

City Planning Commission
Sacramento, California

Members in Session

Subject: A. Negative Declaration
B. Special Permit Time extension to develop six "petite homes" and one halfplex in the Single Family Alternative (R-1A) zone.

Location: 2840 Taft Street

Background Information

On September 20, 1988, the City Council approved a rezone from Standard Single Family (R-1) to Single Family Alternative (R-1A) and a tentative map to divide 1.0+ vacant acres into six "petite" home lots and one duplex lot. On August 11, 1988, the Planning Commission approved a special permit to develop six "petite homes" and one halfplex unit in the Single Family Alternative (R-1A) zone.

Staff's Evaluation

The applicant has submitted a site plan depicting variable setbacks for the six single family homes previously approved and the corner lot halfplex unit. The halfplex plans indicate an 18 foot front yard building setback and driveway depth (front and side street driveways). The minimum required driveway depth for residential development is 20 feet. A five foot setback is proposed along the south property line and seven feet seven inches is proposed along the east property line which will not provide an adequate usable rear yard area for the units. Staff recommends the site plan for the halfplex lot be redesigned to meet driveway, setback and lot coverage requirements prior to issuance of building permit for the unit.

Staff has reviewed the elevations of the single family dwellings and the halfplex ensuring compliance to the previously approved special permit. The previously approved special permit required the elevations of half (3 units) to have horizontal masonite siding mixed with the units containing vertical plywood siding. A mix of two or more exterior building materials, including wood, stucco and brick or decorative block, shall be shown on exterior elevations. The applicant has submitted only one elevation for the single family units for staff review. The following modifications are recommended:

1. Metal sectional raised panel garage doors should be installed on all units to provide continuity with the grid window and for durability.
2. The front door should be metal or a solid core wood door with six panels to carry through the continuity of the garage and window grid.
3. The masonite horizontal lap siding should be wrapped on the right side elevation to the chimney (Exhibit D).
4. The applicant should use the masonite horizontal lap siding on the three sides (north, east and west) of the chimneys (Exhibit D).
5. In order to provide some variation in the elevations of the six units, staff recommends alternating the roof lines of the garages with a gable (Exhibit B) and a dutch gable (Exhibit E). To provide further variation staff recommends utilizing four inch, six inch and eight inch siding. Two units should be constructed with four inch siding, two units with six inch siding and two units with eight inch siding.

6. The roof material should be a laminated dimensional shingle or a wood shake with a minimum life expectancy rating of at least 25 years. If the laminated dimensional shingle roof material is used the roof color should be compatible with the color of the main unit.
7. All front yards should be required to be landscaped as part of the building permit. Staff recommends that one street tree be planted per lot per the City Arborist guidelines for street trees. A street tree can be obtained through the Parks and Community Development Services Department at no charge to the developer.

Environmental Determination: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared.

Recommendation: Staff recommends that the Planning Commission take the following action:

- A. Ratify the Negative Declaration; and,
- B. Approve the Special Permit Time Extension for six petite homes and one halfplex unit subject to conditions and based upon findings of which follow.

Conditions

1. Metal sectional raised panel garage doors shall be installed on all units to provide continuity with the grid window and for durability.
2. The front door shall be a metal or a solid core wood door with six panels to carry through the continuity of the garage and window grid.
3. The masonite horizontal lap siding shall be wrapped on the right side elevation to the chimney.
4. The applicant shall use the masonite horizontal lap siding on the three sides (north, east and west) of the chimneys.
5. The applicant shall utilize a gable or dutch gable roof line on the garages of every other unit.
6. The applicant shall utilize four inch, six inch and eight inch siding on the units. Two units shall be constructed with four inch siding, two units with six inch siding and two units with eight inch siding.
7. The roof material shall be a laminated dimensional shingle or a wood shake with a minimum life expectancy rating of at least 30 years. If the laminated dimensional shingle roof material is used the roof color shall be compatible with the color of the main unit.
8. Front yards shall be landscaped. Detailed landscape plans shall show one street tree per parcel with living ground cover and automatic sprinkler system.
9. A revised site plan for the halfplex lot shall be reviewed and approved by the Planning Director prior to issuance of building permits. The plans shall indicate 40% lot coverage, minimum 20 foot front yard setback, 12.6 foot side yard setback and adequate useable rear yard area. The rear yard area shall be determined by a 15 foot rear yard or rear yard substitution as allowed by the Zoning

Ordinance. Each unit shall have its entrance, including driveways, off different streets. Each driveway shall be a minimum of 20 feet in depth.

10. Construction activities shall be limited to regular working hours. Dust control and noise attenuation measures are to be implemented in accordance with County Environmental Health Department requirements.
11. The special permit time extension will expire one year from the date of approval by the Planning Commission. A new special permit will be required if the building permits are not issued and construction begun within this one year extension.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. it is residential use in the Single Family Alternative (R-1A) zone; and
 - b. it is compatible with the surrounding mixture of land uses which consist of a church, single family and warehousing.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare in that:
 - a. adequate parking is provided;
 - b. adequate landscaping is provided; and
 - c. variable setbacks and elevations will enhance the surrounding residential uses.
3. The proposed project is consistent with the City's General Plan which designates the site as residential.

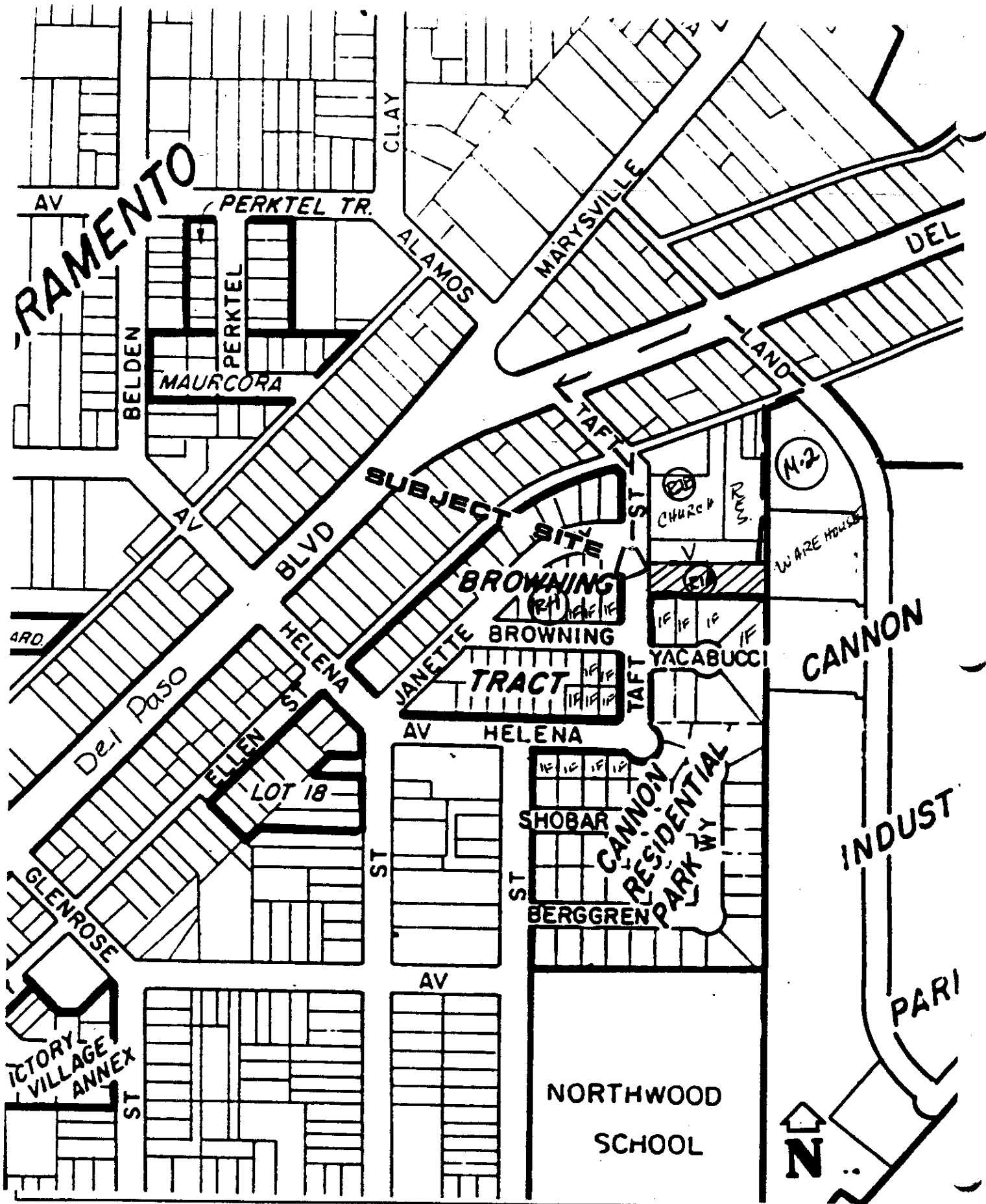
Respectively submitted.

