

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0100209**

**Insp Area: 4**

**Site Address: 2236 ABLE WY SAC**  
Parcel No. 225-0114-026

Sub-Type: RES  
Housing (Y/N): N

CONTRACTOR  
PETKUS BROS  
3068 SUNRISE BL  
RANCHO CORDOVA CA

OWNER  
CONARD SATURNIO  
2236 ABLE WAY  
SACRAMENTO CA 95035

ARCHITECT

**Nature of Work: PATIO ENCLOSURE**

**CONSTRUCTION LENDING AGENCY:** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 670242 Date 01-05-01 Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project and I am not a contractor as defined in the Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law)

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 01-05-01 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 713-00 0000502 Exp Date 10/01/2001

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 01-05-01 Applicant Signature [Signature]

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

Date of Request: \_\_\_\_\_

By: \_\_\_\_\_

**CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION  
PLANNING AND ZONING INFORMATION REQUEST**

Project Address: 2236 Able Way

Assessor's Parcel Number: 225-1140-026

Previous Use: exist. residence

Description of Request/Proposed Use enclosed patio

Is This a Change of Use? no

Prior Applications for Project Site(P#, Z#, DRPB#): PDSP Zoning Designation: R-1-PUD

Comments: meets setback & lot coverage

Are There Any Planning Issues?: (circle one) YES  NO

\* Staff Site Plan Check Required? (Circle one) YES  NO

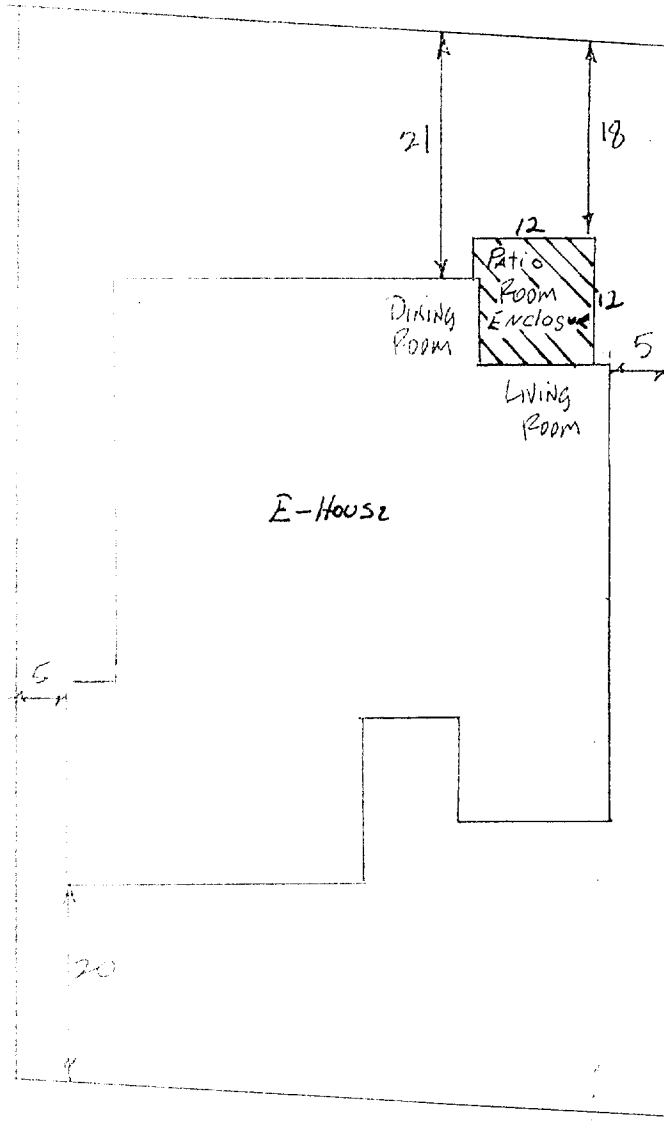
\* Field Inspection Required? (Circle one) YES  NO

\* Design Review/Preservation Required?: (Circle one) YES  NO

Planning Review by/Date: Paul Reed 1/5/01

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

7766 ABLE WAY  
SAC, CAL 95035

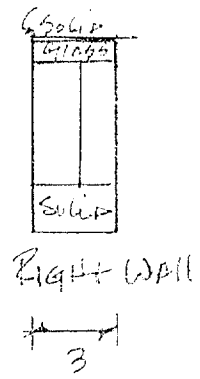
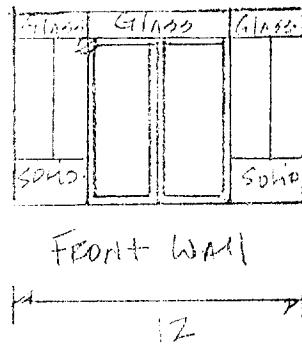
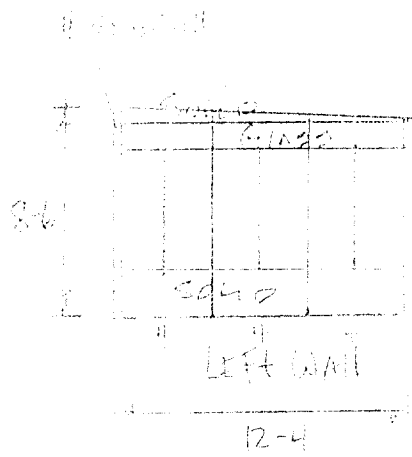
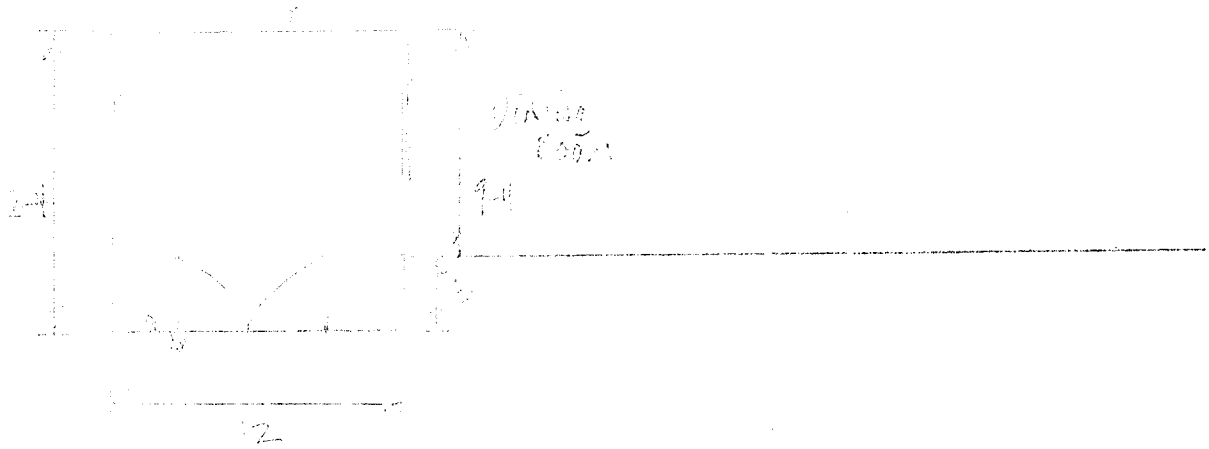
Watt P. 1/5/01

