

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Tuesday August 2, 1994, the Zoning Administrator approved with conditions a special permit to expand an existing office building for the project known as 94-055. Findings of Fact and conditions of approval for the project are listed on pages 3-5. Also the Zoning Administrator approved a parcel merger by adopting the attached resolution (ZA94-030).

Project Information

Request: 1. Zoning Administrator Special Permit to expand a non-conforming structure by constructing an additional 5,290 square foot two story office building that will attach to the existing building on 0.29± developed acres in the General Commercial (C-2) zone .

2. Zoning Administrator Parcel Merger to merge two parcels into one parcel.

Location: 1232 and 1236 H Street

Assessor's Parcel Number: 006-0051-008, 009

Applicant: Richard Graber
923 20th Street
Sacramento, CA 958146

Property Owner: Green/Azevedo Investments
1234 H Street
Sacramento, CA 95814

General Plan Designation: Community Neighborhood Commercial and Offices
Central City

Community Plan Designation: General Commercial
Existing Land Use of Site: Office and Residence
Existing Zoning of Site: General Commercial, C-2

Surrounding Land Use and Zoning:	Setbacks	Required	Existing	Proposed
North: C-2; Commercial	Front:	7.5'	4'	4'
South: C-2; Office Building	Side(East):	5'	4'	4'
East: C-2; Commercial	Side(West):	0'	0'	0'
West: C-2; Commercial	Rear:	0'	80'	80'

Parking Required: 23 spaces

Z94-055

August 2, 1994

ITEM 2

Parking Provided:	22 spaces
Property Dimensions:	80 feet x 160.49 feet
Property Area:	0.29± acres
Square Footage of Building:	Existing- 4,471 square feet Addition- 5,920 square feet Total- 10,391 square feet
Height of Building:	Two Stories, 26 feet
Exterior Building Materials:	Brick, Glass, and Aluminum
Roof Materials:	Built-up
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Project Plans: See Exhibits A-H

Previous Files: DR94-179

Background Information: The Design Review/Preservation Board approved the project on June 15, 1994 (DR94-179). The Board recommended the applicant attempt to redesign the proposed new parking area for the building in order to preserve the existing camphor trees.

Additional Information: The applicant is requesting to relocate an existing Victorian structure in order to expand an existing office building that is on the adjacent parcel. The applicant is also requesting to merge the two parcels. The site is located on the southwest corner of H Street and 13th Street. The existing office building was constructed prior to adoption of the current building setback requirements. The existing building has a four foot front and street side yard setback. The applicant proposes to expand the existing building to the west and retain the same front setback. The building addition will match the existing building in height, style, and materials. A Zoning Administrator Special Permit is necessary to expand the legal non-conforming structure with the same building setback.

The initial application indicated the two camphor trees located at the rear of the proposed site were to be removed in order to provide the required parking for the office addition. The City Arborist required the larger (17 inch) camphor tree be retained. A final revised plan was submitted that retains the larger camphor tree and provides 22 parking spaces. The proposed parking lot meets the Zoning Ordinance requirements for stall size and maneuvering area, but will require extensive maneuvering for the cars that park in the western most spaces. The proposed parking lot layout represents many design attempts to retain the tree, provide the required number of stalls, and provide a trash enclosure with recycling receptacles. The required parking is 23 spaces based upon the Zoning Ordinance requirement one space for every 450 gross square feet of office. However, there is a provision within the Zoning Ordinance which allows for the loss of one parking space to provide a trash enclosure with recycling receptacles for an existing building. The existing building does not have a trash enclosure, but with the building expansion, a trash enclosure with recycling receptacles

will be provided. The project is also required to provide one Class I bicycle parking facility which will be located adjacent to the trash enclosure.

The applicant proposes to merge the properties in order to make a larger commercial site that will allow for the building expansion and required on-site parking. The Zoning Ordinance and Building Code do not permit structures to cross property lines. Also the Zoning Ordinance requires a use and the associated parking be contained within the same parcel.

Agency Comments

The proposed project has been reviewed by the City Transportation Division, Utilities Division, and Engineering Development Services. The comments received have been included as conditions of approval.

The site is located in the Central City Design Review area and the Mansion Flats Neighborhood Association. The proposed plans have been submitted to the Design Review/Preservation Board staff and the neighborhood association. The Design Review Board has approved the project. The Mansion Flats Neighborhood Association has not commented on the project.

Environmental Determination:

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15301(e[2]) and Section 15305(a)}.

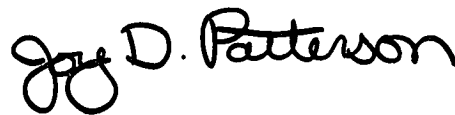
Conditions of Approval

1. The applicant shall submit a revised site plan for Planning review and approval prior to the issuance of Building Permits that shows the revised parking lot which saves the 17 inch camphor tree.
2. The applicant shall comply with the City's Cross Connection Control Policy to the satisfaction of the Public Works Department.
3. The revised parking spaces shall be to City standards.
4. A van accessible stall shall be provided.
5. The proposed building shall comply with all building codes to include a one hour fire wall on the west side with no openings and a 30 inch parapet wall on the west side if a combustible roof is used. The building code requirements shall be to the satisfaction of the Building Department (variations to this condition are acceptable if deemed necessary by the Building Division should proposed building materials change). The applicant shall obtain a Building Permit.