Joy Patterson
Senior Planner

Joy Patterson
sq

Report Prepared By:

Jeanne Corcoran
Junior Planner



VICINITY, LAND USE & ZONING MAP

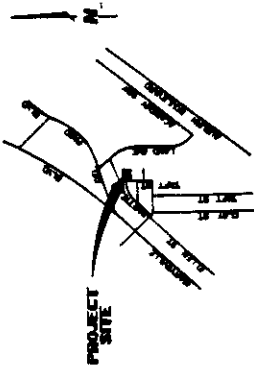
EXHIBIT A-1

SITE PLAN

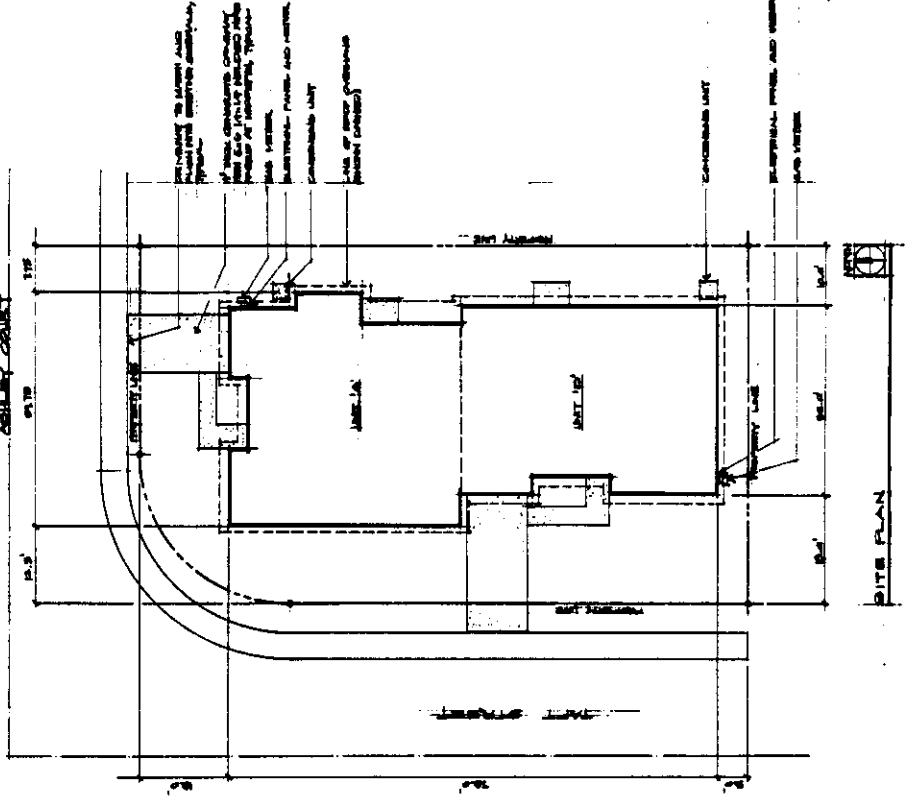
HALF PLEX

DATE	
NO.	

- PROJECT NOTES**
1. SITE PLAN / GENERAL NOTES
 2. FOUNDATION PLAN
 3. FLOOR PLAN
 4. ROOF FINISHES PLAN
 5. ROOF PLAN
 6. INTERIOR ELEVATIONS
 7. ELECTIONS
 8. MECHANICAL/ ELECTRICAL SUBSYSTEMS
 9. CONTAHS
 10. SUBSTITUTION PLAN
 11. MECHANICAL PLAN



VICINITY MAP
SCALE 1" = 100'



- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH F.R.S. REQUIREMENTS AND LOCAL CITY / COUNTY CODES AND ORDINANCES.
 2. PROVIDE SOLID BUCKLING BRUSHED ALL WAREHOUSE THAT IS TO BE ATTACHED TO THE WALL.
 3. PROVIDE GAS RISE AND DRAIN FOR EACH WATERWAY / NUMBER.
 4. USE FULL LENGTH TRIMMERS AND FULL LENGTH CHIPPERS UNDER ALL WINDOW SILLS.
 5. ALL FRAMING LUMBERS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH CHAPTER 25 OF THE UNIFORM BUILDING CODES.
 - A. ALL 4 X BRANDING P.F. No. 1 OR BETTER.
 - B. ALL 2 X BRANDING P.F. No. 1 OR BETTER, INCLUDING STUDS AND
 - C. SILL PLATES - PRESERVE TREATED P.F. No. 1 OF FOUNDATION ORS. BRIMWOOD OR BETTER.
 6. INSULATION:
 - A. WALL 3/4" (E-11) THERMAL BATT INSULATION WITH VAPOR BARRIER
 - B. CEILING 10" (E-55) THERMAL BATT INSULATION WITH VAPOR BARRIER
 7. ROOFING: 30 YEAR ASPH/FLT - PROVIDE AND INSTALL FLASHING AND SHEET METAL AS SHOWN OR REQUIRED TO MEET STRUCTURE WATERPROOF.
 8. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE TO EXTERNS SMOOTHLY AND WITHOUT EXCESSIVE WELDS. ALL SYSTEMS COMPLETE.
 9. ALL ELECTRICAL SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE FOR A COMPLETE OPERATING ELECTRICAL SYSTEM.
 10. PROVIDE 1" PER FOOT OF ROOF DRAIN FROM BUILDING FOR A MINIMUM OF 4 FEET FOR DRAINAGE WITH GUTTERING.
 11. ALL FOUNDATION AND WALLING SHALL COMPLY WITH CHAPTER 25 OF THE UNIFORM BUILDING CODE.
 12. PROVIDE 1/2" TYPE "/M/I SYSTEM ROOF AS PLUMBING FIXTURES.
 13. SITE FIRM THEREFOR SHALL BE SUBMITTED TO THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR THE CONDITIONS OF THE SITE.