**ISSUED**

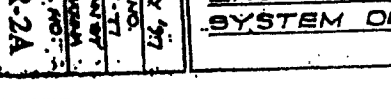
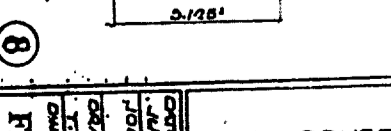
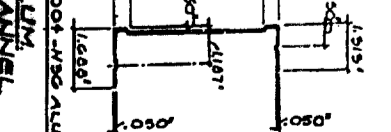
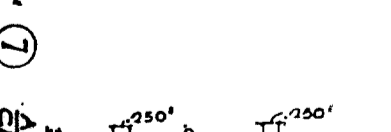
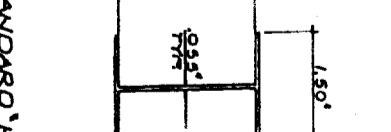
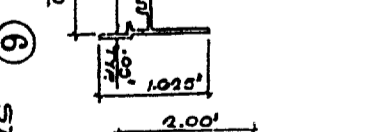
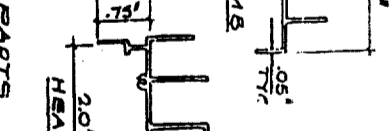
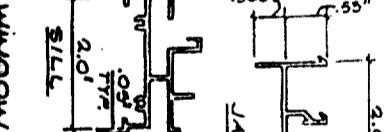
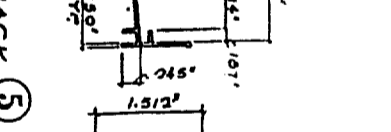
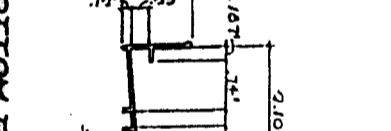
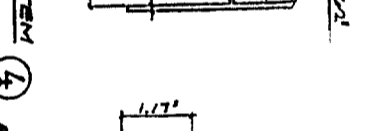
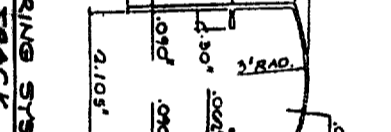