6. The applicant shall erect the necessary barriers to protect the camphor tree during construction. (Contact Dan Pskowski, City Arborist at 433-6345.)

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that:
 - a. the existing front yard setback is 4.0 feet and the proposed building addition will not encroach further into the setback area;
 - b. the existing Victorian structure will be relocated to another site; and
 - c. the proposed building expansion will not substantially alter the characteristics of the surrounding neighborhood and will match the existing structure in style, materials, height, and design.
2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
 - a. the front yard setback has already been established and no further encroachment will occur;
 - b. the larger established tree will be retained; and
 - c. adequate on-site parking will be provided.
3. The project is consistent with the General Plan and the Central City Community Plan which designate the subject site as Community Neighborhood Commercial and Offices and General Commercial respectively.



Joy D. Patterson
Zoning Administrator

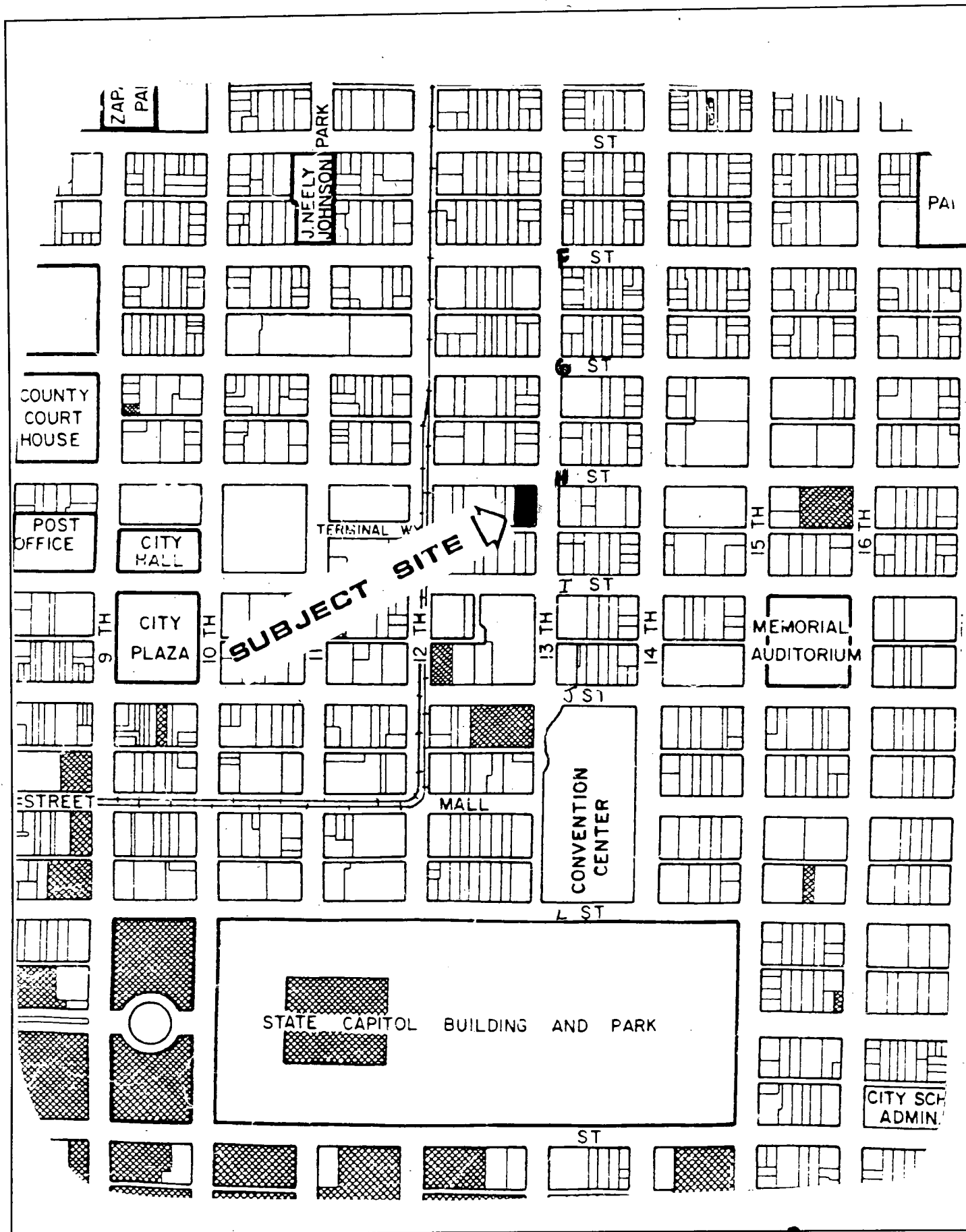
A use for which a Special Permit or Variance is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit or Variance shall be deemed to have expired and shall be null and void. A Special Permit or Variance use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed

established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

Note: The applicant will need to contact the Public Works Department - Development Division (Anwar Ali, 264-7210) after the appeal period is over to record a certificate of compliance to complete the parcel merger.

