

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0015175
Insp Area: 2

Site Address: 7471 PERMAR ST SAC
Parcel No: 048-0245-008

Sub-Type: NSFR
Housing (Y/N): N

CONTRACTOR
DYNAMIC CONSTRUCTION
PO BOX 161779
SACRAMENTO CA 95814

OWNER
LARRY BRADEN
5200 OVLBRBROOK WY
SAC CA 95842

ARCHITECT

Nature of Work: NSFR, 1370 SF LVNG, 528 SF ATTCHD GAR, 112 CVRD PRCH

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number _____ Date 3-6-01 Contractor Signature 

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code): any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

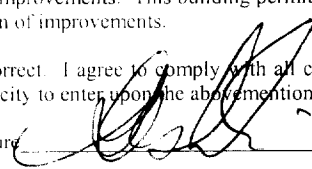
I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

NEIGHBORHOODS PLANNING
DEVELOPMENT SERVICES

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above-mentioned property for inspection purposes.

Date 3-6-01 Applicant Agent Signature 

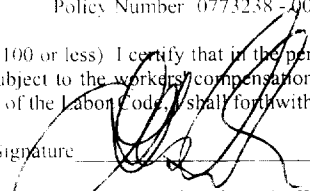
WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE COMPENSATION INS FUND Policy Number 0773238-00 Exp Date 08/30/2001

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3-6-01 Applicant Signature 

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

PLANNING AND ZONING INFORMATION REQUEST

Project Address: 757 ... mar Street

Assessor's Parcel Number: 048-0245-008

Previous Use: vacant

Description of Request/Proposed Use: new single family residence

Is This a Change of Use? yes

Prior Applications for Project Site(P#, Z#, DRPB#): none Zoning Designation: R-1

Comments: needs setback & lot coverage requirements

Are There Any Planning Issues?: (circle one) YES NO

- * Staff Site Plan Check Required? (Circle one) YES NO
- * Field Inspection Required? (Circle one) YES NO
- * Design Review/Preservation Required?: (Circle one) YES NO

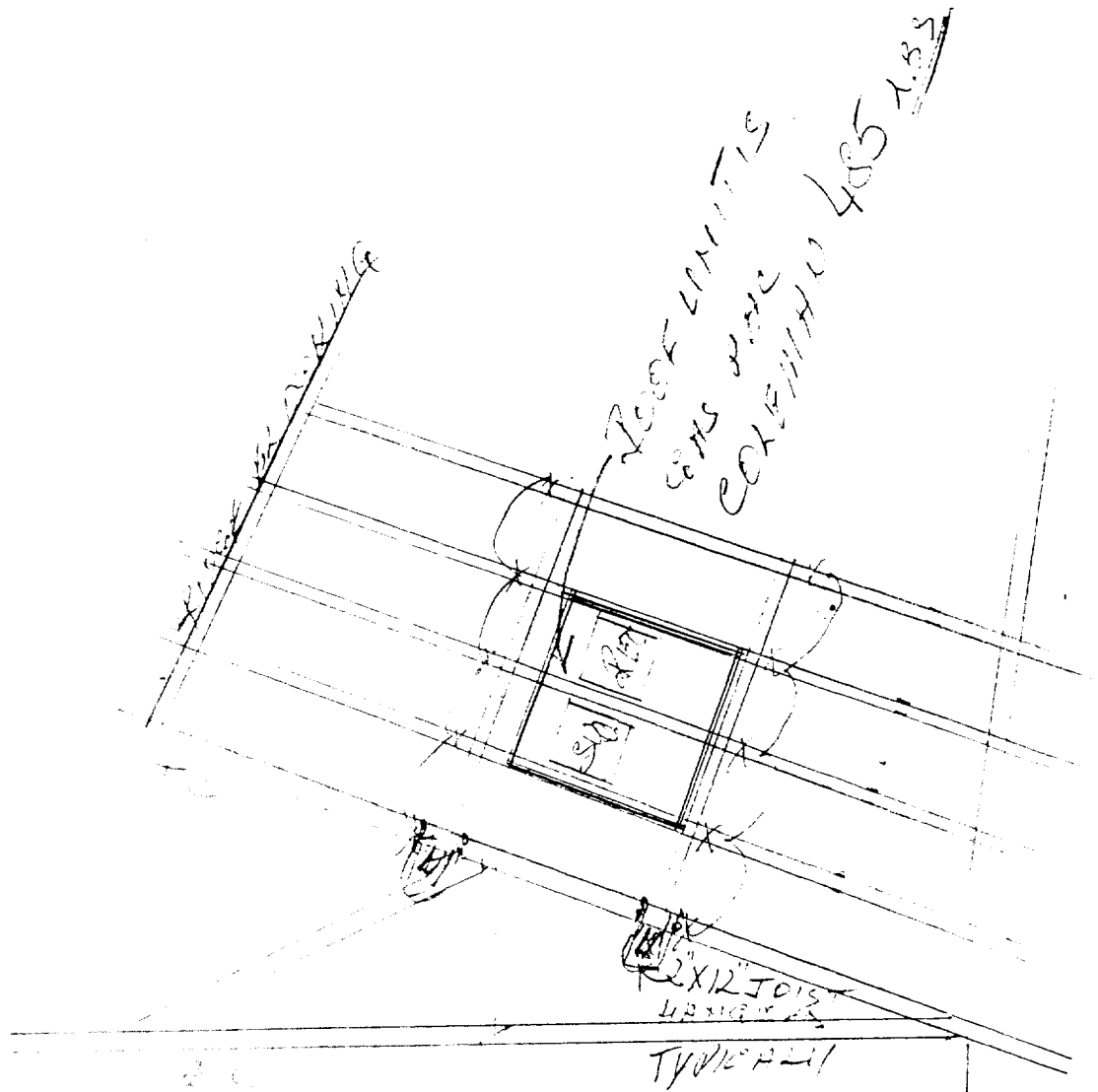
Planning Review by/Date: PHIL REED 12/29/00