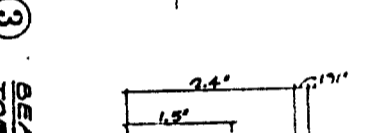
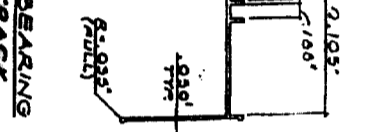
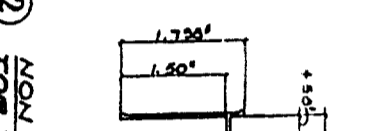
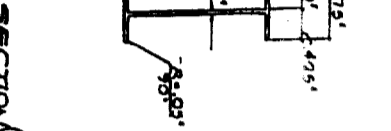
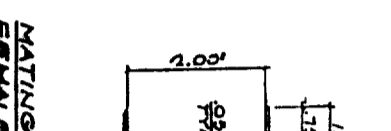
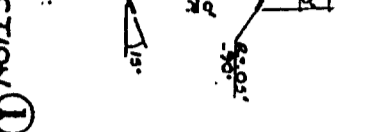
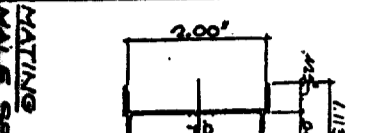
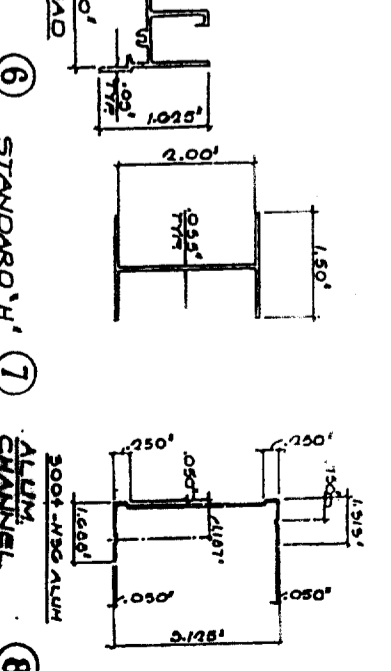
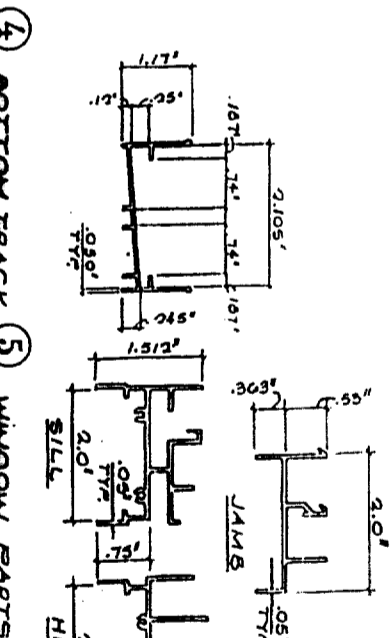
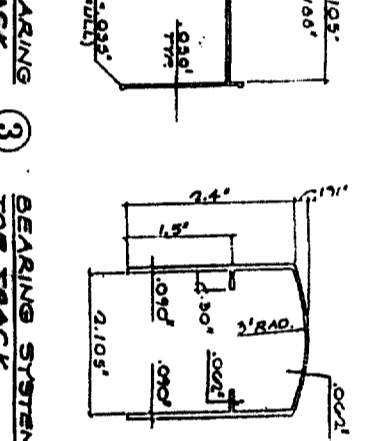
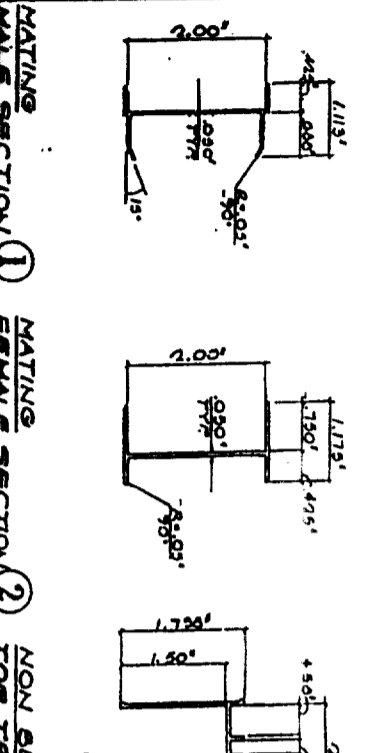
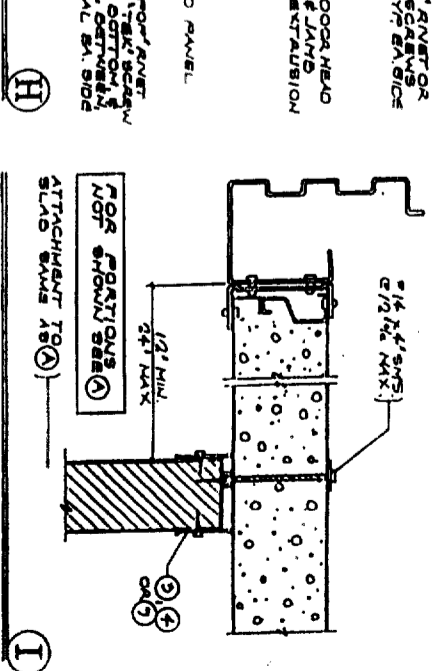
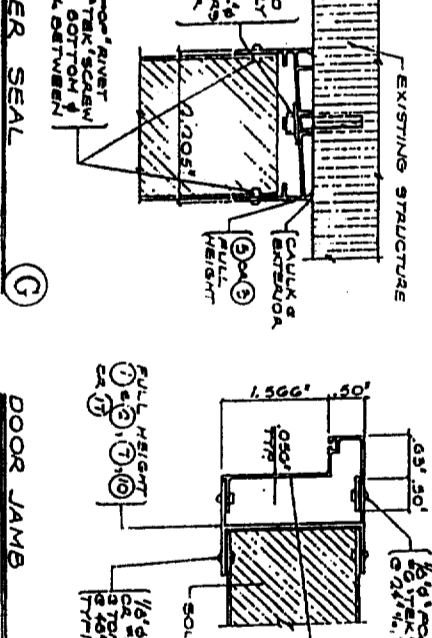
