

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	L & P Land & Development, Inc., 6355 Riverside Blvd., Bldg. 1, Ste. C, Sacto.				
OWNER	L & P Land & Development, Inc., 6355 Riverside Blvd., Bldg. 1, Ste. C, Sacto., CA				
PLANS BY	Murray Smith & Associates, 3020 Explorer Drive, Sacramento, CA 95827				
FILING DATE	6/10/83	50 DAY CPC ACTION DATE		REPORT BY	PB:bw
NEGATIVE DEC.	7/1/83	EIR		ASSESSOR'S PCL. NO.	031-120-10;031-340-08

- APPLICATION:
1. Environmental Determination
 2. Rezone two existing corner lots from Single Family (R-1) to Townhouse (R-1A) zone
 3. Tentative Map to divide one corner lot (Lot 1196) into two parcels for halfplex development
 4. Special Permit for halfplex development on Lot 1196

LOCATION: 796 Parkhaven/6940 Havenside; 7130 Havenside/780 Florin Road

PROPOSAL: The applicant is requesting the necessary entitlements to convert a duplex to a halfplex unit (Lot 1196) and rezone Lot 26 to provide for future halfplex development.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1976 Pocket Community Plan Designation: Low Density Residential
Existing Zoning of Site: R-1 (Single Family)
Existing Land Use of Site: Residential/Vacant (Lot 1196)

Surrounding Land Use and Zoning:

North: Residential; R-1
South: Residential; R-1
East: Residential; R-1
West: Residential; R-1

Parking Required: 1 per dwelling unit
Parking Provided: 2 per dwelling unit
Ratio Required: 1 per dwelling unit
Ratio Provided: 2 per dwelling unit
Property Dimensions/Area: Varies
Density of Development: 1.6/ac.
Square Footage of Lot(s): Varies
Significant Feature of Site: 1 existing duplex/ 1 vacant lot (Lot 1196)
Street Improvements/Utilities: Existing
Exterior Building Colors: Earth tones
Exterior Building Materials: Stucco, wood siding and trim

000434

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On June 29, 1983, by a vote of 5 ayes and 4 absent, the Subdivision Review Committee voted to recommend approval of the tentative map, subject to the following condition:

The applicant shall satisfy the following condition prior to filing the final map unless a different time schedule for compliance is specifically noted:

Provide separate water and sewer services to each lot and hookup to the existing system.

APPLIC. NO. P83-190

MEETING DATE July 14, 1983

CPC ITEM NO. 13

- b. The proposed project will not be detrimental to public health, safety or welfare and will not result in the creation of a nuisance as conditioned in that the use is compatible with existing residential uses;
- c. The proposed development is compatible with the 1974 General Plan and the 1976 South Pocket Specific Plan which designate the properties for residential and low density multiple family respectively.

