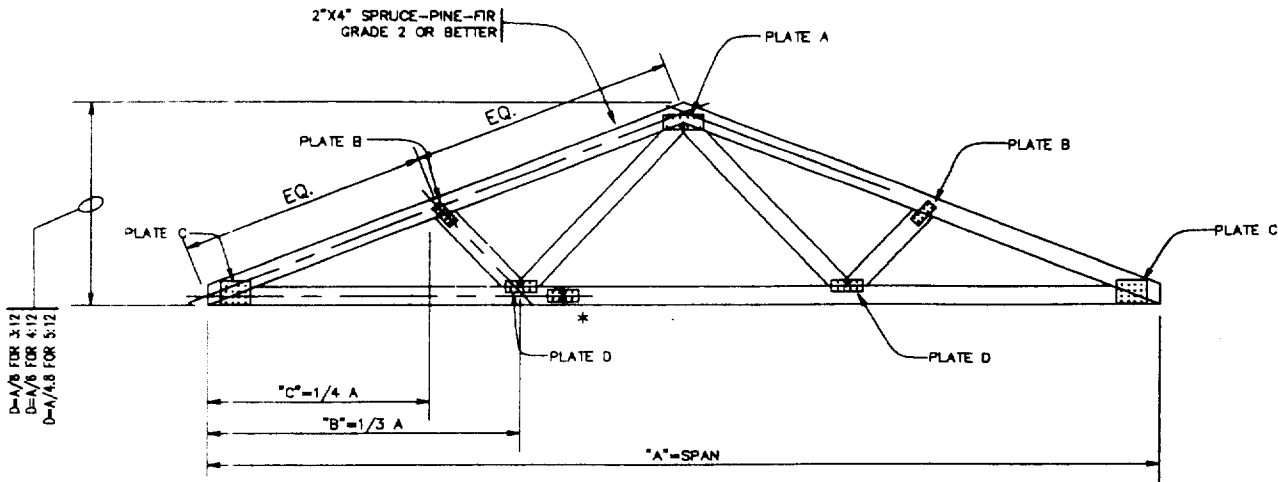
13.29'





12" EAVE WITH SOFFIT

NEIL GREENER
1208 47TH AVE
SACRAMANTO, CA. 95831
(916) 421-6193



4 ROOF TRUSS SCHEDULE

N.T.S.

MAXIMUM ALLOWABLE ROOF LIVE LOADS TRUSS SPAN

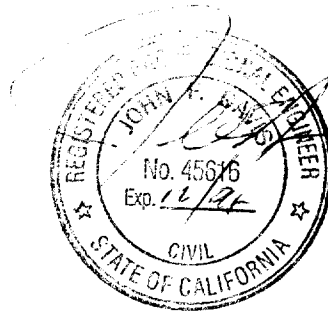
PITCH	SPACING AT 24"								
	12'	14'	16'	18'	20'	22'	24'	28'	30'
3:12	80	60	40	40	35	30	25	—	—
4:12	100	85	70	60	50	45	40	35	30
5:12	100	95	70	60	50	50	40	35	35

PITCH	SPACING AT 16"								
	12'	14'	16'	18'	20'	22'	24'	28'	30'
3:12	100	100	80	55	50	45	40	35	30
4:12	100	100	100	90	75	75	60	55	50
5:12	100	100	100	90	75	75	65	55	50

- NOTES:
- FOR 30' PSF LL PROVIDE TRUSS SPACING @ 19.2" O.C. FOR 24' SPAN ONLY
 - NOTED SPAN IS NOMINAL
 - LIVE LOAD IS NON-REDUCED SNOW
 - PROVIDE SIMPSON H5 TIE-DOWN CLIPS AT EACH TRUSS BRG. OR APPROVED EQUAL FOR 450 LB UPLIFT.
 - TRUSS FRAMING TO BE SPRUCE-PINE-FIR GRADE 2 OR BETTER
 - F_b = 875 PSI (SINGLE MEMBER)
 - F_t = 425 PSI
 - F_v = 70 PSI
 - F_c = 1100 PSI PARALLEL
 - E = 1,400,000 PSI