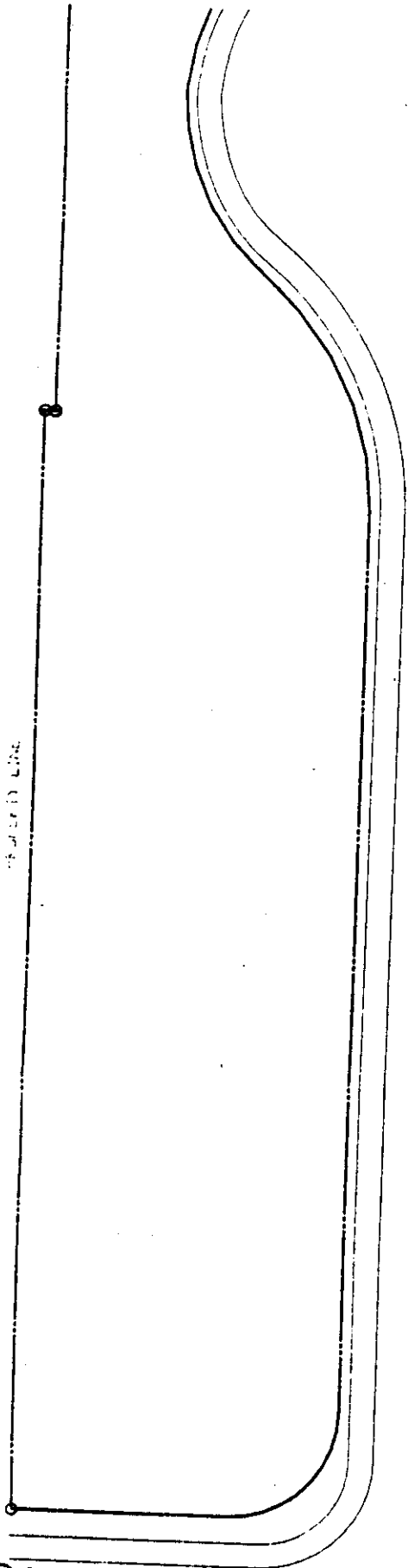
P88-267

1-24-91

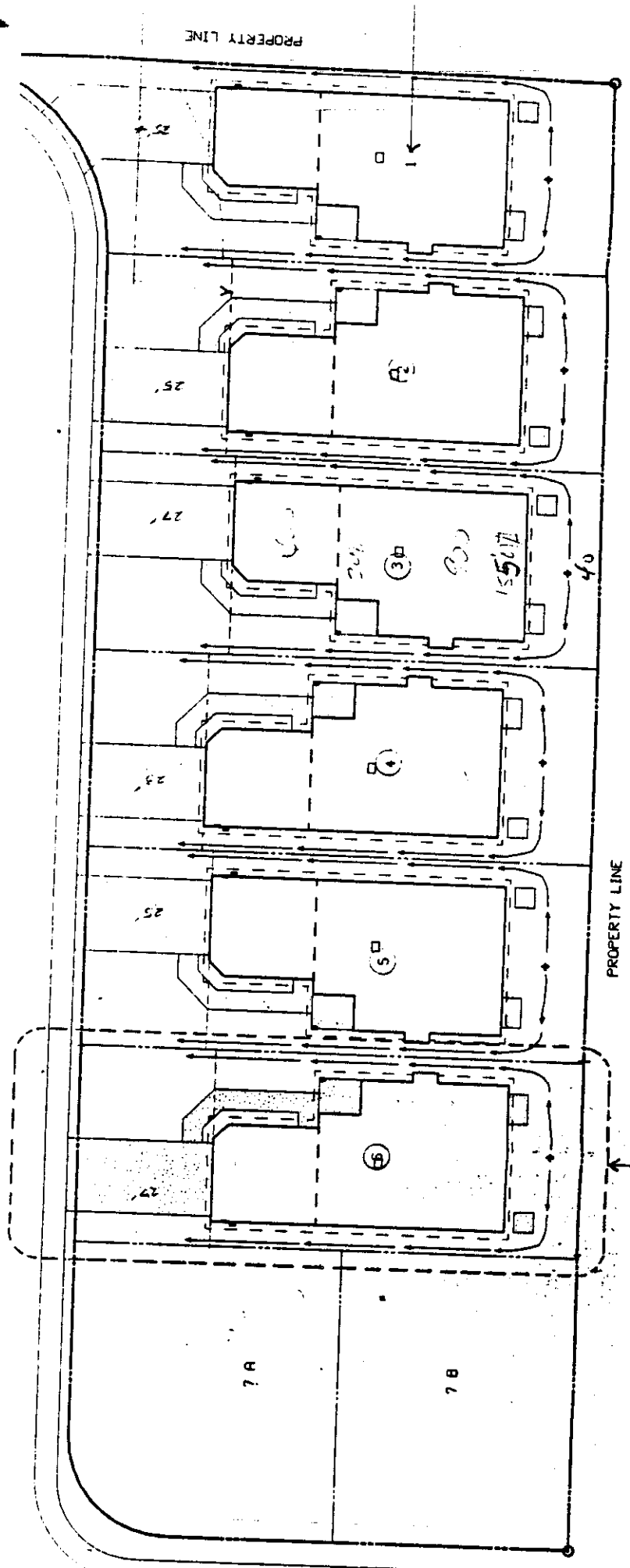
ITEM NO. 2

EXHIBIT A-2
SITE PLAN

Petite Homes



A S H L E Y C O U R T



PARCEL FOR CONSTRUCTION
UNDER THIS PERMIT - SEE
SHEET NUMBER ONE

167-24-91

P88-267

1-24-91

ITEM NO. 25

EXHIBIT B - 1 ELEVATIONS

REVISIONS	BY	DATE

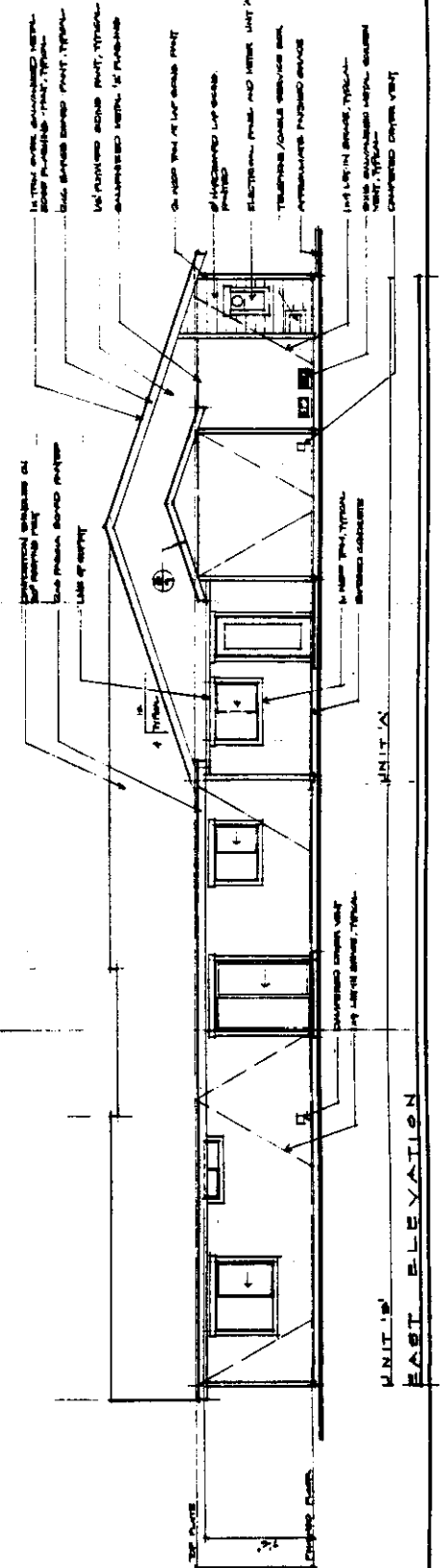
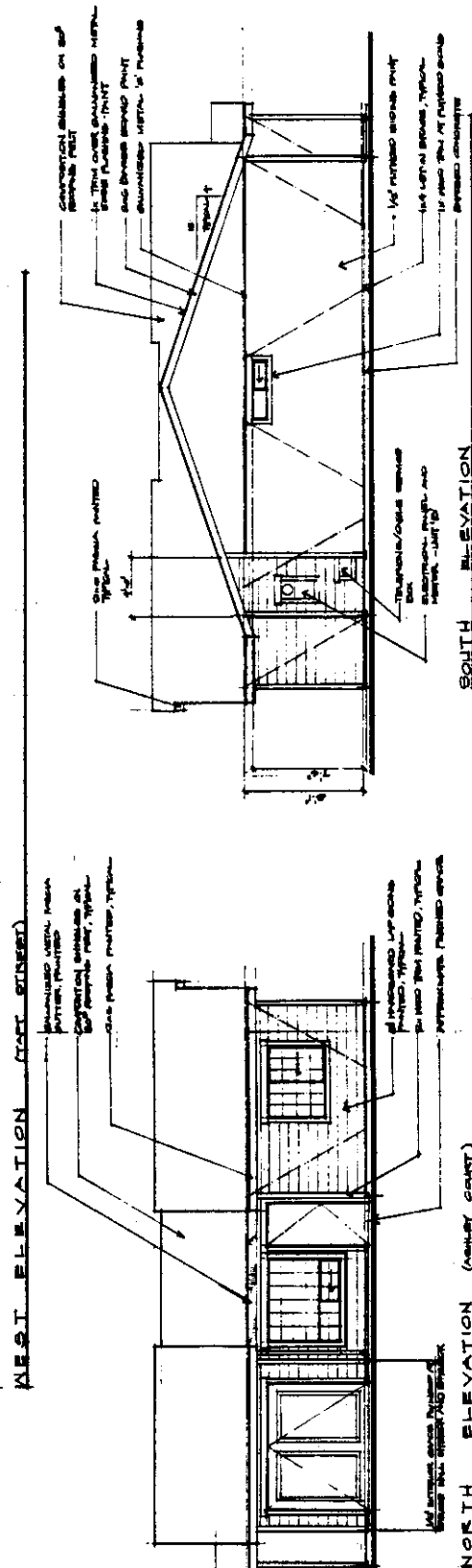
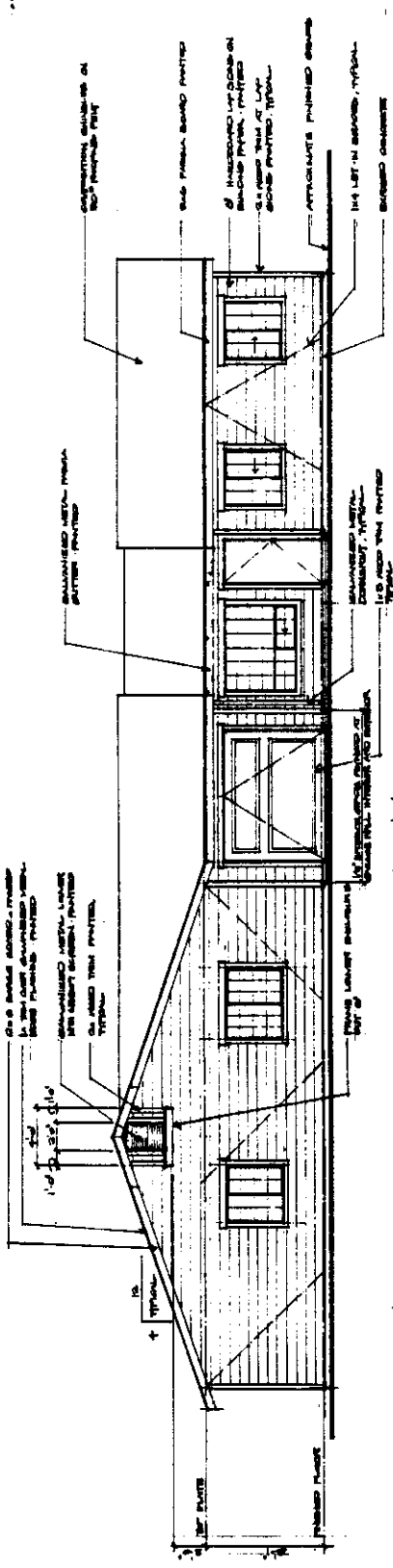
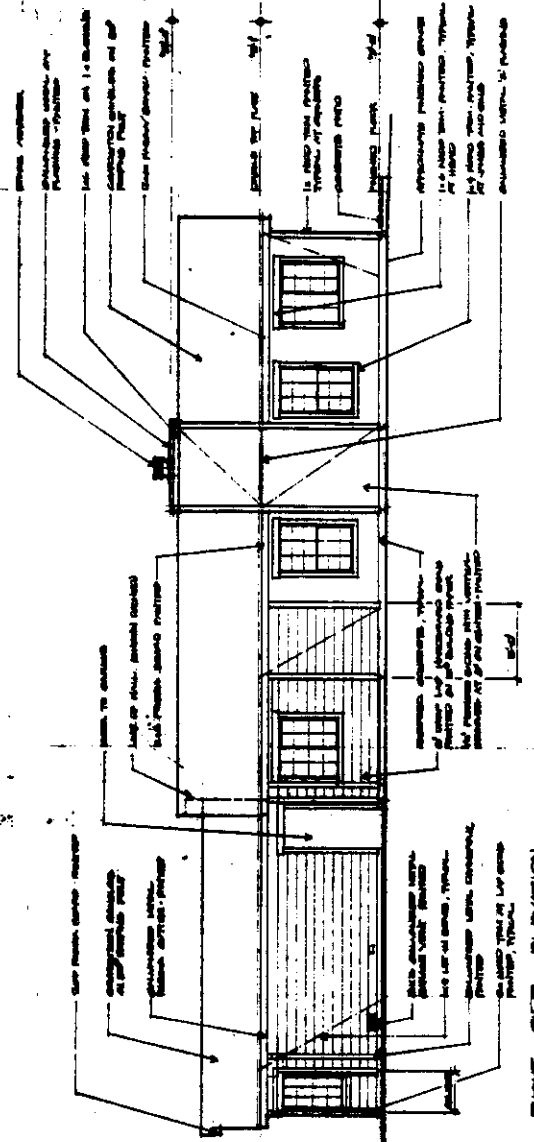
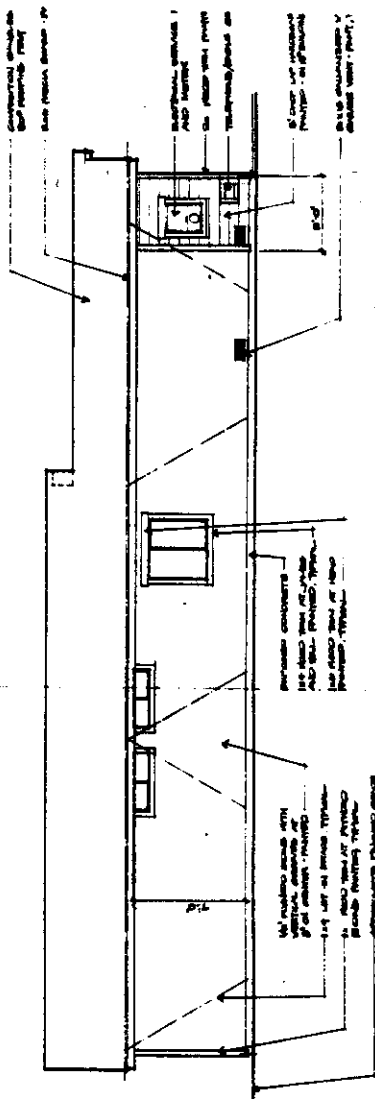