cc: File (original) ZA Resolution Book ZA Log Book
Applicant Public Works



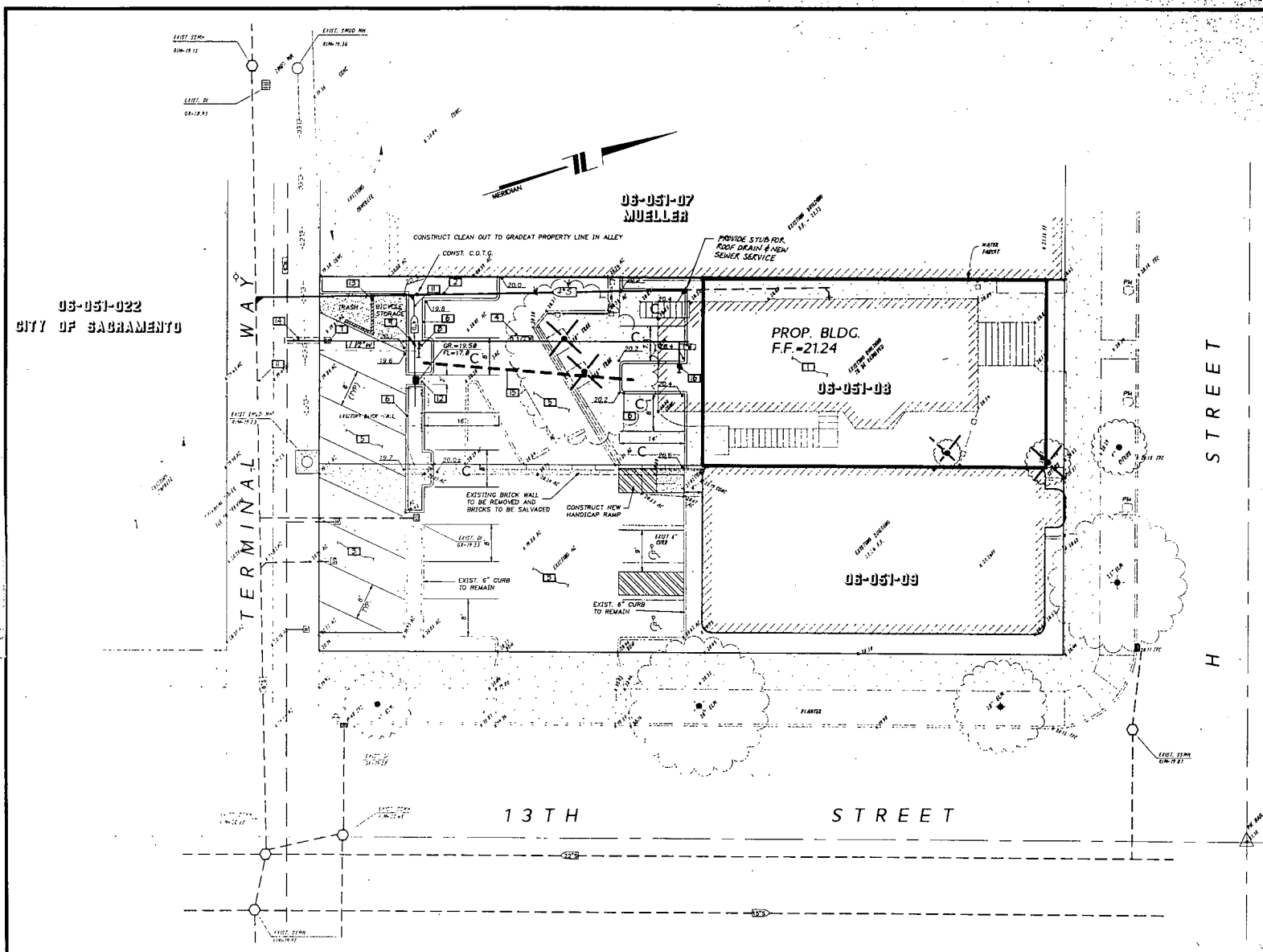
VICINITY MAP

ITEM 2

AUGUST 2, 1994

294-055

EXHIBIT A



- CONSTRUCTION NOTES**
1. EXISTING BUILDING, WALLS, PARKING AREA, AND IRRIGATION PIPES TO BE REMOVED.
 2. APPROXIMATE LOCATION OF EXISTING SEWER SERVICE. REPLACE EXISTING SEWER WITH 4" VCP AT 5% SLOPE FROM ALLEY TO PROPOSED BUILDING. VERIFY 4" SEWERAGE SIZE TO MAIN.
 3. REMOVE EXISTING STRIPES IN PARKING AREA, AND RESTRIPE AS SHOWN.
 4. PLACE 1-1/2" DOMESTIC WATER LINE (1" METER) FROM 8" MAIN IN ALLEY TO PROPOSED BUILDING.
 5. PLACE 2" OF AC OVER 8" CLASS 2AB IN PARKING AREA.
 6. PLACE CURB #17 PER CITY STANDARD DRAWING 302.
 7. CITY FORCES TO INSTALL 1" WATER METER UPON PAYMENT OF FEES.
 8. PLACE 1-1/2" IRRIGATION STRIP AND GATE VALVE.
 9. INSTALL 1-1/2" R.P.P. BACKFLOW ASSEMBLY IN PLANTER AREA PER CITY STANDARD DRAWING 100-22. POSITION BACKFLOW ASSEMBLY TO AVOID CONFLICT WITH PROPOSED FENCE.
 10. PLACE 10 LF. OF PROPOSED SDR 35 PVC AT 5% SLOPE.
 11. CONNECT 4" DRAIN TO 4" SEWER SERVICE. PLACE CLEANOUT TO GRADE.
 12. CONSTRUCT CITY STANDARD TYPE II DRAIN INLET.
 13. BRICK TRASH ENCLOSURE AND BIKE PARKING SEE ARCH. PLANS FOR DETAILS.
 14. ALLEY REPLACEMENT TO BE 3" AC OVER CLASS 2 AB.
 15. PLACE PVC SLEEVES FOR IRRIGATION SEE LANDSCAPE ARCH. PLANS FOR SPECS.
 16. PLACE 1" IRRIGATION STUB W/REDUCED PRESSURE CHECK VALVE.