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL

0015175 R 1/2
7471 PERMAR ST

SUPPORT FOR ROOF
MOUNT H.V.A.C. UNIT



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

[Signature] 4/30/01

2/2

Truss	Truss Type	Qty	Ply	Dynamic Construction 731-4005
DYNAMIC	COMMON	1	1	7471 Permar (optional)

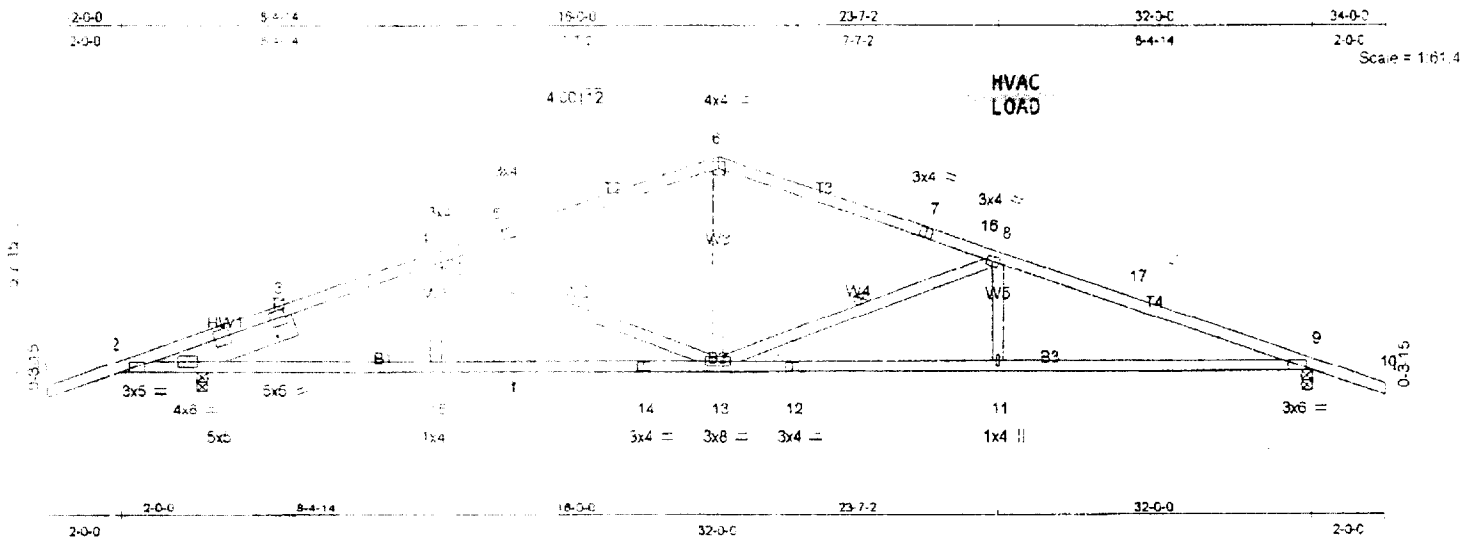


Plate Offsets (X Y): [2-0-8-7-0-2-0]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TC LL 16.0	Plates Increase	1.00	TC 0.76	Vert(LL)	-0.15 9-11	>999	MI120	220/195
TC DL 7.0	Lumber Increase	1.25	BC 0.79	Vert(TL)	-0.37 9-11	>999		
BC LL 0.0	Rep Stress Incr	NC	WB 0.95	Horz(TL)	0.11 9	n/a		
BC DL 10.0	Code	UBC/ANSI:95	(Matrix)	1st LC LL Min l/defl =	360		Weight: 140.8 lb	

LUMBER

- TOP CHORD 2 X 4 DF No 2
- BOT CHORD 2 X 4 DF No 2
- WEBS 2 X 4 DF Stud/Stc
- SLIDER Left 2 X 8 DF No 2 3-11-2

BRACING

- TOP CHORD Sheathed or 2-10-9 oc purlins.
- BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
- WEBS 1 Row at midpt 8-13

REACTIONS (lb/size) 2=1166/0-3-8, 9=222/0-3-8

FORCES (lb) - First Load Case Only

- TOP CHORD 1-2=28.1, 2-3=-2565.1, 3-4=-2511.9, 4-5=-1790.4, 5-6=-1735.6, 6-7=-1693.4, 7-16=-1784.1, 8-16=-1808.3, 8-17=-2647.8, 9-17=-2736.0, 9-10=28.1
- BOT CHORD 2-15=2385.7, 14-15=2385.7, 13-14=2385.7, 12-13=2528.7, 11-12=2528.7, 9-11=2528.7
- WEBS 4-15=159.4, 6-13=753.3, 8-11=182.0, 4-13=-788.8, 8-13=-941.5