CONNECTION PLATE (NOMINAL) OR EQUIV.				
PLATE A	PLATE B	PLATE C	PLATE D	PLATE E
5X6	2X3	4X10	3X6	3X8

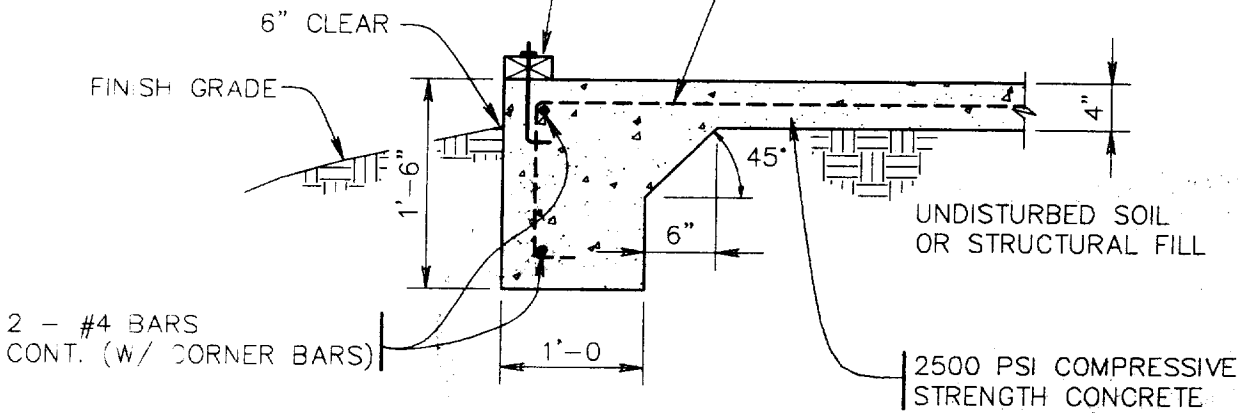
• SPLICE PLATES ALLOWED ● TRUSS JOINTS ONLY




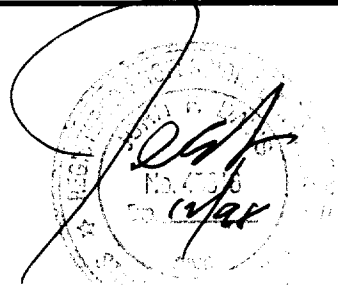
TITLE:	STANDARD TRUSS	PROJECT NO: 2585
	TUFF SHED, INC. 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833	DATE: 8/28/96
	RICHARD WEINGARDT CONSULTANTS	DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: TRUSS-1