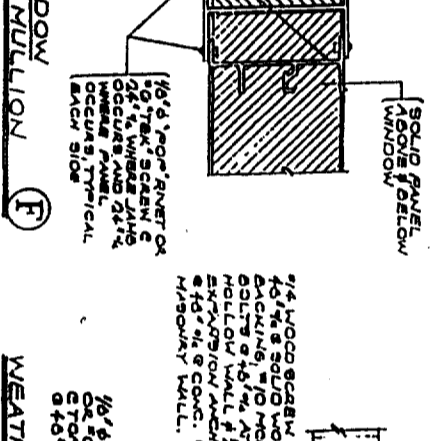
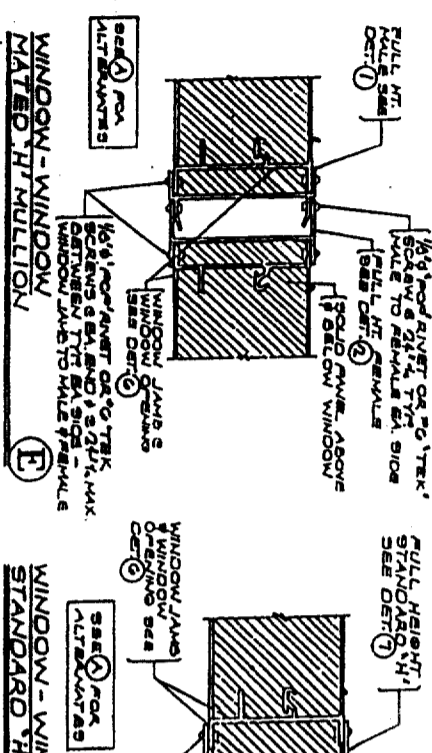
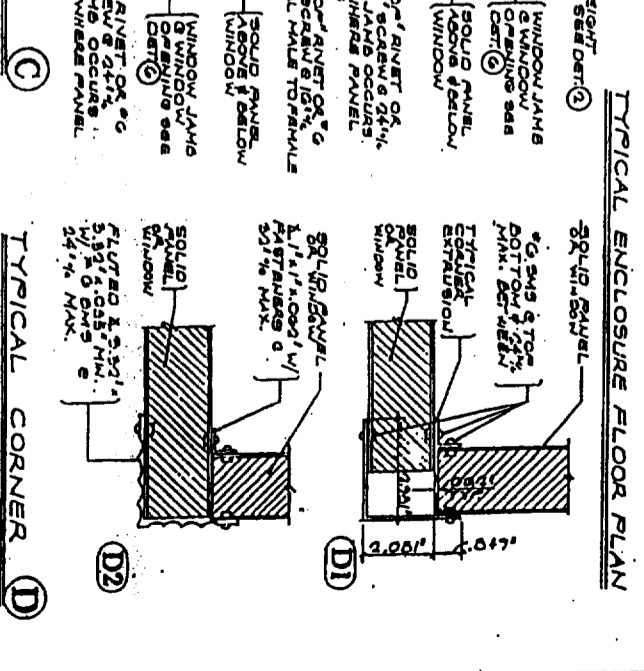
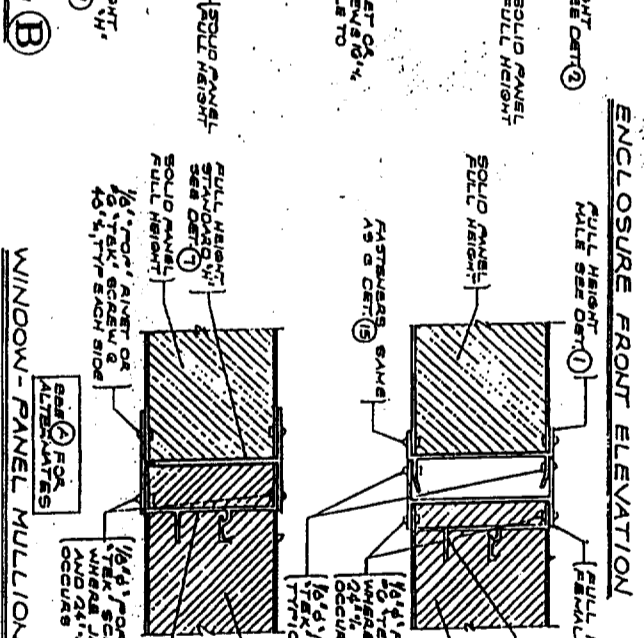
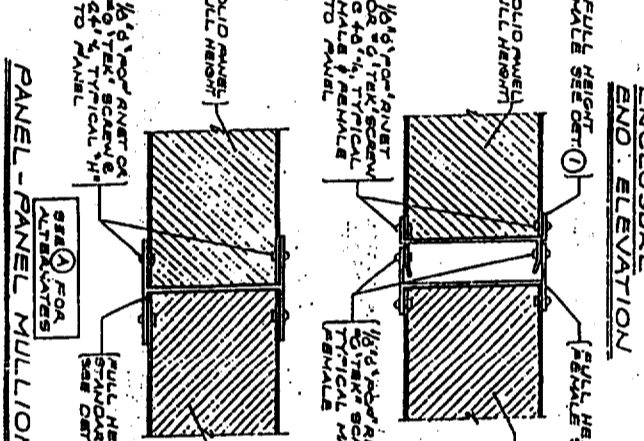
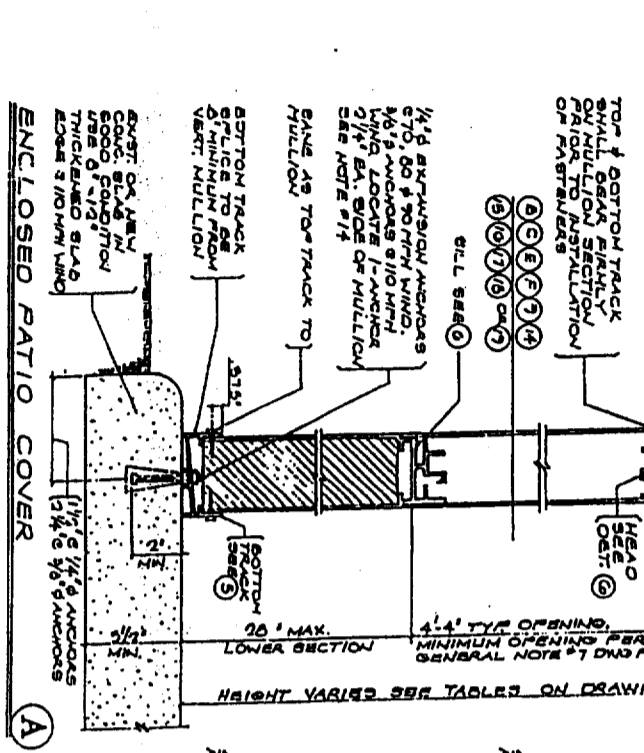
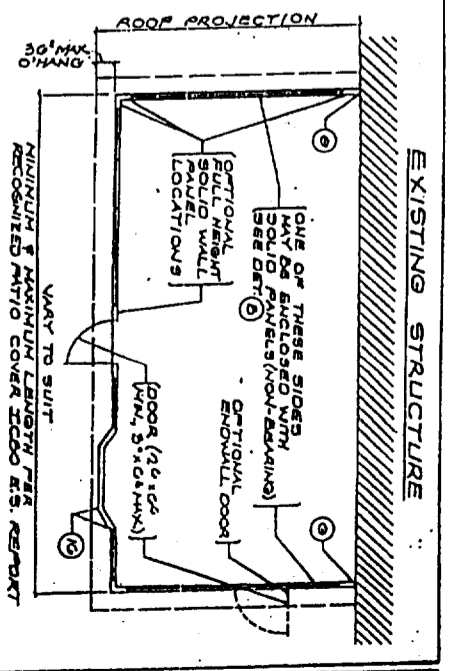
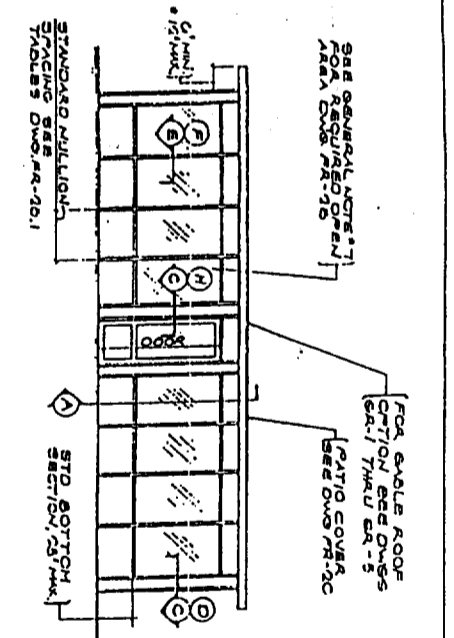
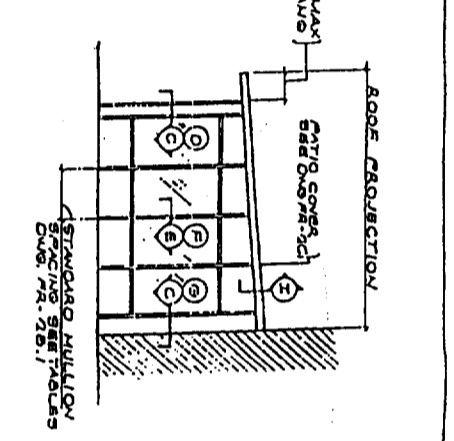
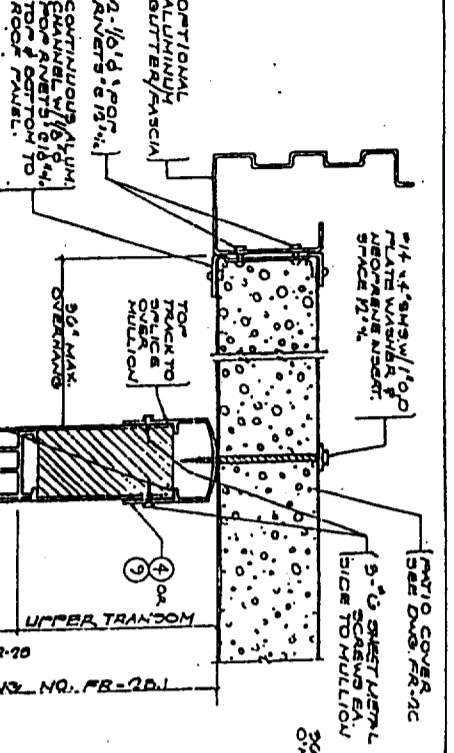
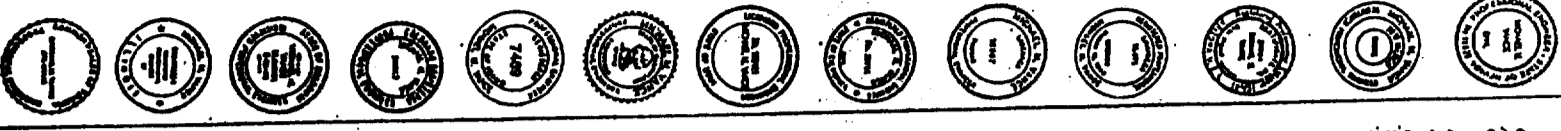
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Sacramento Building Division