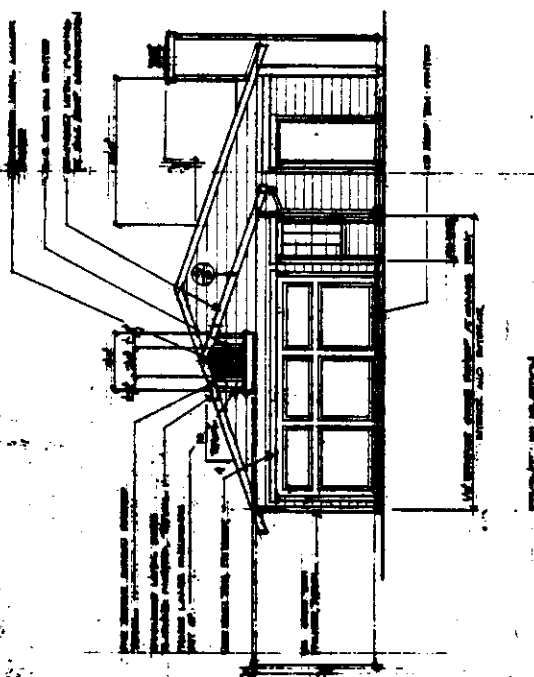
EXHIBIT B - 2 ELEVATIONS



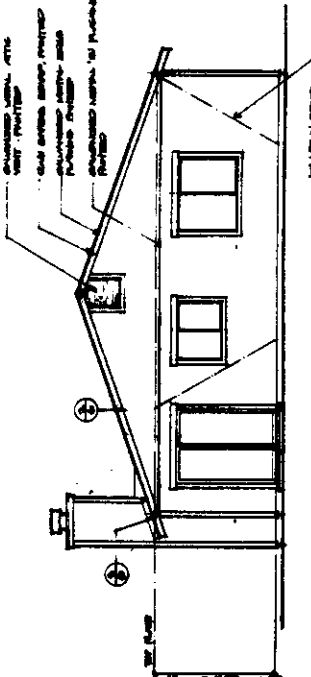
FRONT ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

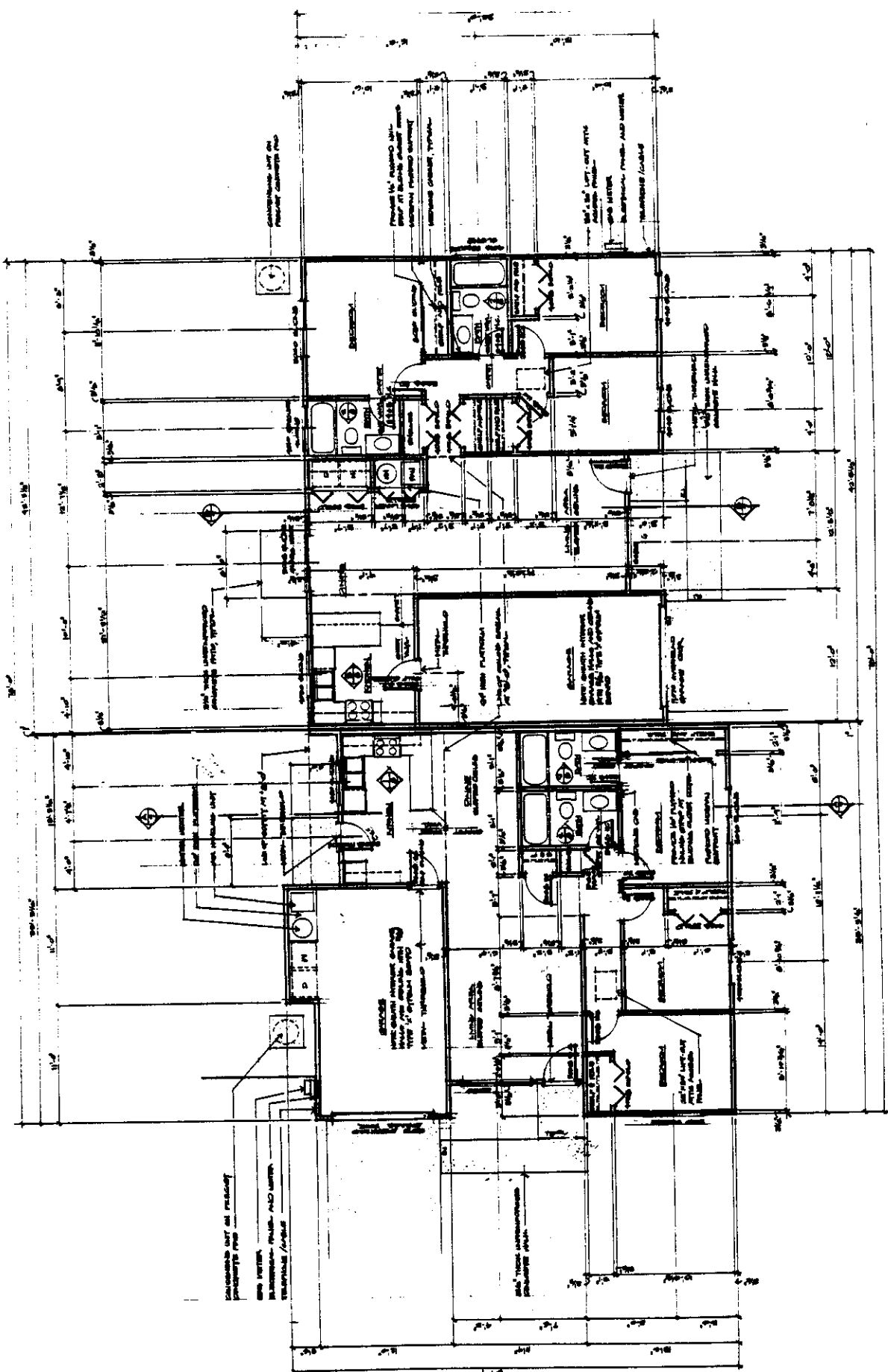
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ITEM NO. 2