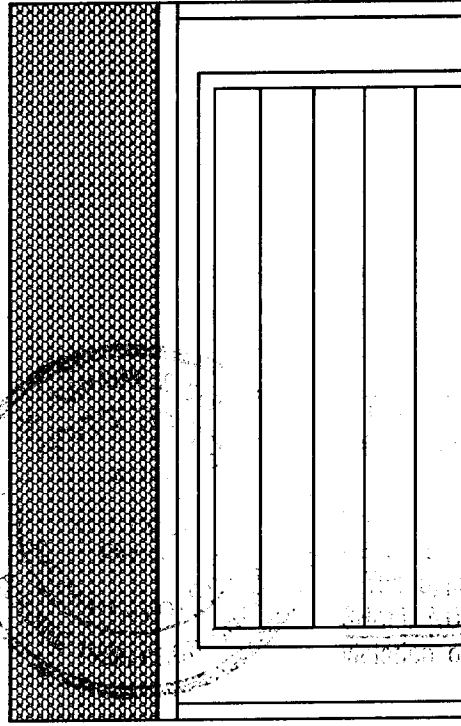
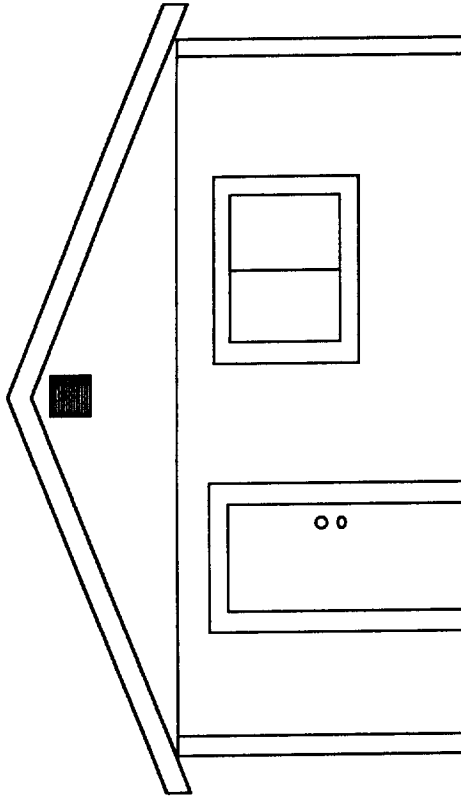
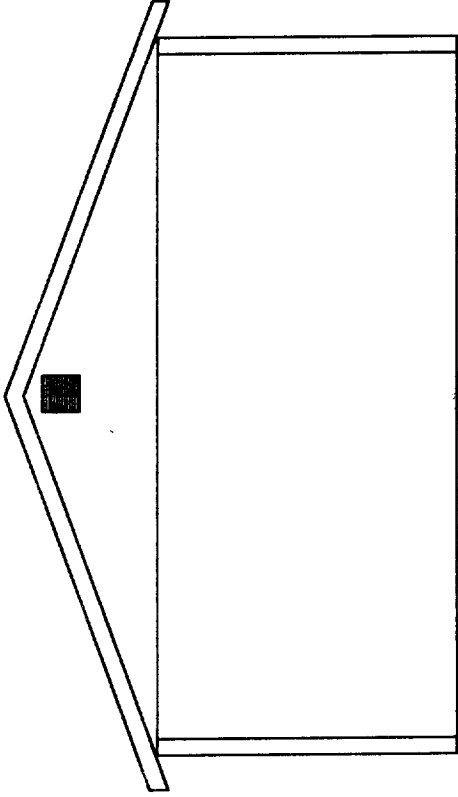
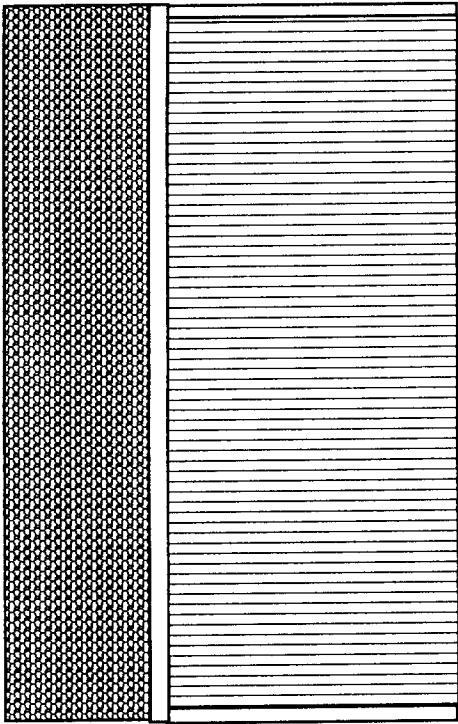
2"X4" SOLE PLATE - PRESSURE TREATED WOOD WITH 1/2" DIA. X 10" ANCHOR BOLTS (U.O.N.) OR EQUIVALENT DRILLED ANCHORS - MINIMUM TWO PER PIECE AND END BOLTS WITHIN 12" OF END OF SILL PLATES, AND AT 4'-0" O.C. MAX.