DESIGNED BY: <u>D. CLIFT</u>	REV.	DATE	DESCRIPTION	BY	APP'D	BENCH MARK:	ELEV:	PROPOSED IMPROVEMENTS		FIELD BOOKS	SCALE: 1"=10'	<p>Meridian Consulting Engineers, Inc. 1400 17th Street, Suite 200 Sacramento, CA 95811 Phone: (916) 441-8888 Fax: (916) 441-8889</p>	<p>SITE IMPROVEMENTS</p>	<p>SHEET 2 2</p>
CADD BY: <u>R. LEHUTSKY</u>					DESCRIPTION:	DATUM:	CITY OF SACRAMENTO		BOOK:	DATE: 4/21/94				
CHECKED BY: <u>D. CLIFT</u>					SEE SHEET 1		1236 H ST		PAGES:	JOB NO. 84010				
									A.P.N.:	DRAWING NO. 4010CP01				

EXHIBIT B**FAX LETTER**

May 11, 1994

MERIDIAN CONSULTING ENGINEERS

1215 19th Street, Suite 200

Sacramento, CA 95814

Phone: (916) 448-5678

Fax: (916) 448-5821

To: Mr. Rich Graber, (444-7490)
Graber-Rasmussen Architects
923 20th Street
Sacramento, CA 95814

SUBJECT: 1236 H Street

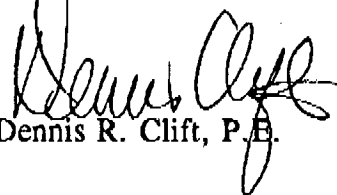
Job No: 94010

Legal Description of Merged Property as you requested:

"Lot 5 in the block bounded by H and I and 12th and 13th Streets, of the City of Sacramento, according to the official plat thereof."

Please call if you have any questions.

Sincerely Yours,
Meridian Consulting Engineers



Dennis R. Clift, P.E.

copy:

Number of Pages including transmittal: 1
If you do not receive all of the pages, please call back as soon as possible.
We are transmitting from a Sharp UX-181 automatic telecopier.

294-055

AUGUST 2, 1994

ITBm2

Project Data

Parcel Number	006-0051-009
Zoning	C-2 General Commercial
Lot Area	12,869.69 s.f.
Parking Required	1/450 s.f. 23
Parking Provided	Standard 16
	H.C. 2
	Compact 6
	Total 23
Area of (E) Building	1st Floor 1,807 s.f.
	2nd Floor 2,664 s.f.
Area of (N) Construction	1st Floor 2,690 s.f.
	2nd Floor 2,690 s.f.
Total Area	10,391 s.f.
Type of Construction	V N-Hr Sprinklered
Number of Stories	2
Occupancy	B-2

Consultants

Architect	Graber/Rasmussen Architects 923 20th Street Sacramento, CA 95814 T. (916) 444-6962 F. (916) 444-7490
Structural	The Phillips Group 10304 Placer Lane Suite B Sacramento, CA 95827 T. (916) 361-3871
Mechanical	Nelson & Associates 768 University Ave. Sacramento, CA 95825 T. (916) 648-1022 F. (916) 648-0168
Electrical	Norberg Engineering Consultants 707 Commons Drive Suite 200 Sacramento, CA 95825 T. (916) 567-3700 F. (916) 567-3737
Landscape	Haag Landscape Architecture 4755 J Street Sacramento, CA 95819 T. (916) 736-1162 F. (916) 736-0505
Civil	Meridian Consulting Engineers 1215 19th Street Suite 200 Sacramento, CA 95814 T. (916) 448-6678 F. (916) 448-5821