000436



SUBJECT SITES

SACRAMENTO

83-190

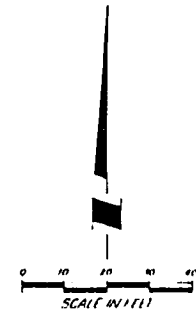
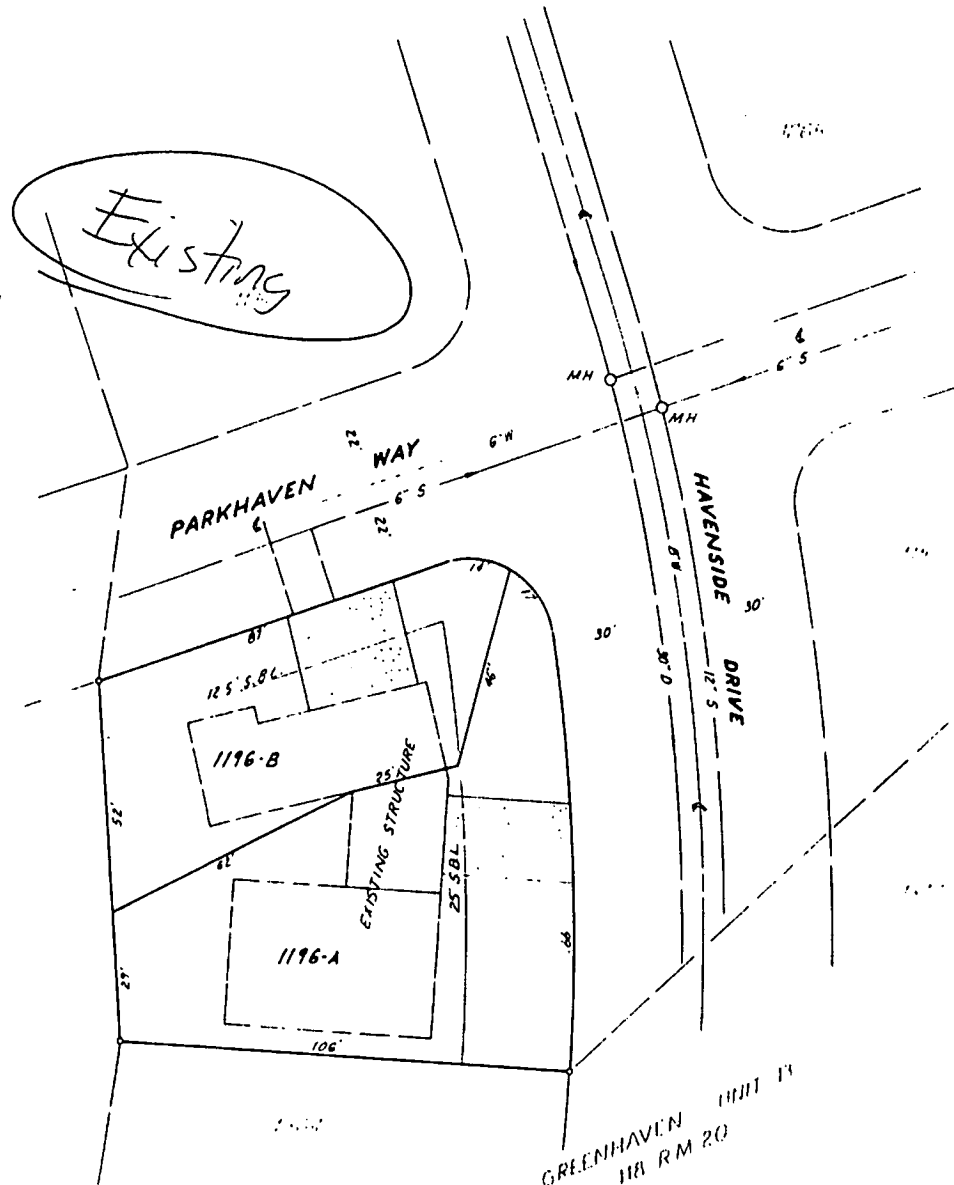
14 July 1983

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No. 13

TENTATIVE MAP for
 RESUBDIVISION of LOT 1196 of
GREENHAVEN UNIT NO. 11 (104 BM 1)
 CITY OF SACRAMENTO, CALIFORNIA
 MAY 1983 SCALE: 1" = 20'
 MURRAY SMITH AND ASSOCIATES

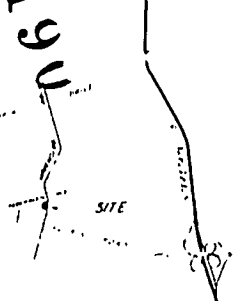


OWNER:	L & P LAND AND DEVELOPMENT, INC. 6355 RIVERSIDE BLVD., SUITE A SACRAMENTO, CALIF. 95811 PH: 427-3766
SUBDIVIDER:	SAME AS ABOVE
ENGINEER:	MURRAY SMITH & ASSOCIATES ENGINEERING, INC. 3020 EXPLORER DRIVE SACRAMENTO, CA. 95827
IMPROVEMENTS:	AS REQUIRED BY CITY OF SACRAMENTO DEPARTMENT OF PUBLIC WORKS
EXISTING USE:	DUPLX
PROPOSED USE:	SINGLE FAMILY, ATTACHED
EXISTING ZONING:	R-1
PROPOSED ZONING:	R-1A
ASSESSOR'S PARCEL #:	031-730-10
SEWAGE DISPOSAL:	CITY OF SACRAMENTO
WATER SUPPLY:	CITY OF SACRAMENTO
DRAINAGE:	CITY OF SACRAMENTO
FIRE PROTECTION:	SACRAMENTO FIRE DEPARTMENT
SCHOOL DISTRICT:	SACRAMENTO UNIT #2
AIRAGE:	11.248 ACRES NET
NO. OF LOTS:	2
LOT SIZE:	AS SHOWN

* NOTE: EXISTING CURB, GUTTER AND SIDEWALK ALONG PARKHAVEN WAY AND HAVENSIDE DRIVE.