OPTIONAL SLAB REINFORCEMENT 6"X6" - 10/10 WWM OR FIBERMESH CONCRETE IF REQUIRED BY LOCAL CODES.



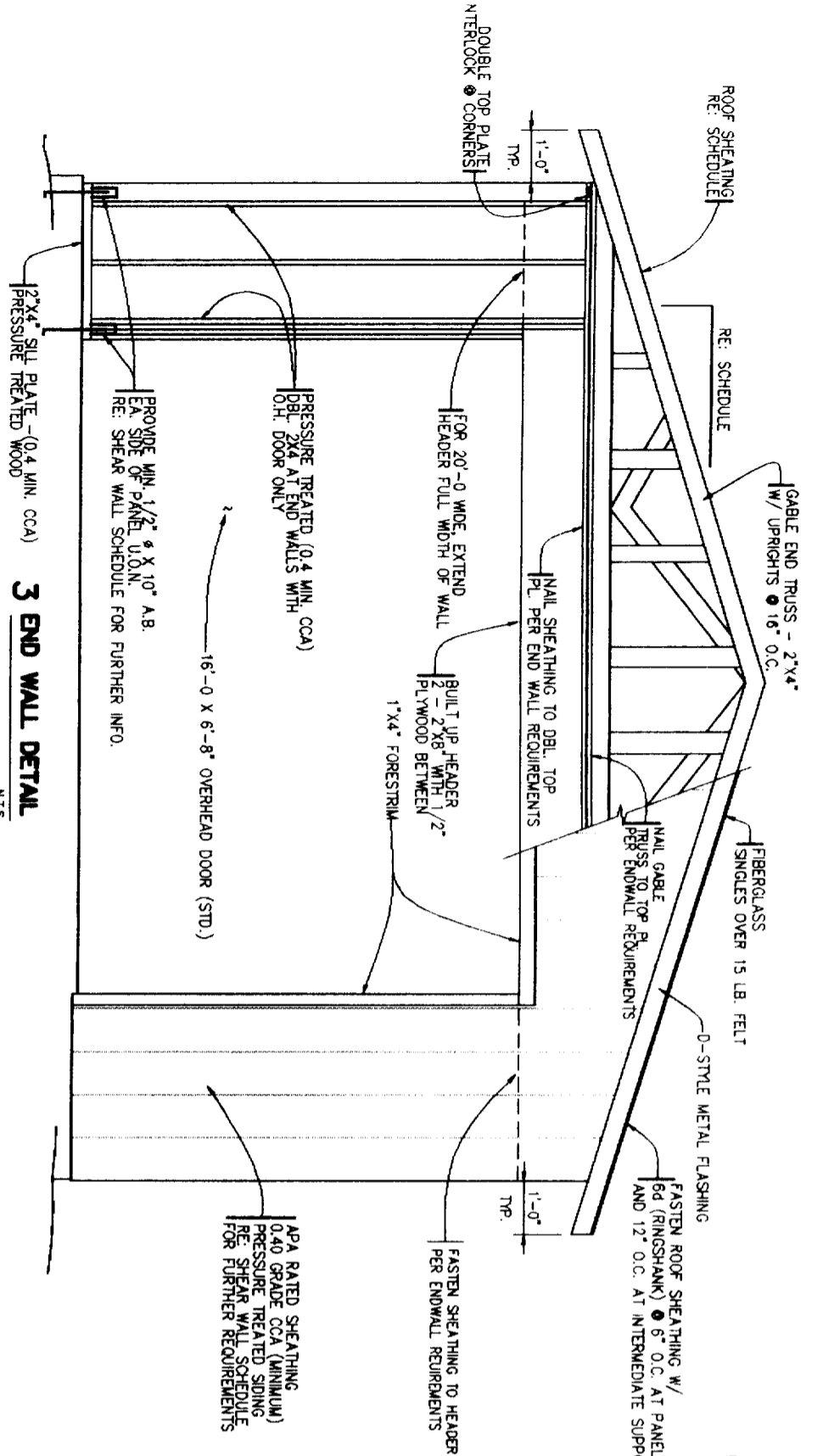
TITLE: FOUNDATION DETAIL	 RICHARD WEINGARDT CONSULTANTS	PROJECT NO: 2585
TUFF SHED, INC. 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DATE: 10/2/98
		DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: F-2