Stucco Wall (bottom) - Stucco Wall



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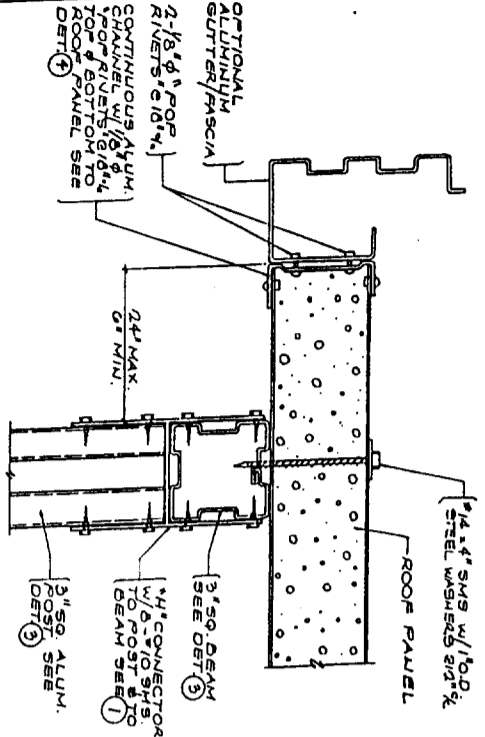
**AMTET BUILDING PRODUCTS, INC.**  
 227 S. Town East Blvd., Memphis, TX 75109  
 P.O. Box 830161, Memphis, TX 75185-0161  
 Telephone: 214-285-8811 Fax: 214-682-8843



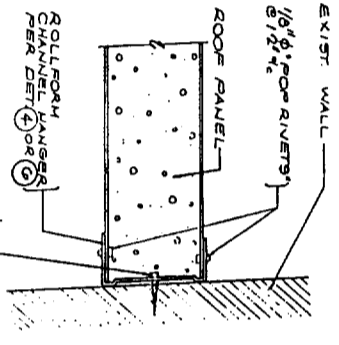
**ICBO EVALUATION SERVICE INC. REPORT**  
 NO. 5190-P

**AMTET, YANCO & ASSOC. INC.**  
 1001 W. 10th St., Dallas, TX 75201  
 Phone: 214-766-1111

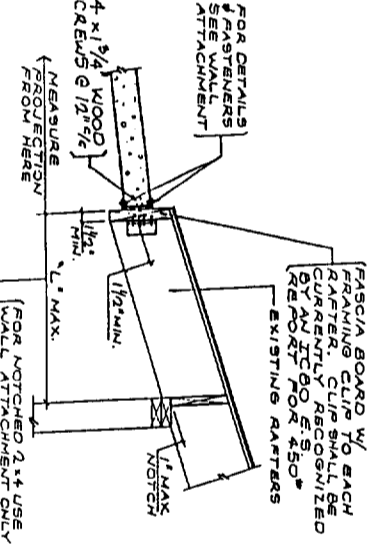
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 DRAWN BY: J. B. BRYAN  
 DATE: 10/10/87  
 FR-2A  
 1 OF 5



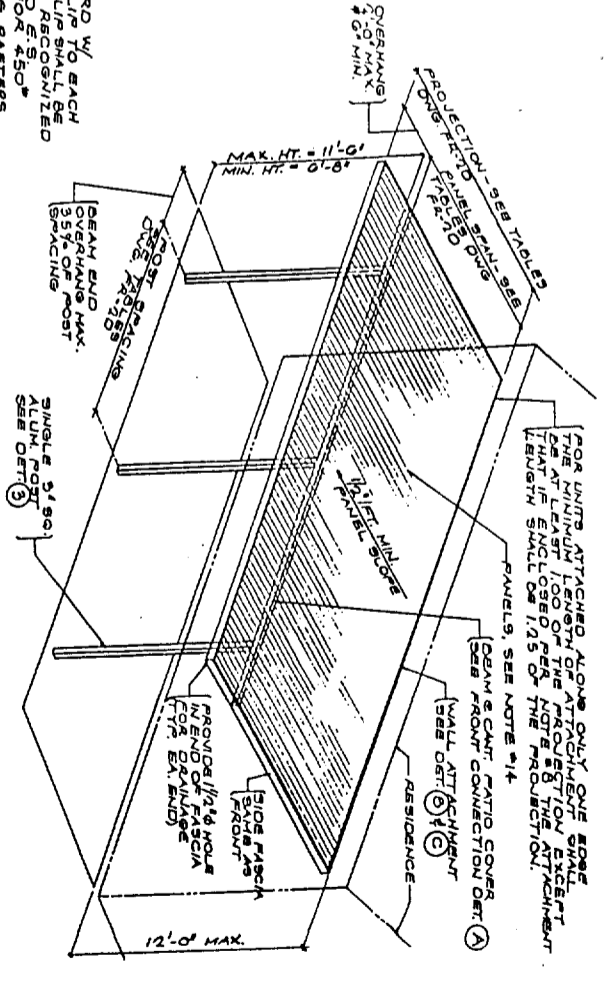
POST TO 3'50 BEAM (A)



EXIST. WALL ATTACHMENT (B)

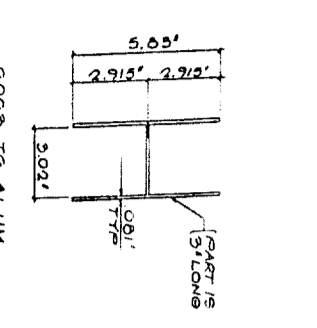


EXIST. EAVE ATTACHMENT (C)