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads per Table No. 16-B, UBC-94
- 3) This truss has been designed with ANSIT/P1-1-1995 criteria
- 4) Special hanger(s) or connection(s) required to support concentrated loads: 49.0lb down at 23-0-0, and 49.0lb down at 27-0-0 on top chord. Design for unspecified connections is delegated to the building designer.

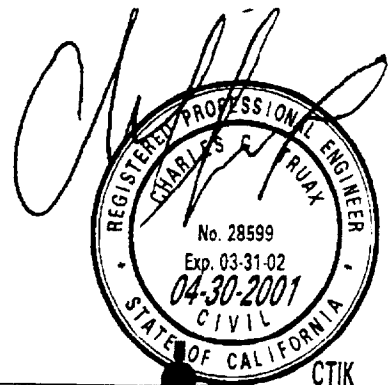
LOAD CASE(S) Standard

- 1) Regular: Lumber Increase=1.25 Plate increase= 0.0
- Uniform Loads (plf)
 - Vert: 2-9=-20.0, 1-6=-46.0, 6-10=-46.0
 - Com: 10-17=-49.0



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



GENERAL NOTES: This individual building component is designed in accordance with UBC specifications and is to be used in a building system designed by others. The input loading criteria and dimensions were provided by others and must be verified and approved for the specific application by the project design professional. Design assumes adequate drainage and a Dry Condition use in a Non-Corrosive environment without the use of Fire-Retardant or Preservative-Treated lumber. Shim or wedge if necessary to provide full bearing area required. Cut truss members to bear tightly against each other. Installation is entirely the responsibility of the contractor. All bracing, temporary and permanent, is the responsibility of the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.