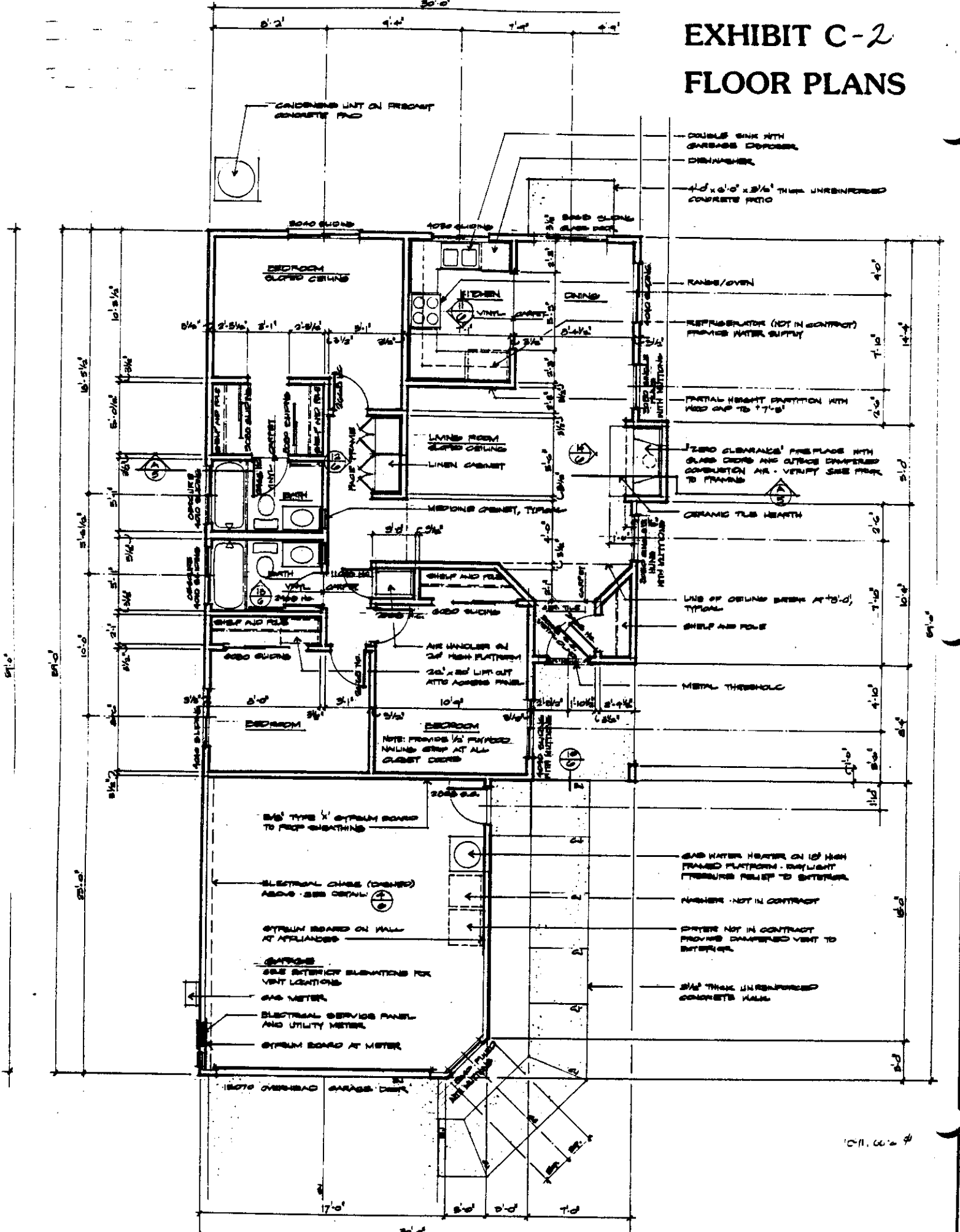
EXHIBIT C-1 FLOOR PLANS

NO.	
1	
2	
3	
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10	



UNIT: 1/8" = 1'-0"
 UNIT: 1/4" = 1'-0"
 FLOOR PLAN

EXHIBIT C-2 FLOOR PLANS



P88267

FLOOR PLAN

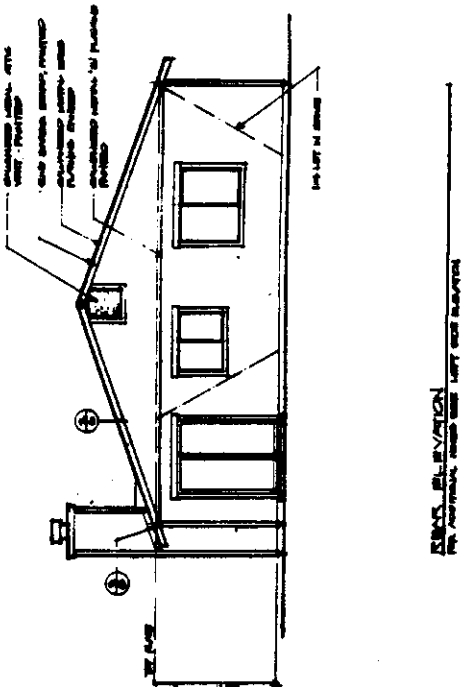
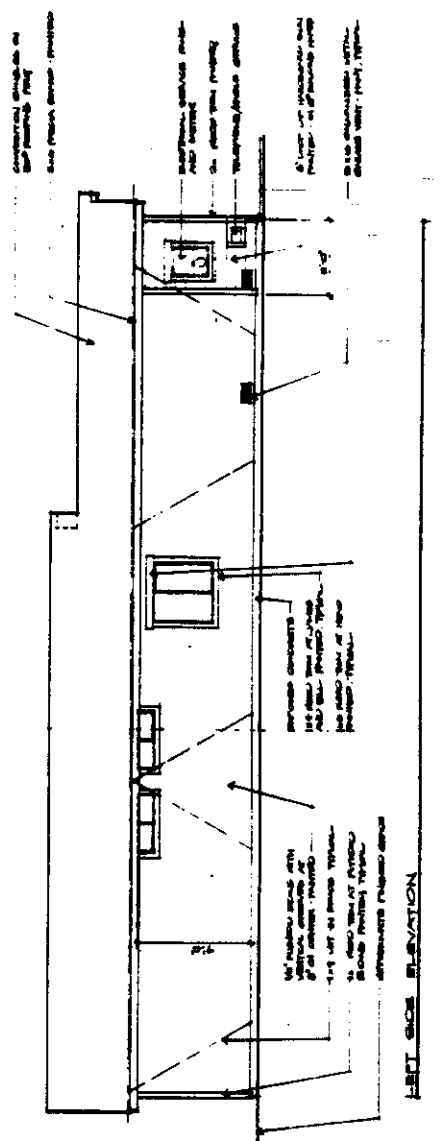
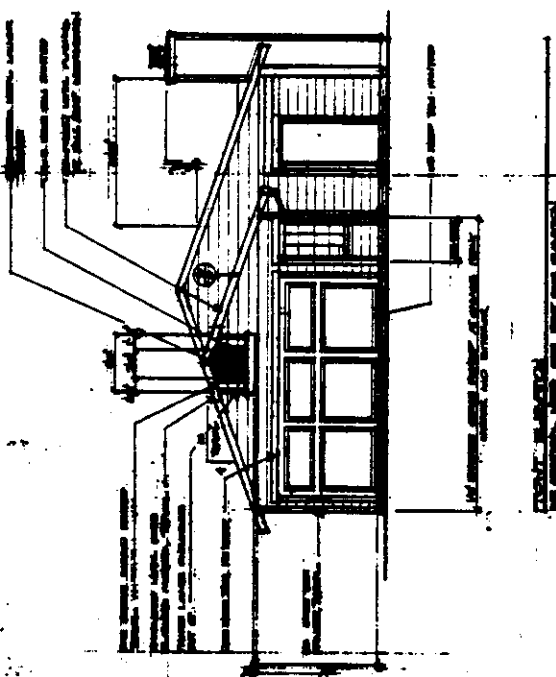
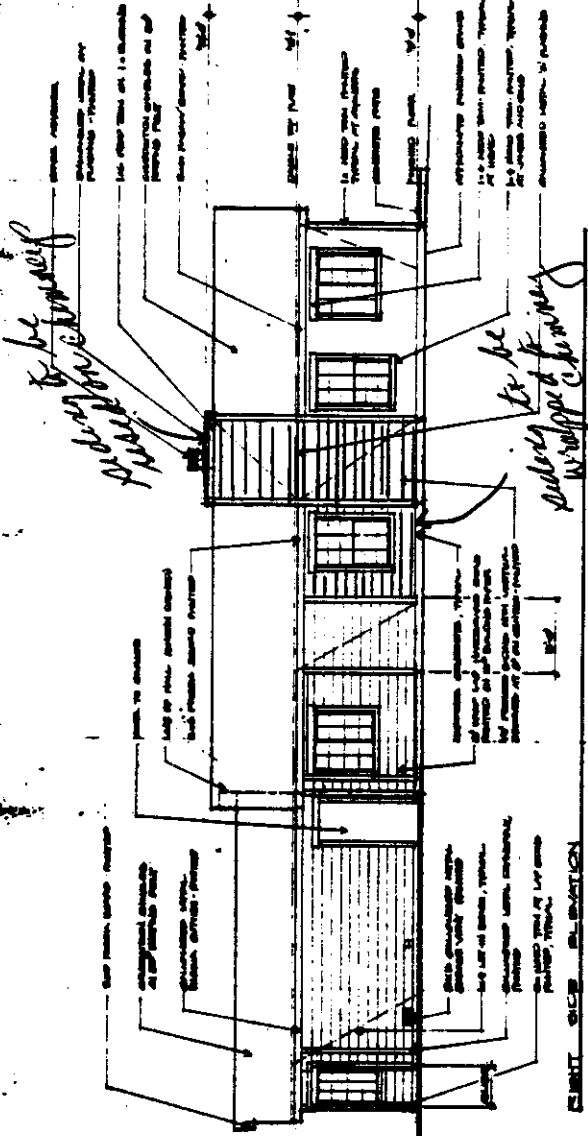
1-24-91

ITEM NO 25

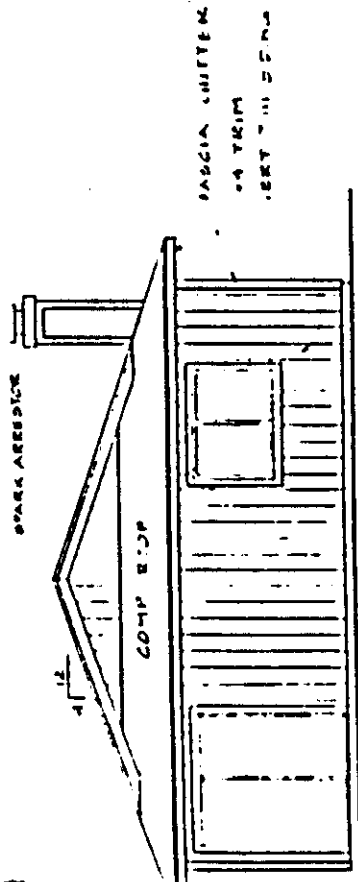
VIAL CORPORATION

EXHIBIT D

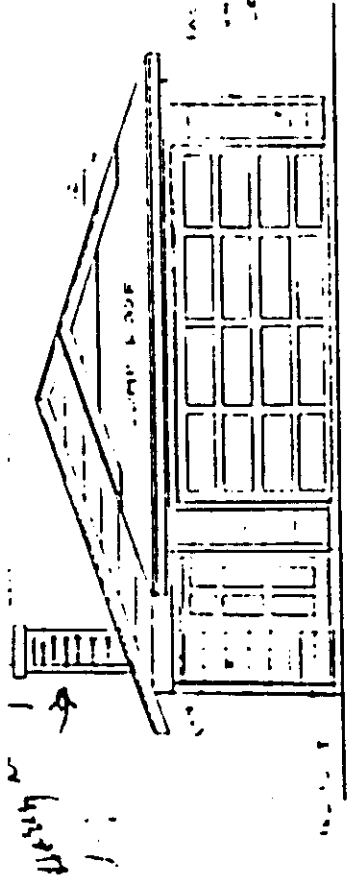
STAFF EXHIBIT



*Dutch
Gable Roof*



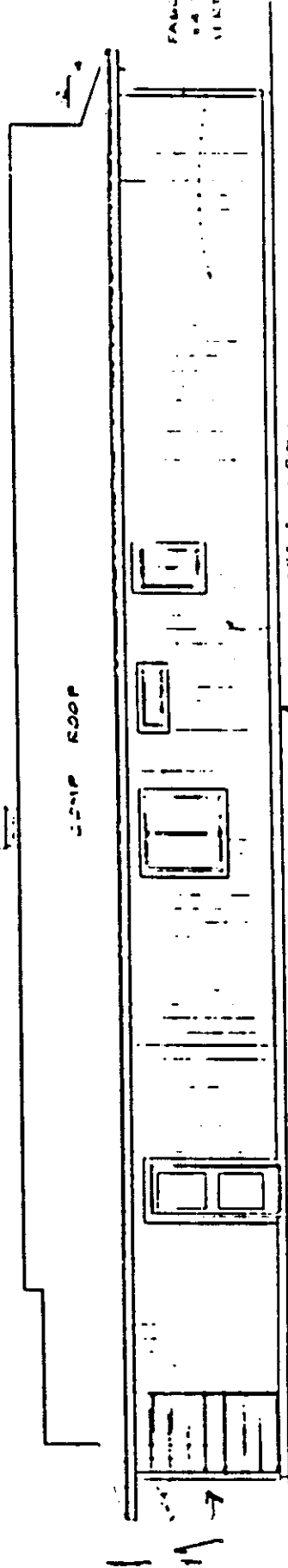
REAR ELEVATION



FRONT ELEVATION



CHIMNEY



RIGHT ELEVATION

ELEVATION "B"