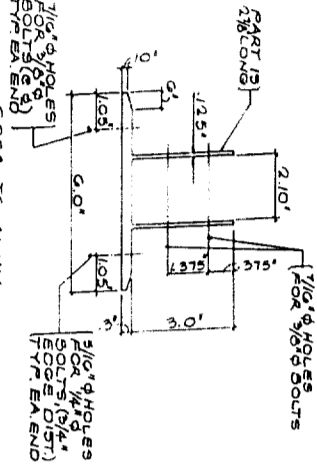


**GENERAL NOTES & SPECIFICATIONS**

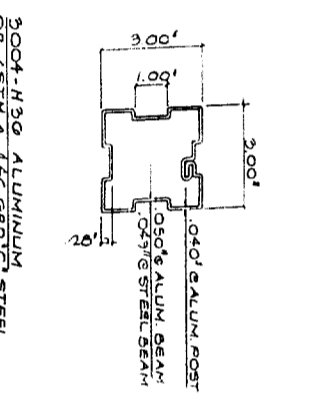
1. ALUMINUM DESIGN & STRESSES ARE PER THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND THE LATEST EDITION OF THE ALUMINUM CONSTRUCTION MANUAL.
2. ALTERNATE ALUMINUM ALLOYS MAY BE SUBSTITUTED FOR THOSE SHOWN PROVIDED THEY ARE RESISTED WITH THE ALUMINUM ASSOCIATION AND HAVE EQUAL OR GREATER YIELD & ULTIMATE STRENGTHS.
3. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. CONCRETE SLABS SHALL BE 5/8\"/>
- 4. ALL FOOTINGS SHALL BEAR ON FIRM NATURAL UNDISTURBED SOIL OR CERTIFIED FILL. DESIGN VERTICAL SOIL BEARING = 1000 PSF.
- 5. ALL STEEL MEMBERS SHALL BE HOT DIP GALVANIZED OR C1 ELECTROPLATED & CONFORM TO ASTM SPEC. A 440 GRADE C1.
- 6. ALUMINUM FASTENERS SHALL BE 2024-T4, ALL OTHER FASTENERS SHALL BE GALVANIZED, STAINLESS STEEL OR CADMIUM PLATED. ALL BOLTS SHALL CONFORM TO ASTM. SPEC. A 307 & CARBON STEEL PLATED MANUFACTURED BOLTS PER NOTE #10.
- 7. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLED HOLES PER THE NATIONAL DESIGN SPECIFICATIONS, LATEST EDITION.
- 8. ATTACHED PATIO COVER STRUCTURES, PER APPENDIX DECT 516 OF THE UNIFORM BUILDING CODE, MAY BE EXCLUDED WITH EASILY REMOVABLE TRANSLUCENT OR TRANSPARENT PLASTIC NOT MORE THAN 1/25 INCH IN THICKNESS AND/OR RESISTANCE TO CLOSE TO POST LINE ONLY. (SEE EDITIONS OF THE UNIFORM BUILDING CODES FOR DETAILS.)
- 9. HOLES FOR BOLTS SHALL BE BOLT DIAMETERS PLUS 1/16 INCH MAXIMUM USE STANDARD PLATE WASHERS ON ALL BOLTS.
- 10. EXPANSION BOLTS SHALL BE "MULTI KWIK-BOLTS" OR EQUAL PER IBCO ES. FOR DISTANCE OF 1/2\"/>
- 11. EACH INSTALLATION SHALL BEAR AN IDENTIFYING TAG GIVING THE NAME AND ADDRESS OF THE MANUFACTURER, I.C.B.O. EST. REPORT NO., DESIGN LOADS & ENCLOSABILITY.
- 12. ALL ITEMS PERTAINING TO EACH PARTICULAR INSTALLATION SHALL BE CIRCLED, I.E. PROJECTION, POST SPACING, FOOTING DETAIL, ETC.
- 13. SPECIAL INSPECTION FOR HILTI "KWIK" BOLTS IS REQUIRED FOR ALL INSTALLATIONS WHERE FOOTINGS ARE 24\"/>
- 14. THE ROOF PANEL FOR THIS PATIO COVER SYSTEM IS A 3 INCH THICK ALUM. SKINNED PANEL WITH FOAM CORE PER IBCO ES. REPORT # PC-3259.
- 15. ALL ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE PROTECTED PER UBC SECTION 2011.6.2.
- 16. ALL WOOD RECEIVING WOOD SCREWS SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF .50. THE 1/4\"/>



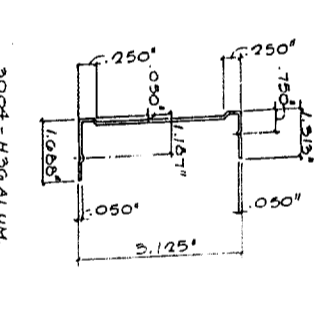
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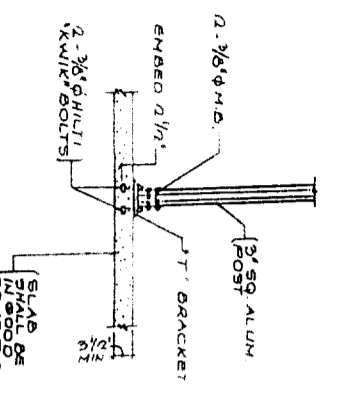
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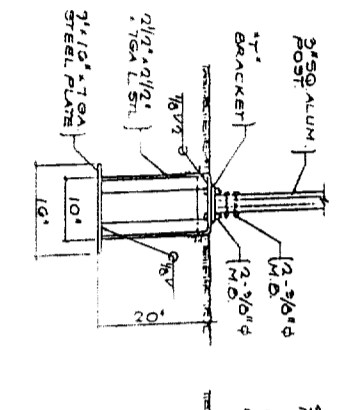
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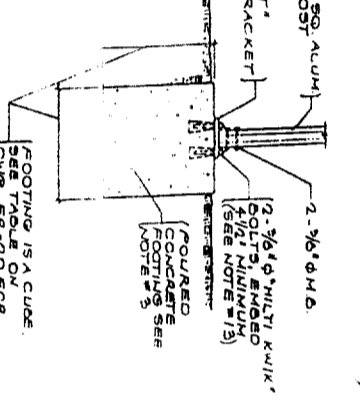
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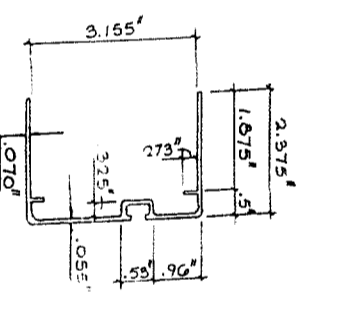
POST TO EXISTING SLAB (5)



POST TO STEEL FOOTING (5)



POST TO POURED CONCRETE (5)



POST TO WALL CHANNEL (5)

**POST TO FOOTING CONNECTIONS**

**WALL CHANNEL CONNECTIONS**

PATIO COVER DETAILS

**ALMET BUILDING PRODUCTS INC.**  
 227 S. Town East Blvd. Mesquite, TX 75149  
 P.O. Box 850163 Mesquite, TX 75185-0163  
 Telephone: 214-285-8811 Fax: 214-882-8843