**NEIL GREENER
1208 47TH AVE.
SACRAMENTO, CA. 95831**

(916) 421-6194



SHEAR WALL SCHEDULE				
BUILDING WIDTH	BUILDING LENGTH	SHEATHING	FASTENING PATTERN	HOLD-DOWNS
20'-0"	≤ 24'-0"	(1) SIDE	6d @ 6" O.C.	PH02
	24'-0" ≤ 28'-0"	(1) SIDE	6d @ 4" O.C.	PH05
	28'-0" ≤ 36'-0"	(2) SIDES	6d @ 4" O.C.	PH05
24'-0"	≤ 28'-0"	(1) SIDE	6d @ 8" O.C.	PH02
	28'-0" ≤ 36'-0"	(1) SIDE	6d @ 4" O.C.	PH02
	36'-0" ≤ 48'-0"	(2) SIDES	6d @ 4" O.C.	PH02

- LIVE LOADS: RE: SCHEDULE
- ALL CONSTRUCTION TO BE PER 1997 U.B.C. UNLESS OTHERWISE NOTED
- WOOD FRAMING
 - RE: TRUSS DETAIL FOR FRAMING
 - TRUSS CONNECTOR PLATES BY EAGLE METAL
 - ALL FRAMING MEMBERS SHALL BE HEM-FIR NO. 2 GRADE OR BETTER WITH THE FOLLOWING DESIGN VALUES
 $F_b = 875 \text{ PSI}$
 $F_v = 425 \text{ PSI}$
 $E_c = 1,400,000 \text{ PSI}$
 FC = 1100 PSI PARALLEL
 EC = 1,400,000 PSI
- ROOF SHEATHING SHALL BE PER SCHEDULE STAGGER LAYOUT (APA COND 1)
- NAILING SCHEDULE
 - 20' YEAR FIBERGLASS SHINGLES
 - 15 lb. ROOFING FELT
 - TYPE D METAL FLASHING AND DRIP EDGES REQUIRED ALL SIDES (ROOF GUTTERS AND DOWNSPOUTS REQUIRED FOR UNITS LARGER THAN 400 S.F.)

DESIGN SCHEDULE

BUILDING ADDRESS: _____

BUILDING SIZE: _____

WIDTH: _____

LENGTH: _____

HEIGHT: _____

ROOF LIVE LOAD: _____

DESIGN WINDLOAD: 85 MAX. EXP. B

ROOF TRUSS TYPE: _____

ROOF PITCH: _____

DETAIL SHEETS REQUIRED: _____

ROOF SHEATHING SCHEDULE

APA STRUCTURAL I OR II

PANEL THICKNESS = 1 5/32"