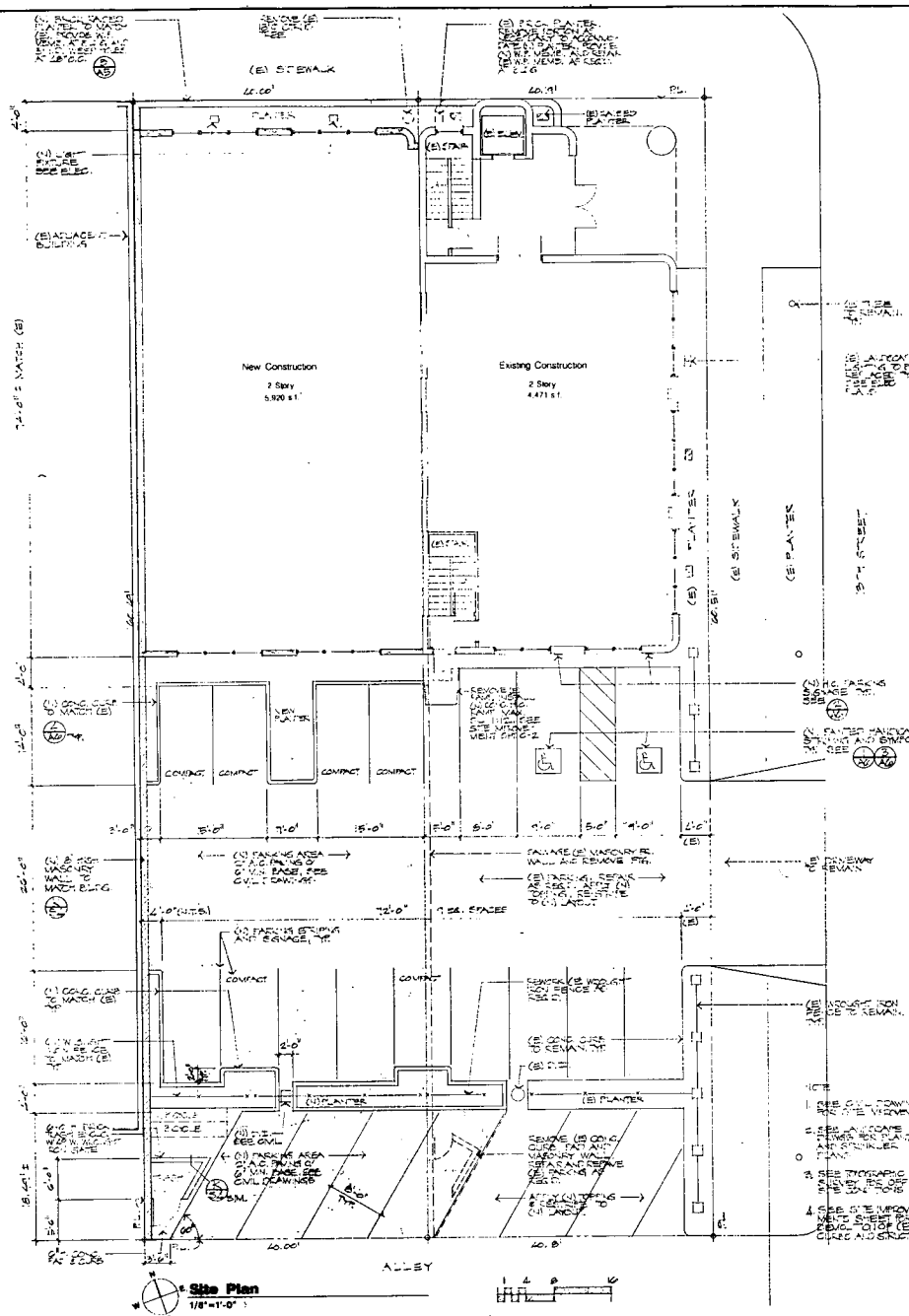
Occupant Load

OCCUPANT LOAD		
1st Floor		
Occupancy	Square Feet	Occupant Load
Office (1:100 s.f.)	3,940 s.f.	39
Conference (1:15 s.f.)	448 s.f.	29
Storage (1:300 s.f.)	148 s.f.	1
Total O.L.		69
2nd Floor		
Occupancy	Square Feet	Occupant Load
Office (1:100 s.f.)	4,565 s.f.	46
Conference (1:15 s.f.)	219 s.f.	14
File (1:300 s.f.)	144 s.f.	1
Total O.L.		61

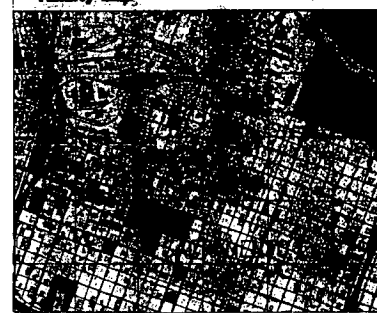
Asbestos Detection

Graber/Rasmussen Architects does not perform professional services for, and does not take responsibility for, the abatement, replacement, or removal of products, materials or processes containing asbestos. Any for the detection of the existence or proportion of asbestos.

It is the responsibility of the Owner and the Contractor to retain qualified professional services for detection, abatement, replacement or removal of any product, material or process containing asbestos before proceeding with any work.