Department of Planning and Development
Building Inspection Division

Grading and Erosion Control Questionnaire

To be completed for all residential new construction and additions

PART I (To be completed by applicant)

Site Address 7471 Permar St. A.P.N. 04802450080000

Applicant Information

Name _____
Address _____
Phone _____

Project Information (Check One)

Single Family Dwelling
Duplex
Triplex
Deep Lot Development

PART II (To be completed by the applicant when the project is not a part of a larger subdivision)

Are there existing structures on site? Y N
Does the site front on a paved road? Y N *
Is the site higher than the crown of adjacent road? Y N *
Is the proposed building site higher than the back of the sidewalk or curb? Y N *

Describe existing frontage improvements along road.

Ditch * Curb and Gutter Curb, Gutter, and Sidewalk

The direction of drainage on this site is:

Front to Rear * Rear to Front Side to Side *

Does an adjacent site drain across this parcel? Y * N

Does this site have an existing low area or drainage swale? Y * N

Will construction require cut or fill on site? (* >50FT3 or >2FT) Y N

- How much cut? _____ Yards
- How much fill? _____ Yards

Depth
Depth

Has building site been previously been filled? Y * N

Will existing drainage be re-routed? Y * N

Do you plan to construct or modify culverts or drainage ditches? Y * N

Print Name Griseja Radin Title _____

Signature [Signature] Date 3-6-01
Owner or Contractor

PART III (To be completed by staff)

What is the acreage of the parcel to be built on? 0.15 Acres.

If greater than 1/2 acre has an approved erosion and sediment control plan been provided? Y N

If greater than 5 acres has the applicant provided a copy of the State General Permit NOI and the SWPPP? Y N

Is the parcel to be built on part of a larger subdivision? Y N

Subdivision Name: (in fill)

If yes has an approved erosion and sediment control plan been provided? Y N

If the original subdivision is greater than 5 acres has the applicant provided a copy of the State General Permit NOI and the SWPPP? Y N

Is grading and drainage approval required prior to permit issuance? Y N

Approved by: [Signature] Date: 3/6/01

Building permit #: 0015775R

White Copy - Permit Jacket
Yellow - Utilities
Pink - Bldg. Div.



Sacramento County Regional Sanitation District
9660 Ecology Lane
Sacramento, California
95827-3881

FEBRUARY 20, 2001
RECEIVING FAX: 916-731-4005
SENDING FAX: 916-875-6253

TO: **TO WHOM IT MAY CONCERN**

FROM: **DOLORES ROSS**
SACRAMENTO REGIONAL COUNTY SANITATION DISTRICT

RE: **SEWER FACILITY IMPACT FEES**
7471 Permar St.

APN: 048-0245-008
Plan Check # 001-5175R

There are no Sewer Facility Impact Fees due for the construction of a new single family dwelling at the above address. The original home was demolished in 1999 and is still in the records at the City of Sacramento Utility Billing office.

If you have any questions regarding the above, please feel free to call me at (916) 875-6679.



INSULATION CONTRACTORS ASSOCIATION OF AMERICA

INSULATION CERTIFICATE
64268

1321 DUKE STREET, SUITE 303 • ALEXANDRIA, VA 22314 • (703) 739-0356

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

DYNAMIC LOT # _____ TRACT # _____
STREET 7471 PIERMAR ST CITY Sacto

EXTERIOR WALLS

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

CEILINGS

BATTS
MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

BLOWN IN
MANUFACTURER FIBERGLASS MINIMUM THICKNESS 12 R-VALUE 30

SQUARE FOOTAGE COVERED 1368 NUMBER OF BAGS USED 24

FLOORS
MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

SLAB ON GRADE
MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

WIDTH OF INSULATION _____ INCHES

FOUNDATION WALLS
MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

GENERAL CONTRACTOR _____
CALIFORNIA CONTRACTORS LICENSE # _____

SIGNATURE DATE _____
TITLE

INSULATION CONTRACTOR **ARCADE INSULATION**
CALIFORNIA CONTRACTORS LICENSE #263784

[Signature] 6-28-01 DATE _____
SIGNATURE TITLE