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LOCATION MAP

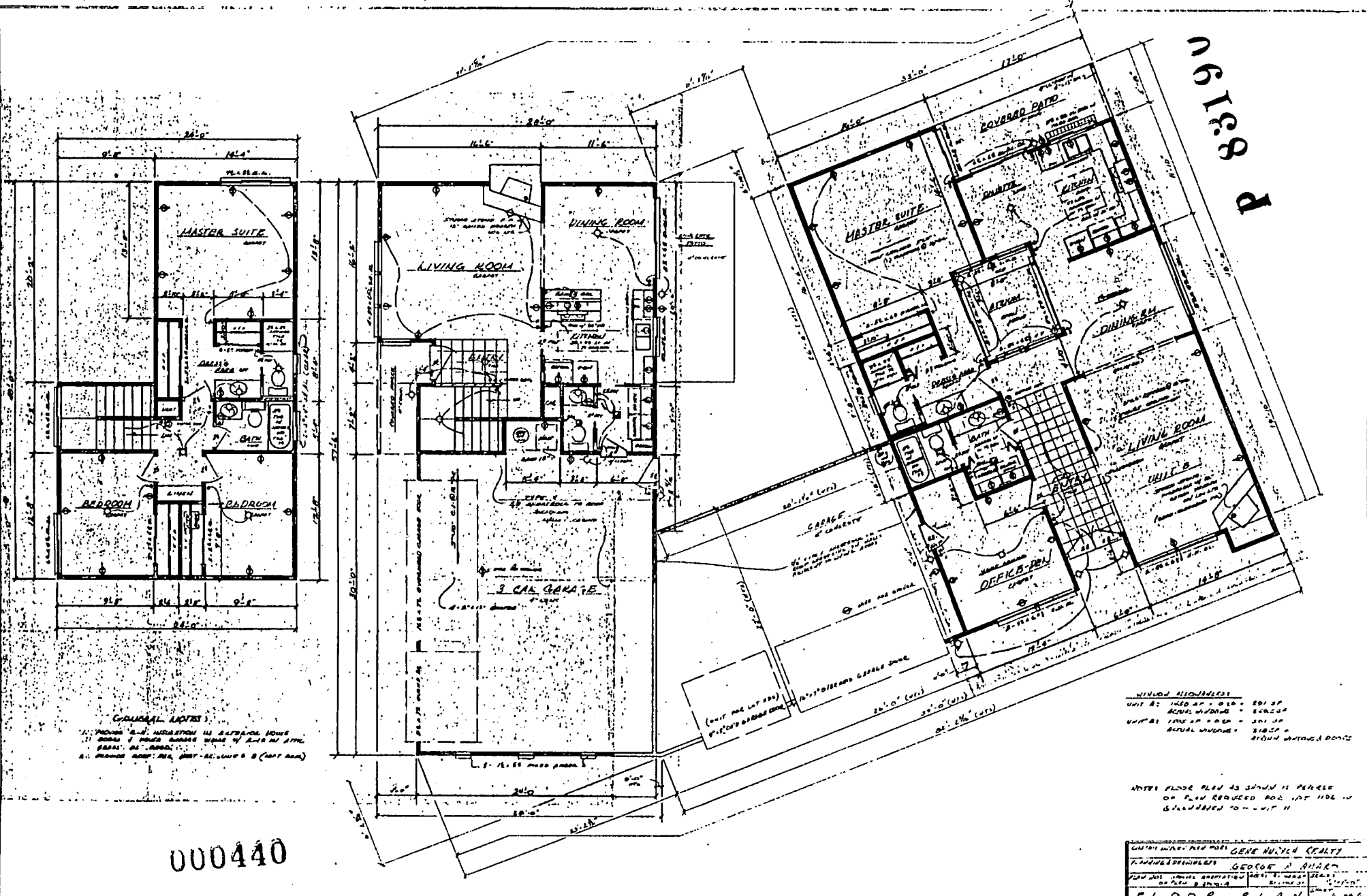


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CONCRETE NOTES

1. PROVIDE 2" MIN. INSULATION IN EXTERIOR FOUNDATION WALLS & FLOOR ABOVE GRADE WALLS OF 2" MIN. THICK. FINISH AS SHOWN.
2. PROVIDE 2" MIN. INSULATION IN EXTERIOR FOUNDATION WALLS & FLOOR ABOVE GRADE WALLS OF 2" MIN. THICK. FINISH AS SHOWN.