Locality Map



Schedule of Drawings

A1	SITE PLAN WITH VMAP, PROJECT DATA
A2	1ST FLOOR PLAN
A3	2ND FLOOR PLAN
A4	FLOORING SECTION DETAILS
A5	WALL SECTION
A6	ROOF LINE, EXTERIOR ELEVATIONS
A7	INTERIOR FINISH SCHEDULE
A8	DOOR SCHEDULE, LOCK AND WINDOW TYPES
A9	1ST FLOOR CEILING PLAN
A10	2ND FLOOR CEILING PLAN
A11	STAIRS ELEVATIONS
A12	CABINET PROFILES, DETAILS
S1	GENERAL STRUCTURAL NOTES
S2	FOUNDATION, 2ND FLOOR, ROOF FRAMING PLANS
S3	DETAILS
S4	DETAILS
P1	PLUMBING FLOOR PLAN - 1ST FLOOR
P2	PLUMBING FLOOR PLAN - 2ND FLOOR
P3	PLUMBING DETAILS SCHEDULE
M1	MECHANICAL A/C PLAN
M2	MECHANICAL FLOOR PLAN
M3	MECHANICAL DETAILS SCHEDULE
T-24	TITLE 24 COMPLIANCE FORMS, VANDERS' MEAS.
E1	GENERAL ELECTRICAL NOTES, EXTERIOR SCHEDULE
E2	1ST FLOOR ELECTRICAL
E3	2ND FLOOR PLAN - LIGHTING
E4	2ND FLOOR PLAN - LIGHTING
E5	1ST FLOOR PLAN - POWER AND SIGNAL
E6	2ND FLOOR PLAN - POWER AND SIGNAL
E7	GENERAL ELECTRICAL PANEL SCHEDULE, SWITCHES, ETC.
E8	POWER AND SIGNAL COMPLIANCE FORMS
L1	PLUMBING PLAN, DETAILS AND NOTES
L2	MECHANICAL PLAN, DETAILS AND NOTES
C1	PROJECT MAP
C2	PROPOSED IMPROVEMENTS, DEMOLITION

Graber/Rasmussen Architects
Architect
Nelson & Associates
Mechanical Design
923 20th Street
Sacramento, CA 95814
916-444-7490

Addition to
1236 H Street
Sacramento
APN 006-051-009

The design and construction contained in these plans and the specifications incorporated herein are the sole property of the Architect. Any reproduction or use of these plans or specifications without the express permission of the Architect is prohibited.

The drawings are made to be used for any purpose and signed by the Architect.

DATE: MAY 10, 1994
REVISIONS:
JOB NUMBER: 8811
DRAWN:
SCALE: 1/8" = 1'-0"
SHEET: A1
OF 35 SHEETS

EXHIBIT C

ITEM 2

AUGUST 2, 1994

294-055

REVISED
PARKING
LOT PLAN

EXHIBIT D

13TH
STREET

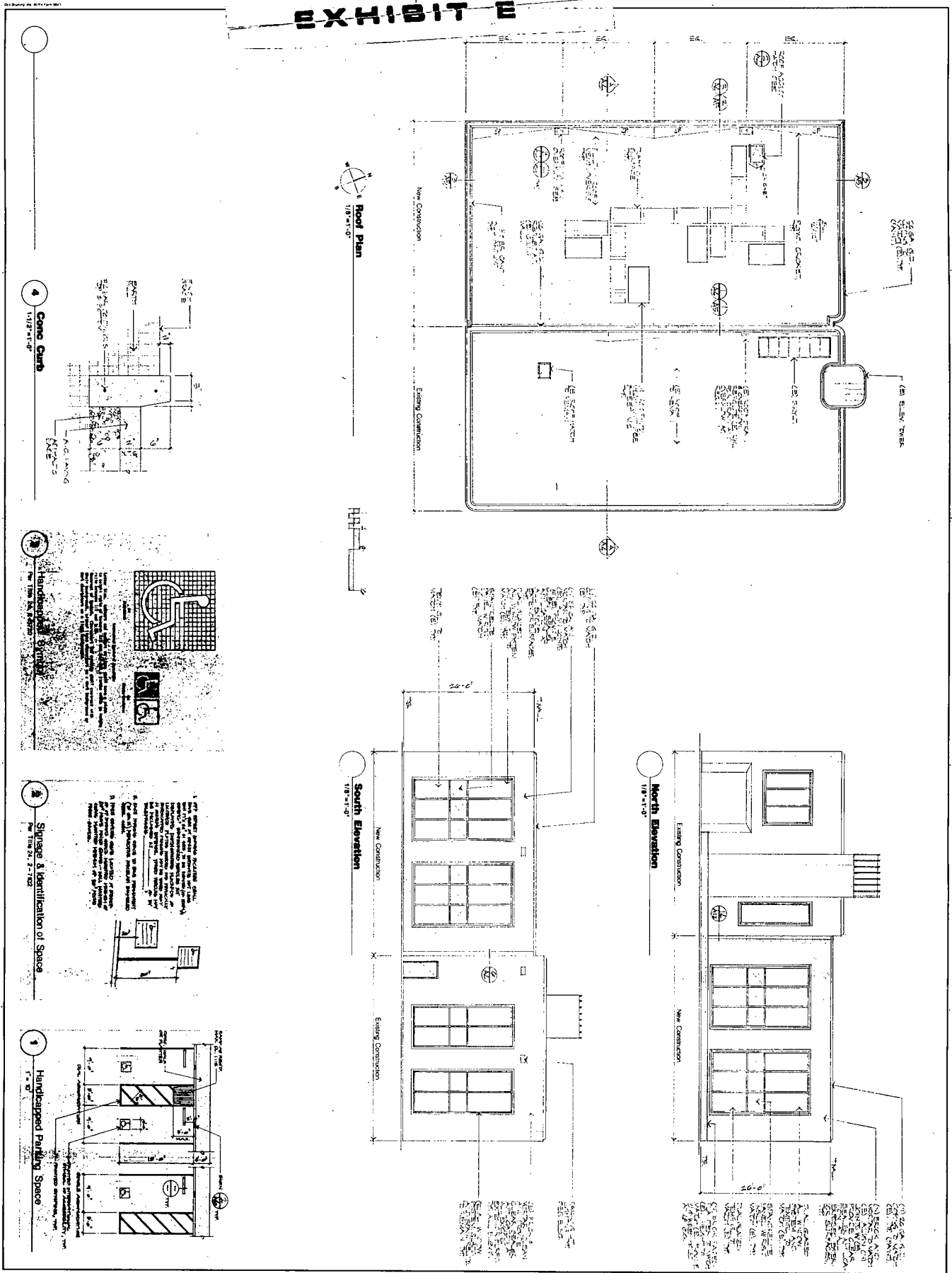


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AUGUST 2, 1994

ITEM 2

EXHIBIT E



4 **Core Core**
1/8" = 1'-0"