REVISED BY STAFF 8/4/88
CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	WONG AND ASSOCIATES, 201 Lathrop Way, Suite F, Sac., CA 95815		
OWNER	ASHLEY PROPERTIES, 3001 P Street, Sacramento, CA 95816		
PLANS BY	WONG AND ASSOCIATES, 201 Lathrop Way, Suite F, Sac., CA 95815		
FILING DATE	6/7/88	ENVIR. DET.	Neg. Dec. REPORT BY DH:vf
ASSESSOR'S PCL. NO.	265-0274-010.011		

- APPLICATION:
- A. Negative Declaration
 - B. Rezone 1.0+ vacant acres from Standard Single Family (R-1) to Alternative Single Family (R-1A) zone.
 - C. Tentative map to divide 1.0+ vacant acres into six "Petite" home lots and one duplex lot.
 - D. Special Permit to develop six "petite homes" and one duplex in the Single Family Alternative (R-1A) zone.
 - E. Variance to reduce the required 25 foot side yard setback to 10-1/2 feet in the Multiple Family (R-2B) zone for a proposed eight unit apartment complex.
- hbtakahh/./*

LOCATION: 2840 Taft Street

PROPOSAL: The applicant is requesting the necessary entitlements to divide one lot into seven lots for zero lot line development and one eight unit apartment site.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential, 4-15 du/net acre
1984 North Sacramento Community Plan Designation:	Residential 11-21 du/net acre
Existing Zoning of Site:	R-2B, R-1
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks: Required		Provided	
	R-1A	R-2B	R-1A	R-2B
North: Church & Single Family; R-2B	25'	25'	25'	25'
South: Single Family; R-1	5'	5'	5'	5'
East : Industrial; M-2	5'	25'	5'	17'
West : Single Family; R-1	15'	80'	15'	15'

Density of Development:

265-0274-010	-	Units	=	8
(Apartment Site)		Area	=	18,150 sq. ft.
265-0274-011		Units	=	8
(Petite Home Site)		Area	=	67,650 sq. ft.
		Density	=	1 unit per 8,456 sq. ft.
		Du/ac	=	5
Both Parcels		Units	=	16 units
		Area	=	85,800 sq. ft.
		Density	=	1 unit per 5,362 sq. ft.
		Du/ac	=	8

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On July 13, 1988 by a vote of six ayes, three absent, the Subdivision Review Committee voted to recommend approval of the Tentative Map subject to the attached conditions.

BACKGROUND INFORMATION: The subject site was originally proposed to be rezoned from R-1 to R-2B-R to allow construction of a 21 unit apartment complex on 1.5± vacant acres (P87-341). The Planning Commission recommended approval of the rezoning and tentative map subject to conditions including reducing the number of units from 21 to 20. After considerable public opposition presented at the City Council hearing, the applicant agreed to reduce the density to 16 units. On April 5, 1988, the City Council referred the item back to the Planning Commission for further modifications and review.

The applicant has revised the project to allow two four unit apartment complexes; one future halfplex and six single family "Petite Homes."

On July 28, 1988, the Planning Commission considered various requests to establish six petite homesites and one half-plex lot and a variance to reduce the setback. Since the legal notice for the setback variance was incorrect and could not be heard with the other entitlements, the Commission continued the entire matter so that all requests can be considered at one time.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of two vacant lots referred to as the "north" and "south" lots. The north lot is 55 feet wide and is zoned R-2B containing 0.42± vacant acres. The south lot is 150 feet wide, is zoned R-1 and contains 1.55± vacant acres. The 1984 North Sacramento Community Plan designates both parcels are residential 11 to 21 du/acre. The 1988 City Central Plan designates the site as residential

low density four to 15 du/net acre. The projects total density will be eight du/ac. in the south lot. The proposed project is consistent with the General Plan. The site is adjacent to single family uses to the south and west, warehousing zoned M-2 to the east and a church zoned R-2B to the north.

B. Project Description

The applicant is requesting a series of entitlements to allow division of one and one-half acres into seven lots, six for petite home development and a corner halfplex lot. Also requested is a rezoning of one and one-half acres to single family alternative (R-1A) zone. For a proposed eight unit apartment complex on 0.5+ acres in the R-2B zone, a variance is requested to reduce the required 25 foot street side yard setback to 10-1/2 feet. The petite home development requires a special permit in the R-1A zone.

C. Project Analysis - Tentative Map

The applicant proposes to divide the south lot into seven lots, six lots 40 ft. x 105 ft. and one corner lot of 60 ft. x 105 ft. Included in the request is construction of a 300+ foot long cul-de-sac which provides access to the seven lots and the north apartment lot. The Subdivision Review Committee has recommended approval of the tentative map subject to conditions. Full sidewalks, curbs and gutters will be required. The City Engineer voted that the north lot proposed property line will require adjustment to coincide with the future street right-of-way. The location of the trash enclosure in the public right-of-way or setback area is not allowed and will require relocation on the apartment site plan. Staff notes that the R-1A zone allows flexible lot widths and building setbacks to provide a variety for the placement of dwellings. Staff has no objection to the tentative map as proposed.

D. Special Permit - Petite Homes

The applicant provided elevations but no floor plans or square footage totals for two models proposed for the single family uses. No action is proposed for the halfplex corner lot since staff has expressed concerns over the lack of compliance with the design guidelines for halfplex units on corner lots which include separate driveways and entrances off each of the street frontages.

Staff has reviewed the elevations for the single family dwellings and suggest the following modifications:

1. The garage should be moved three feet to the side to increase the building's width to 30 feet. With the increased width, three feet can be added to the area between the garage and entry way. Staff recommends decorative trim or lattice elements to be added to break up the elevation as viewed from the street.
2. Use of horizontal masonite siding on several units should be added to the proposed vertical plywood siding units. The variety will break up a uniform block face. Staff recommends a mix of two different materials on the exteriors of the units. These materials can consist of a combination of stucco, and masonite wood siding with a brick or decorative block wainscot element. Planning Division staff shall review and approve the modified elevations prior to issuance of building permits for any of the petite homes.
3. Staggered front yard setbacks are recommended along the new street for the proposed dwellings. Staff recommends a detailed master house foot print plan be reviewed and approved by the Planning Director prior to issuance of building permits.
4. The proposed roof material is composition shingle. Staff recommends that the roof material be earth tone in color and that it have a life expectancy rating of at least 30 years.
5. All front yards are required to be landscaped as part of the building permit. Staff recommends that one street tree be planted per lot as per the City Arborist guidelines for street trees.

E. Site Plan Review - Apartment Site

1. Site Plan -

- A. The proposed apartment site plan shows a seven and one-half foot side yard setback and five and one-half foot side yard setback from the north property line abutting the church property. Considering the apartments are proposed as two story structures, staff has previously recommended increased setbacks for two story apartments.
- B. Building A has a 25 foot front yard setback as required in the R-2B zone. Building B does not have a front yard but a street side yard which could serve as a front yard if deeper than 10-1/2 feet as shown. No real usable outdoor yard area exists for tenants of building B.

Staff recommends site plan modifications to allow outdoor areas, not in the public right-of-way for Building B.

- C. The trash enclosure shown near the head of the cul-de-sac is not allowed. The site plan shall be revised to show a central trash collection facility screened from public view.

2. Parking

The proposed project is required to have 12 on site parking spaces. The applicant proposes 12 uncovered spaces with four spaces identified for compact cars and one handicap space (space 7).

In reviewing the apartment layout, it appears parking and structures occupy 85 percent of the lot. Little common play area or yard area for eight, two bedroom, 928 to 960 sq. ft., two bath room apartments where children will be allowed, is provided. The proposed project could be redesigned to provide facilities listed in the Multiple Family Design Guidelines the City uses in reviewing larger multiple family projects.

Staff recommends redesign of the apartment site to show more open area devoid of parking or structures.

3. Landscaping

No detailed landscaping plans were provided for staff review and approval. Staff recommends submittal of detailed landscaping and irrigation plans for the revised site plan showing lawn in all yard areas with two street trees along Taft and four street trees along the new street. The use of shrubbery adjacent to the building and around the trash enclosure is recommended. No portable concrete wheel stops shall be used in the parking area. Staff recommends two feet of landscaping be extended into the vehicle overhang area and a six inch poured in place concrete curb surround all parking and vehicle aisles.

4. Building Elevations

Planning staff and Design Review staff have reviewed the elevations of the proposed apartment structures and propose the following modifications:

1. The roof overhang for the front elevations shall extend out flush with the stairway handrail.
2. Stairways, handrails and verticals shall be of wood.
3. Stairways shall be double-stringer.
4. Small paned windows shall be used on the rear, front and end elevations. Windows shall be designed in accord with the City Window Sill Guidelines.
5. Detailed landscaping and irrigation plans shall be approved by staff prior to issuance of building permits; these plans shall include trees planted along the north property line to soften the appearance of the rear elevation.
6. Trash enclosure shall comply with zoning ordinance requirements.
7. Detailed carport plans indicating the use of similar design and building material shall be reviewed and approved by staff prior to issuance of building permits. A wood fascia shall be utilized.
8. Exterior siding material of the structures shall be a mix of wood and stucco.
9. The trash enclosure shall be moved to the center of the site.
10. Street trees shall be planted along the south property line of the apartment site. These trees shall be at least 15 gallon in size.
11. The proposed composition roof shall be a life-expectancy rating of at least 30 years (staff added).
12. Revised elevations of the apartment buildings shall be reviewed and approved by the Planning Director prior to issuance of building permits.
13. The apartment site plan shall be revised to the satisfaction of the City Planning Director to show open common recreational areas such as barbeque pits, tot lot and picnic bench or area with landscaping and shrubbery.
14. A six foot high solid wood fence shall be constructed along the north property line except where the parking lot abuts the single family use, where a six foot high solid, decorative masonry wall shall be provided.