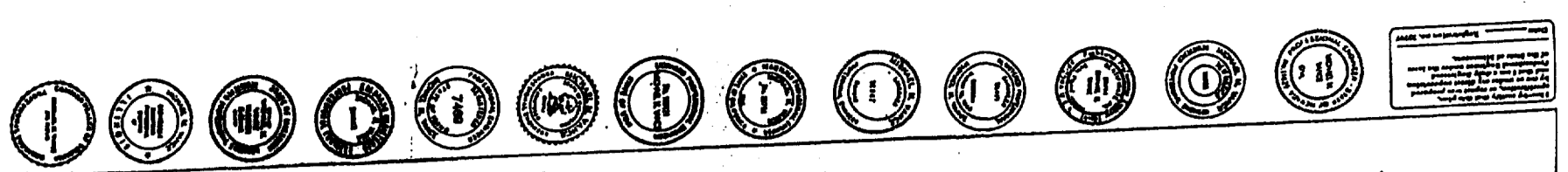
**ICBO EVALUATION SERVICE INC. REPORT NO. 3190-P**

**ASHTON YANCEY & ASSOC. INC.**  
 969 726-8183

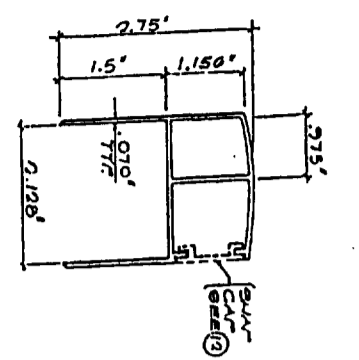
DATE: JULY 197  
 JOB NO. E-77  
 DRAWN BY T. DAMIA  
 DWG. NO. FR-2C  
 1 OF 2



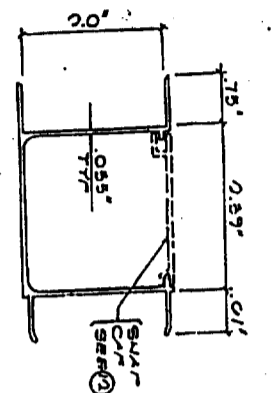




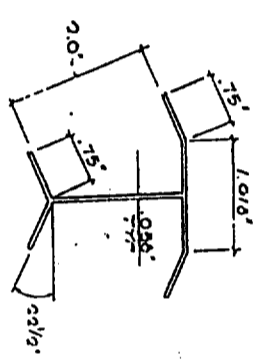
ICBO EVALUATION SERVICE INC. REPORT NO. 3190-P