5 **Handicapped Parking**
1/8" = 1'-0"

6 **Storage & Identification of Space**
1/8" = 1'-0"

7 **Handicapped Parking Space**
1/8" = 1'-0"

DATE: JAN 6, 1994
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 CHECKED BY: [blank]
 PROJECT: [blank]
 SHEET: A6
 SCALE: 1/8" = 1'-0"

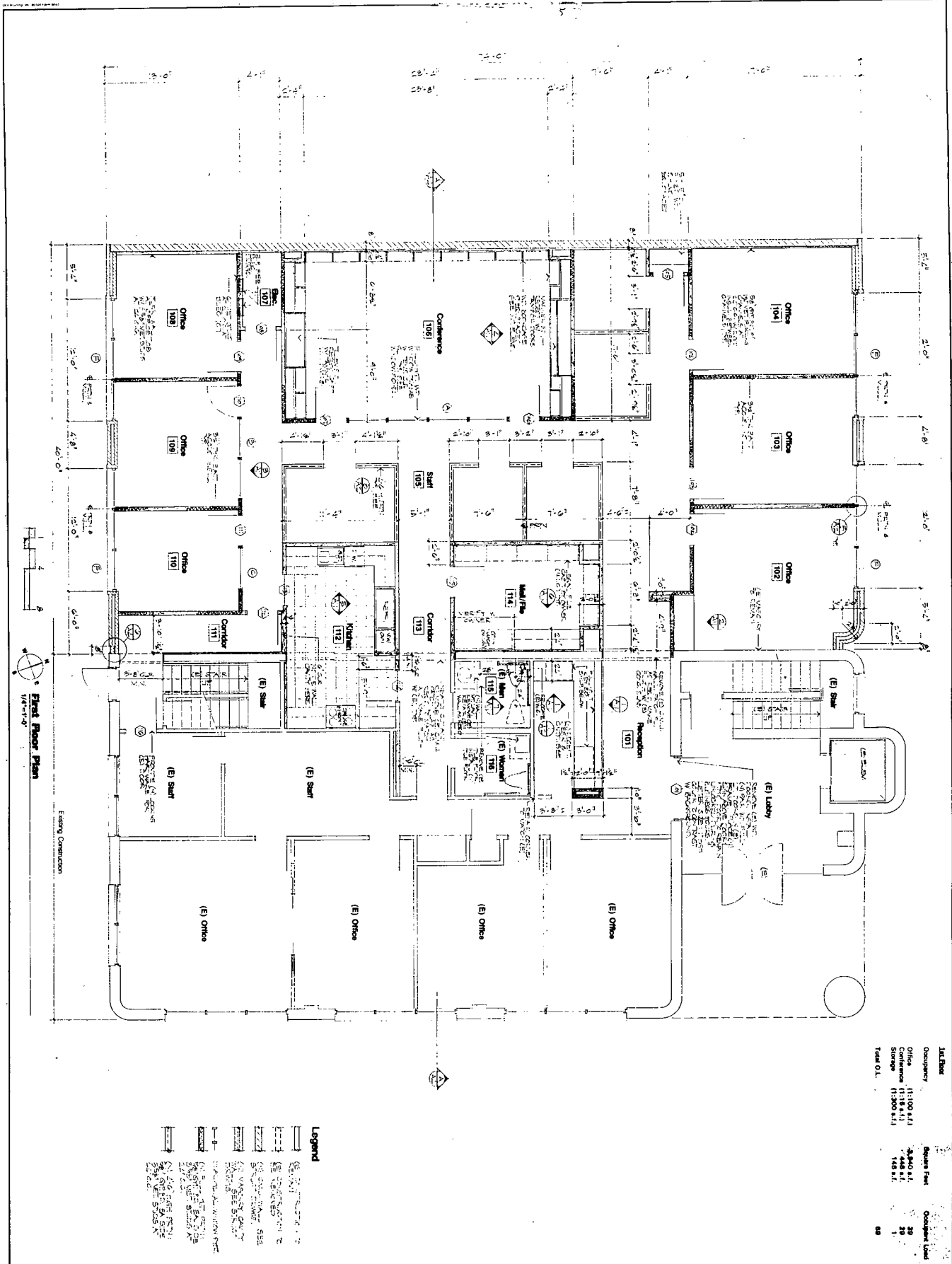
Address: 1236 N Street
 Sacramento
 APN 008-051-009