15. The center parking lot shall be redesigned to eliminate north, south parking space alignment and have spaces parallel to the road. This prevents backing out into the street right-of-way.

F. Variance Request

In review of comments and recommendations to modify the site plan to provide more common open area, staff could support the variance to reduce the street side yard setback from 25 to 10 feet. However, part of the solution involves reducing the length of the cul-de-sac and adding property to the apartment site so that open area is provided. As proposed, the minimal common area lack of tot lot, barbeque or common recreational area does not warrant the approval of the variance. The site appears to be overbuilt with structure and attendant parking with little allowance made for tenant amenities.

Staff has met several times with the applicant to discuss alternative site layouts and have reach a compromise for reducing walkways on the site by incorporating the street sidewalk as part of the access from the parking lot to the entrances. Relocation of the trash enclosure and moving Building B to the east would allow eight additional feet of yard area to be established along the west elevation of Building B.

Staff has also recommended shifting both structures to the north to be five feet from the property line. This gains additional yard area along the street side yard. With these modifications, the variance from the 25 foot street side yard setback is increased from 10-1/2 feet to 12-1/2 feet. Staff supports the variance since a unique circumstance is established in the dedication of a 44 foot wide street which reduces usable yard area is established. The public benefit achieved in having public street dedicated and constructed has greater long term positive impact on the neighborhood than requiring the 25 foot building setback. With the buildings setback 12-1/2 feet from the property line, a similar setback is provided for standard single family dwellings. With efforts at providing common open areas and tenant amenities, staff finds that a unique hardship and circumstance warrants granting the variance. No impact to the public health and safety results in that only local traffic will be using the street and the provision of common open area will reduce the likelihood of children playing in the adjacent streets.

G. Parkland Dedication

The Planning and Community Services Divisions have determined that Parkland Dedication in lieu fees are appropriate. Fees will be based upon .1896 acres of land multiplied by the per acre value established by the applicant's appraiser.

H. Flooding

A portion or all of the property may lie in zone X of FEMA (FIRM) flood map. The applicant should check with the City Engineer to determine what, if any, special measures must be taken.

I. Agency Comments: The following City Departments reviewed the project with the following comments:

Police:

No Comment

Public Works - Engineering:

(See tentative map comments)

City Solid Waste:

Provisions are to be made for 90 gallon containers for the single family development and a trash enclosure for the garbage bins or cans.

The North Sacramento Elementary School District provides the following recommendation. Staff does not support denial in that the zoning is present to allow the density of development proposed which would potentially increase the number of students for both Grant Union High School District and North Sacramento Elementary School District.

We recommend that this map be denied for the following reason(s):

The development project in question could generate enough elementary aged children to further impact the overcrowded situation already in place at Northwood Elementary School. Currently, the school is already operating at 102.5 percent of capacity. Projections indicate that even without further new construction that enrollment will continue its upward trend at about 5 percent per year. This proposed development project simply adds to an already extremely difficult overcrowding situation.

ENVIRONMENTAL DETERMINATIONS: The Environmental Coordinator has determined that the project will not have a significant affect on the environment and has filed a negative declaration.

RECOMMENDATION: Staff recommends the following actions to the Commission:

A. Ratify the Negative Declaration.

- B. Recommend approval of the rezoning from Standard Single Family (R-1) to Alternative Single Family (R-1A) zone as depicted on Exhibits A and B.
- C. Recommend approval of the tentative map subject to conditions which follow.
- D. Approve the special permit subject to conditions and based upon findings of fact which follow.
- E. Approve the variance subject to conditions and based upon findings of facts which follow:

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the city code.
2. Prepare a drainage study for the review and approval of the City Engineer; may require off-site extensions and oversizing.
3. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments if necessary.
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the city, an appraisal of the property to be subdivided and pay the required Parkland Dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map (0.1896 acres).
5. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U. S. Postal Service.
6. The applicant/developer shall designate and place on the final map, those structures and/or lots which will meet the required 80 percent south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.

7. Submit a soils test prepared by a registered engineer to be used in street design.
8. Taft Street shall be constructed to a 27 foot half-section.
9. Dedicate a standard 12.5 foot Public Utility Easement for underground electrical facilities and appurtenances adjacent to all public ways.
10. Final map shall show the realignment of the common property line separating the two existing lots to coincide with the street. The old lot line will no longer exist.
11. The multiple family parcel shall be designated as Lot A on the final map.

NOTE: A portion or all of the property may lie in zone X of FEMA (FIRM) Flood Maps.

NOTE: The trash enclosure will require relocation outside the public road right-of-way and setback area.

Conditions - Special Permit - Petite Homes

1. The applicant shall revise the building elevations to show a dwelling with three additional feet of width between the entrance and garage as shown on the staff modified front elevation for a total building width of 30 feet. A decorative trim lattice or similar element is to be shown to provide variety to the front elevation.
2. The applicant shall review the elevations of half or three of the units to have horizontal masonite siding mixed with the units containing vertical plywood siding. Revised elevations are to be reviewed and approved by the Planning Director prior to issuance of building permits.
3. Staggered front yard setbacks are to be shown on a master site plan for the single family dwellings ranging from 22 to 27 feet. Side yard setback of five feet and rear yard setback of 15 feet are to be maintained. The setback and floor print plan shall be reviewed and approved by the Planning Director prior to recordation of the final map.
4. Roof material shall be composition shingle or wood shake with a minimum life expectancy rating of at least 30 years.

5. All front yards are required to be landscaped. Detailed landscape plans shall show one street tree per parcel with living ground cover and automatic sprinkler system. Landscape plans shall be reviewed and approved for each building permit for single family or multiple family development.
6. A mix of two or more exterior building materials, including wood, stucco and brick or decorative block, shall be shown on the exterior elevations. Colors shall be earth tone.
7. Construction activities shall be limited to regular working hours. Dust control and noise attenuation measures are to be implemented in accordance with County Environmental Health Department requirements.

Conditions - Variance - Approval

1. The roof overhang for the front elevations shall extend out flush with the stairway handrail.
2. Stairways, handrails and verticals shall be of wood.
3. Stairways shall be double-stringer.
4. Small paned windows shall be used on the front and end elevations.
5. Detailed landscaping and irrigation plans shall be approved by staff prior to issuance of building permits; these plans shall include trees planted along the north property line to soften the appearance of the rear elevation.
6. Trash enclosure shall comply with Zoning Ordinance requirements.
7. Detailed carport plans indicating the use of similar design and building material shall be reviewed and approved by staff prior to issuance of building permits. A wood fascia shall be utilized.
8. Exterior siding material of the structures shall be a mix of wood and stucco.
9. The trash enclosure shall be moved to the center of the site.
10. Street trees shall be planted along the south property line of the apartments. These trees shall be at least 15 gallon in size.

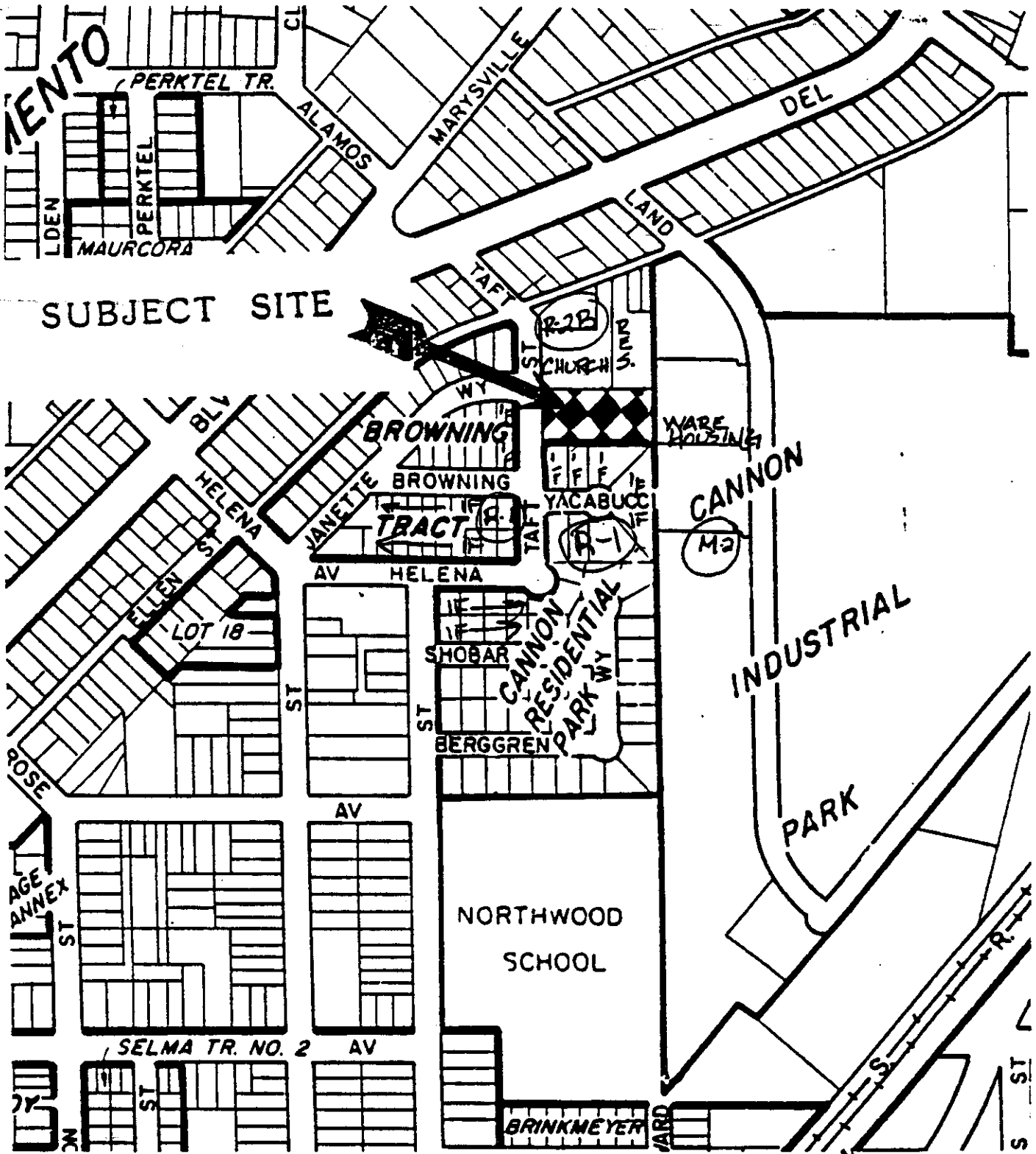
11. The proposed composition roof shall be a life-expectancy rating of at least 30 years.
12. Revised elevations of the apartment buildings shall be reviewed and approved by the Planning Director prior to issuance of building permits.
13. The apartment site plan shall be revised to the satisfaction of the City Planning Director to show open common recreational areas such as barbeque pits, tot lot and picnic bench or area with landscaping and shrubbery.
14. A six foot high, solid wood fence shall be constructed along the north property line except where the parking lot abuts the single family use, where a six foot high, solid decorative masonry wall shall be provided.