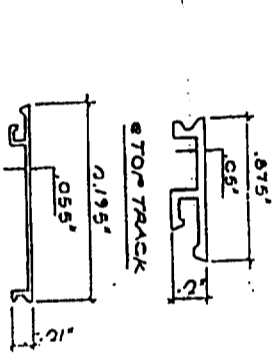
BEARING SYSTEM TOP TRACK 9



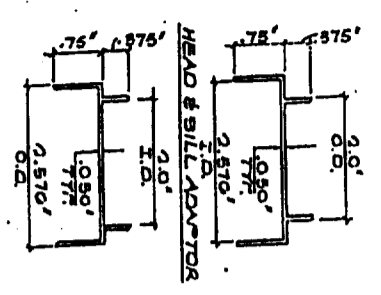
CHASE 'H' MULLION 10



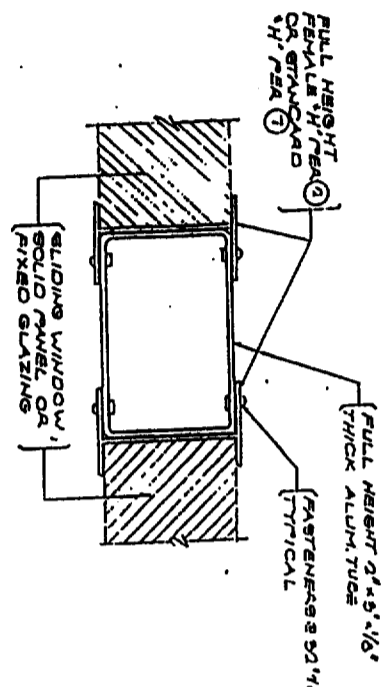
BAY 'H' MULLION 11



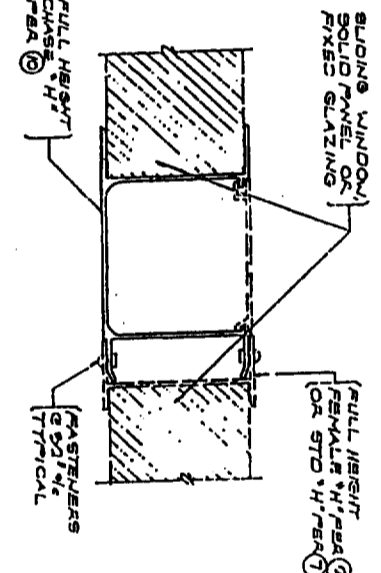
SNAP CAPS 12



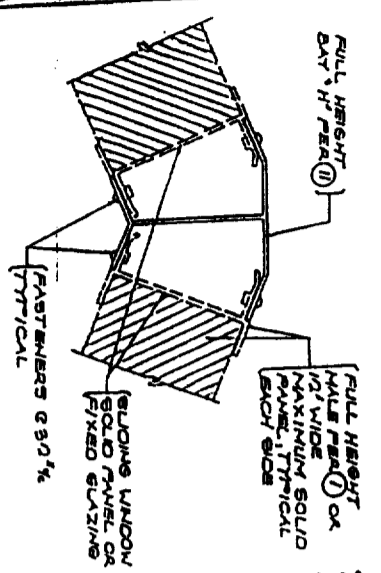
2800 SERIES ADAPTORS 13



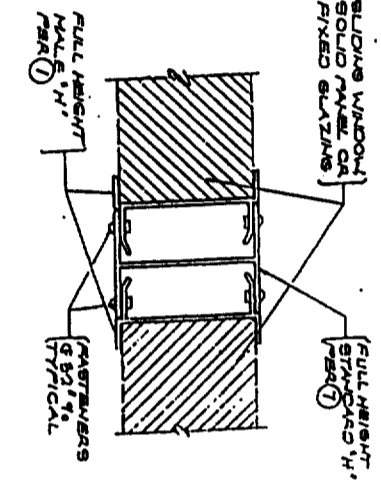
TUBE 'H' MULLION 14



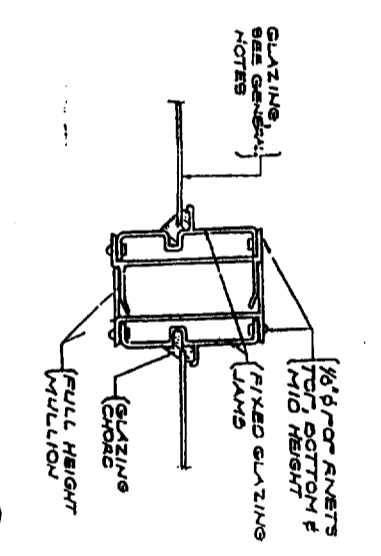
CHASE 'H' MULLION 15



BAY 'H' MULLION 16



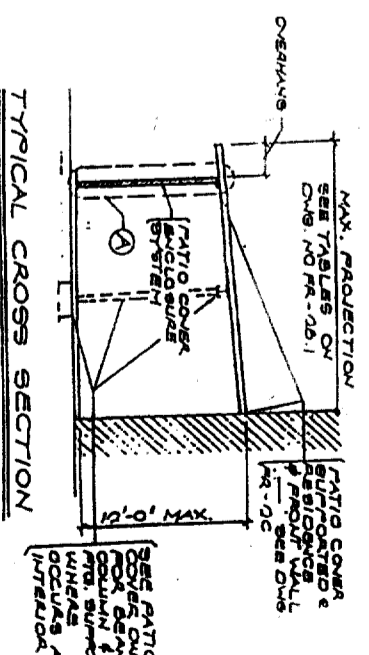
TRIPLE 'H' MULLION 17



FIXED GLAZING MULLION 18

GENERAL NOTES & SPECIFICATIONS

1. THIS PATIO COVER & ENCLOSURE SYSTEM IS LIMITED TO RECREATION AND OUTDOOR LIVING PURPOSES AND IS NOT TO BE USED AS A GARPORT, GARAGE, OR HABITABLE ROOM.
2. THIS ENCLOSURE SYSTEM IS TO BE INSTALLED UNDER THE PATIO COVER, SHOWY ON SHEET FR-201, ICBO EVALUATION SERVICE INC. REPORT NO. 3190-P.
3. DESIGN LOADS: SEE TABLES FOR DESIGN LOADS. (DRAWING FR-201.)
4. FASTENERS: 'POP' NUTS, WHERE SHOWN, SHALL BE 5052 ALUMINUM RIVETS WITH CASSID STEEL PLATED NUTS. AS MANUFACTURED BY THE U.S. COIN. SHEET METAL SCREWS SHALL BE SIZES SHOWN AND SHALL BE 5/16" DIA. STAINLESS STEEL, ZINC PLATED, GALVANIZED STEEL OR 6061-T4 ALUMINUM WHERE THE TERM 'FASTENER' IS USED ON THE DRAWINGS THEY SHALL BE 1/2" DIA. STAINLESS STEEL OR 5/8" DIA. SHEET METAL SCREWS.
5. ALL STRUCTURAL COMPONENTS OF THIS ENCLOSURE SYSTEM (EXCEPT SOLID PANELS) ARE OF ALLOY & TEMPER 6063-T6 UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE SOLID WALL PANELS SHOWN SHALL COMPLY WITH A CURRENTLY RECOGNIZED ICBO EVALUATION SERVICE INC. REPORT, ALL EXTERIOR PORTIONS OF THE SOLID WALL PANEL WHICH ARE SUBJECT TO WATER INTRUSION SHALL BE FULLY CALKED.
7. WHERE ENCLOSURE IS REQUIRED TO BE LEFT OPEN PER APPROX. SECT. 5110, THE OPEN AREA OF THE LOWER WALL AND ONE ADDITIONAL WALL SHALL BE A MINIMUM OF 0.5 PERCENT OF THE AREA BELOW A MINIMUM OF 6 FEET 6 INCHES OF EACH WALL MEASURED FROM THE FLOOR. (OPEN IS DEFINED AS INSIDE SCRAMBLING AND/OR REARLY REMOVABLE TRANSPIRENT OR TRANSPARENT PLASTIC NOT MORE THAN 1/8" OR 1/4" IN THICKNESS. SEE NOTE #6 BELOW FOR OPTIONAL GLAZING. (SEE NOTE #5))
8. PORTIONS OF THE WALL NOT REQUIRED TO BE PLASTIC SHALL BE 17 ABOVE) MAY BE GLASS THAT COMPLIES WITH CHAPTER 24 OF THE UNIFORM BUILDING CODE, WHEN APPROVED BY THE BUILDING OFFICIAL, GLASS COMPLYING WITH CHAPTER 24 OF THE CODE MAY BE SUBSTITUTED FOR THE PLASTIC INDICATED IN NOTE #7 AS PERMITTED BY THE BUILDING OFFICIAL. SEE NOTE #6 FOR EQUIVALENT MATERIALS OF CONSTRUCTION. (SEE NOTE #5))
9. EACH PATIO COVER & ENCLOSURE SYSTEM SHALL HAVE PERMANENTLY AFFIXED, AN IDENTIFICATION TAG GIVING THE NAME & ADDRESS OF THE MANUFACTURER, DESIGN LOADS, AND I.C.D.O. E.S. REPORT NO.
10. THE BEARING SYSTEM MULLIONS HAVE BEEN DESIGNED FOR LOAD CONDITIONS AS REQUIRED BY CHAPTER 16 OF THE UNIFORM BUILDING CODE.
11. ALL ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE PROTECTED PER AISC SECTION 10.11.0.1.
12. THIS NOTE HAS BEEN OMITTED.
13. THIS NOTE HAS BEEN OMITTED.
14. EXPANSION ANCHORS SHALL BE 'VUL-STRUD' ANCHORS OR EQUIVALENT PER ICBO EVALUATION REPORT NO. 4414. 1/2" ANCHORS SHALL HAVE A MINIMUM TENSION VALUE (IN CONCRETE) OF 500 POUNDS. THE 3/8" ANCHORS SHALL HAVE A MINIMUM TENSION VALUE (IN CONCRETE) OF 400 POUNDS.
15. TEMPERED GLASS WITH A THICKNESS NOT EXCEEDING 1/2" INCHES IS A RECOGNIZED ALTERNATE TO PLASTIC INDICATED IN NOTE #7. ALL TEMPERED GLASS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 24 OF THE UBC. SEE DWG. WIN-1 FOR GLASS WINDOW ASSEMBLY.



TYPICAL CROSS SECTION

ENCLOSURE SYSTEM DETAILS

ALMET BUILDING PRODUCTS INC. 227 S. Town East Blvd. Mesquite, TX 75149 P.O. Box 830163 Mesquite, TX 75183-0163 Telephone 214-285-8111 Fax 214-282-8843



ICBO EVALUATION SERVICE INC. REPORT NO. 3190-P

ALSTON, VANCE & ASSOC., INC. 1515 W. 15th St. Dallas, TX 75210

DATE: JULY '97  
 DRAWN BY: T. DAVILA  
 DWG. NO.: FR-2B  
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