294-055

AUGUST 2, 1994

ITEM 2

EXHIBIT F



294-055

A2

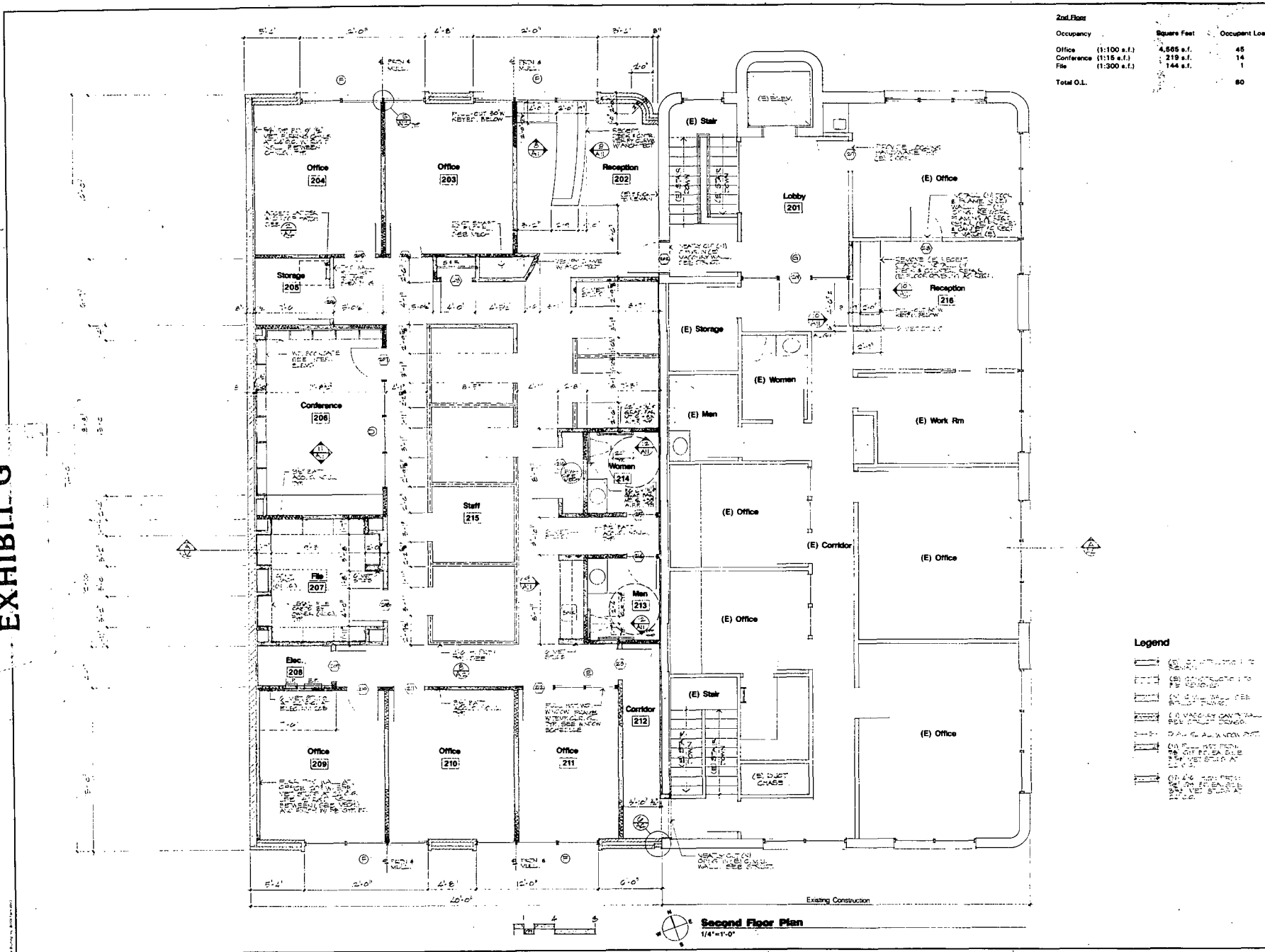
335

AUGUST 2, 1994

ITEM 2

Addition to
1236 H Street
Sacramento
APN 008-051-009

EXHIBIT G



2nd Floor		
Occupancy	Square Feet	Occupant Load
Office (1:100 s.f.)	4,565 s.f.	45
Conference (1:115 s.f.)	219 s.f.	14
File (1:300 s.f.)	144 s.f.	1
Total O.L.		60

General Requirements
Architects
Architect
Interior Design
377 2nd Street
Sacramento, CA 95811
916-441-8900

Addition to
1236 H Street
Sacramento
APN 006-051-009

Legend

- (E) Existing Construction
- (N) New Construction
- (C) Construction to be removed
- (A) As Shown on Plans
- (S) As Shown on Site
- (M) As Shown on Map
- (D) As Shown on Drawing
- (I) As Shown on Information
- (O) As Shown on Other
- (P) As Shown on Plan
- (R) As Shown on Record
- (T) As Shown on Title
- (U) As Shown on Utility
- (V) As Shown on Vertical
- (W) As Shown on Wall
- (X) As Shown on X-ray
- (Y) As Shown on Y-axis
- (Z) As Shown on Z-axis

The design is for the use of the building and the building is to be used for the purposes of the building. The design is for the use of the building and the building is to be used for the purposes of the building. The design is for the use of the building and the building is to be used for the purposes of the building.

Job Number
8811
Sheet

A3

of 35 views

2nd Floor

August 2, 1994

550-462