WINDOW SCHEDULES

UNIT A: 14'0" x 11'0" = 801 SF
 ACTUAL WINDOWS = 800 SF

UNIT B: 17'0" x 11'0" = 801 SF
 ACTUAL WINDOWS = 800 SF

UNIT C: 21'0" x 11'0" = 801 SF
 ACTUAL WINDOWS = 800 SF

ROUND WINDOWED PORTALS

NOTES: FLOOR PLAN AS SHOWN IS PERCENT OF PLAN REQUIRED FOR LOT 1104 AND IS CALLED TO UNIT 11

000440

UNIT A: 14'0" x 11'0" = 801 SF
 ACTUAL WINDOWS = 800 SF

UNIT B: 17'0" x 11'0" = 801 SF
 ACTUAL WINDOWS = 800 SF

UNIT C: 21'0" x 11'0" = 801 SF
 ACTUAL WINDOWS = 800 SF

FLOOR PLAN

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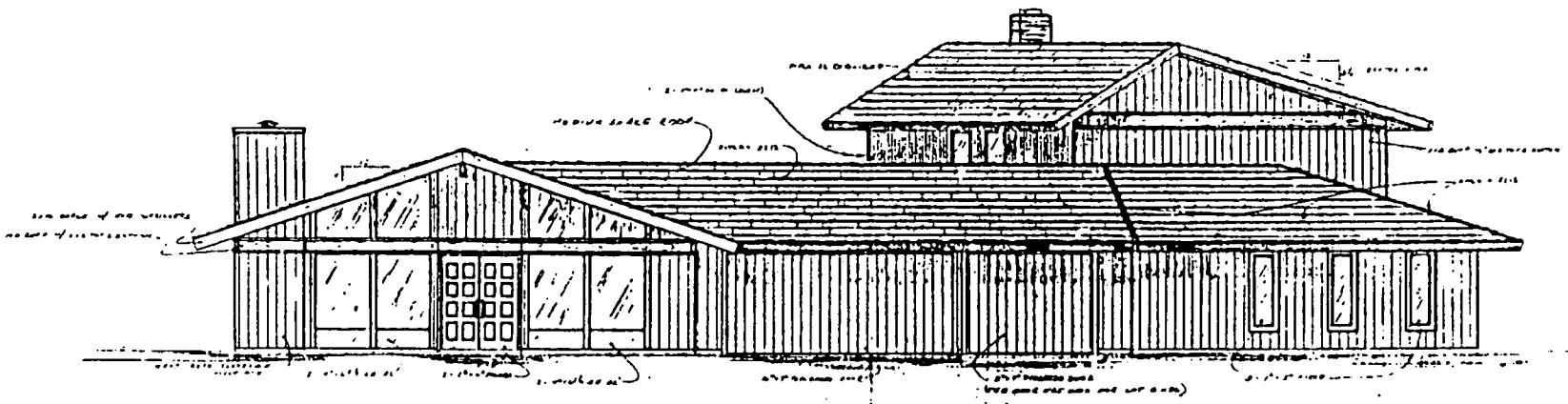
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Lot 196 Greenview

1. THE ARCHITECT HAS ASSURED THAT THE PLANS AND SPECIFICATIONS ARE COMPLETE AND CORRECT AND THAT ALL NECESSARY PERMITS AND APPROVALS FROM ADOPTING AGENCIES ARE OBTAINED.

2. THE ARCHITECT HAS ASSURED THAT THE PLANS AND SPECIFICATIONS ARE COMPLETE AND CORRECT AND THAT ALL NECESSARY PERMITS AND APPROVALS FROM ADOPTING AGENCIES ARE OBTAINED.

3. THE ARCHITECT HAS ASSURED THAT THE PLANS AND SPECIFICATIONS ARE COMPLETE AND CORRECT AND THAT ALL NECESSARY PERMITS AND APPROVALS FROM ADOPTING AGENCIES ARE OBTAINED.



HALENSIDE ELEVATION

000441

DATE	10/18/85
BY	J. M. H. 1980
DESCRIPTION	ELEVATION
SCALE	1/4" = 1'-0"

STAFF EVALUATION: Staff has the following comments and concerns:

1. The subject sites are located in an area designated and partially developed with single family and two-family residences. The present R-1 zoning of the properties would not allow development of halfplex units. The requested R-1A zoning would not increase the density of development, but the proposed halfplex units would enable individual ownership of each site. In this respect, staff has no objection to the proposed project.
2. The applicant is requesting rezoning for two corner lots - one of which has an existing duplex. A tentative map and special permit for the lot with existing duplex is also requested (Lot 1196). To develop the vacant lot, the applicant will have to apply for a special permit and tentative map at a later date.
3. The Planning and Community Services Department has determined that 0.448 acres of land are required for Parkland Dedication purposes, and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted no more than 90 days prior to filing the final map.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Rezoning from Single Family (R-1) to Townhouse (R-1A) zone;
3. Approval of the Tentative Map, subject to conditions;
4. Approval of the Special Permit, based on Findings of Fact which follow.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time schedule for compliance is specifically noted:

- a. Provide separate water and sewer services to each lot and hookup to the existing system;
- b. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

Condition - Special Permit

Shake roofing and varied exterior materials shall be used as shown on submitted elevations.

Findings of Fact - Special Permit

- a. The proposed halfplex development is based on sound principles of land use in that the structure exists and there are similar halfplex and duplex units in the neighborhood, and the design is compatible with other units in the area;