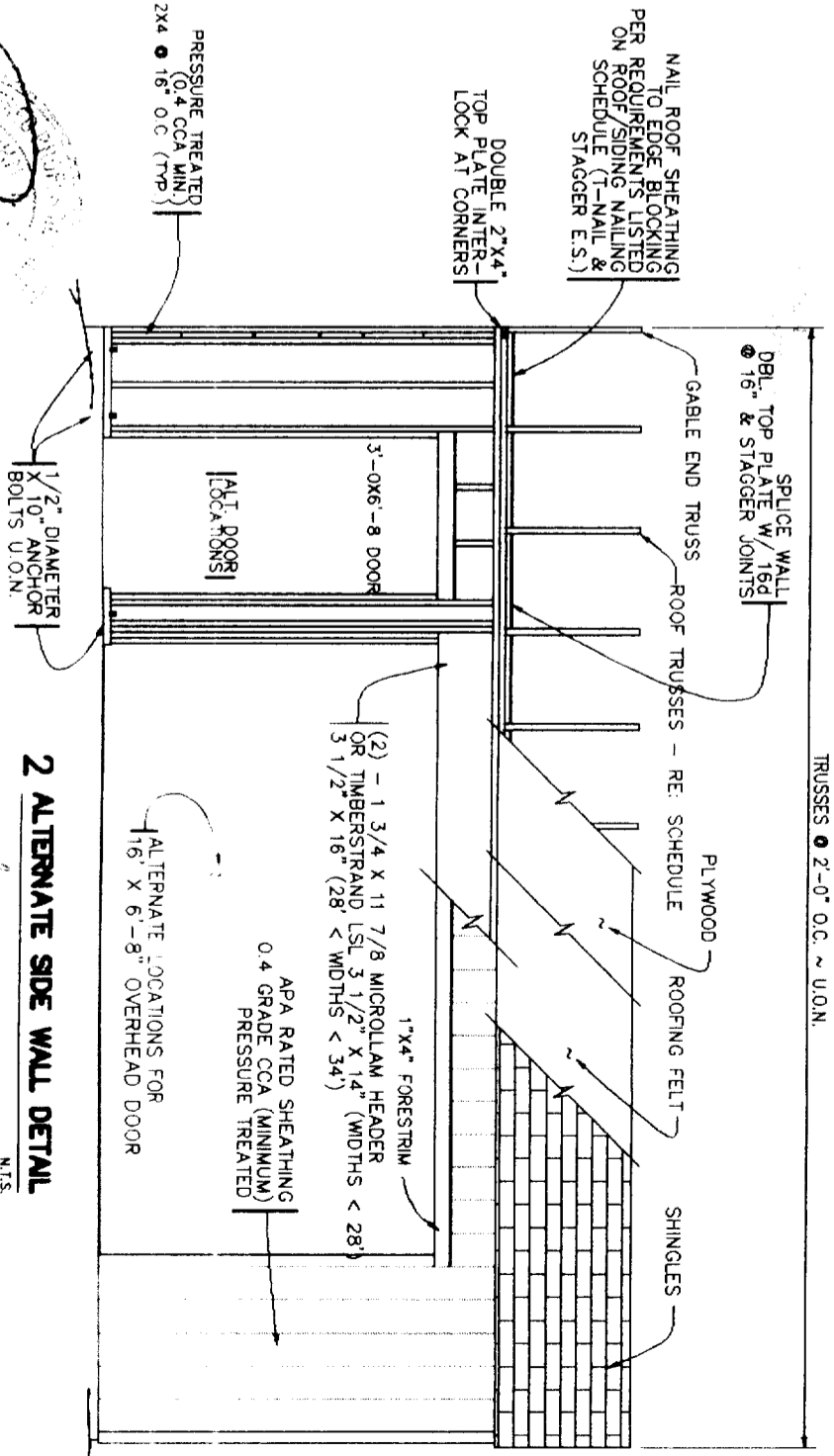
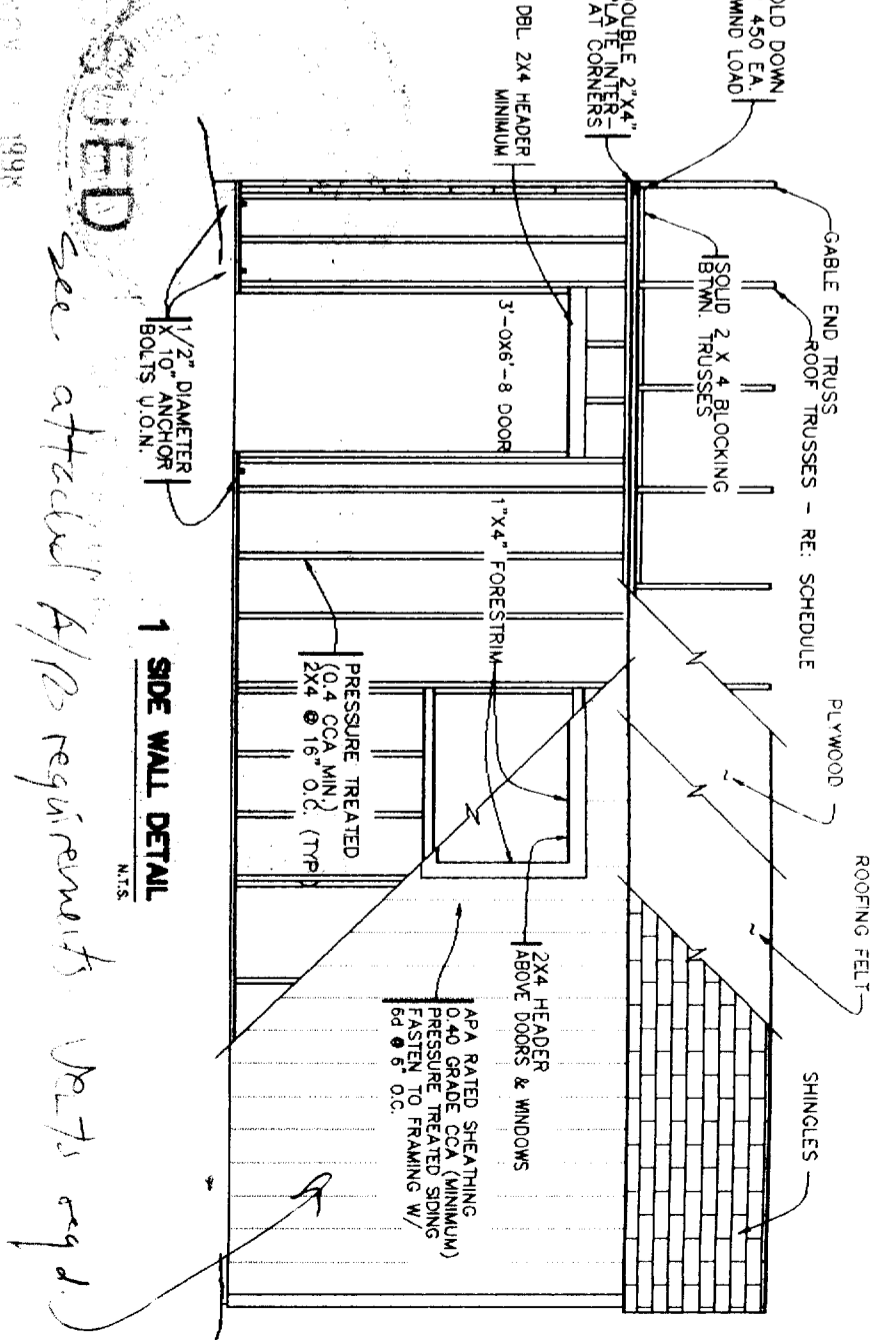
SPAN RATING 24/16

LONG DIM. PERPENDICULAR TO TRUSSES

FOR U-2 35 PSF @ 24" SPAN

USE 3/2" P.W. WITH 8d @ 6"

SUPPORT NAILING SPAN RATING 48/24



TUFF SHED, INC.

1777 S. HARRISON STREET SUITE 600
DENVER, CO 80210
(303) 753-8833

RICHARD WEINGART CONSULTANTS

PROJECT NO. 2585

DATE: 5/4/96

DRAWN BY: DB

CHECKED BY: JD

REF. DWG: SHED-1

Approved by Mark P. 5/12/98

REQUIRED

See attached A/Ps requirements (see pg. 1)