Findings of Fact - Special Permit - Petite Homes - Approval

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. it is consistent with the current land use designation of four to 15 dwelling units per acre; and
 - b. it is compatible with the surrounding mixture of land uses which consist of a church, single family and warehousing.
2. The project, as conditioned, will not be detrimental to public health, safety or welfare in that:
 - a. adequate parking is provided;
 - b. adequate landscaping is provided to buffer the project; and
 - c. variable setbacks, elevations and building materials will enhance the surrounding residential uses located to the south and west.
3. The proposed project is consistent with the City's General Plan in that the site is designated for four to 15 du/net acre and the joint apartment and single family development results in a density of eight du/acre.

Findings of Fact - Variance - Approval

1. Granting the variance is not granting a use variance in that apartments are allowed in the R-2B zone.
2. Granting the variance subject to conditions, does not constitute granting a special privilege in that the dedication of a 44 foot wide street section and construction of a standard road subtracts yard area from the site. In relocating the buildings, increasing the street side yard setback to 12-1/2 feet, the setback conforms with the standard single family street side yard setback of 12-1/2 feet. A unique circumstance exists which requires the reduction of the street side yard to allow development of apartments on the site.
3. Granting the variance, subject to conditions, will not be injurious to the public health, safety or welfare nor create a nuisance in that adequate on site parking, play and common area, and landscaping will be provided.
4. Granting the variance is consistent with the 1984 North Sacramento Community Plan which designates the site for residential 11-21 du/ac and the proposed project of eight units on 0.42 acres results in a density of 20 units per acre.



SUBJECT SITE

Scale: 1" = 500'

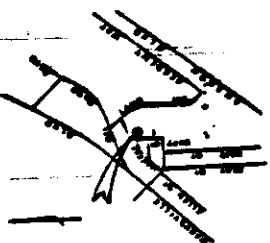
VICINITY - LAND USE - ZONING

P-88-267

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1-24-91

item ~~32~~

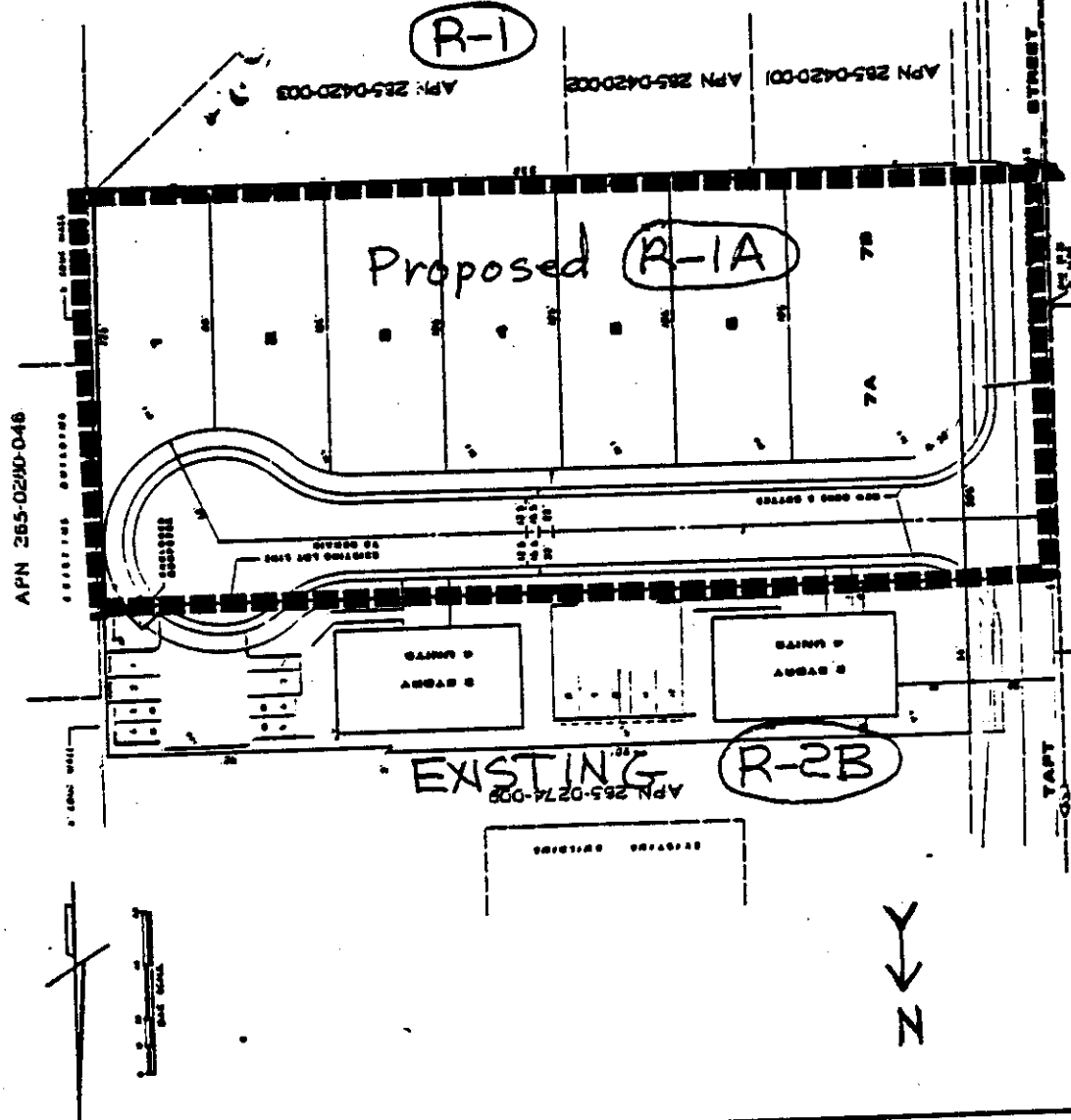
EXHIBIT A REZONE EXHIBIT



VICINITY MAP

LEGAL DESCRIPTION
 APN 265-0210-046
 0.10 AC. MORE OR LESS OF THE S1/4 OF THE S1/4 OF SECTION 16, T12N, R12E, S4E, COUNTY OF SACRAMENTO, CALIFORNIA.
 0.10 AC. MORE OR LESS OF THE S1/4 OF THE S1/4 OF SECTION 16, T12N, R12E, S4E, COUNTY OF SACRAMENTO, CALIFORNIA.
 0.10 AC. MORE OR LESS OF THE S1/4 OF THE S1/4 OF SECTION 16, T12N, R12E, S4E, COUNTY OF SACRAMENTO, CALIFORNIA.

- UTILITIES**
- WATER MAINS
 - SEWER MAINS
 - GAS MAINS
 - TELEPHONE MAINS
 - CABLE MAINS
 - POWER MAINS
 - STORM MAINS
 - IRRIGATION MAINS
 - INDUSTRIAL MAINS
 - HAZARDOUS WASTE MAINS
 - OTHER MAINS
- UTILITIES REPRESENTATIVE**
- | UTILITY | REPRESENTATIVE | PHONE |
|-----------------|----------------|-------|
| WATER | ... | ... |
| SEWER | ... | ... |
| GAS | ... | ... |
| TELEPHONE | ... | ... |
| CABLE | ... | ... |
| POWER | ... | ... |
| STORM | ... | ... |
| IRRIGATION | ... | ... |
| INDUSTRIAL | ... | ... |
| HAZARDOUS WASTE | ... | ... |
| OTHER | ... | ... |



VICINITY SUBDIVISION MAP
 SEE 265-0210-046
 PREPARED WITH PLAN
 APN 265-0210-046

SITE OF SACRAMENTO

NO.	DATE	DESCRIPTION



WONG & ASSOCIATES
 1000 J STREET, SUITE 700
 SACRAMENTO, CALIFORNIA 95811
 (916) 441-1111

DATE: 11/11/88
 SCALE: AS SHOWN

PROJECT NO. 265-0210-046

DATE: 11/11/88

P-88-267

8-1-88
 1-24-91

item 25

EXHIBIT B REZONE LEGAL DESCRIPTION

ALL THAT REAL PROPERTY SITUATE IN THE CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF LOT 9, IN BLOCK 35 OF NORTH SACRAMENTO SUBDIVISION NO. 8, ACCORDING TO THE OFFICIAL PLAT THEREOF FILED IN THE OFFICE OF THE RECORDER OF SACRAMENTO COUNTY, CALIFORNIA ON MARCH 26, 1913 IN BOOK 13 OF MAPS, MAP NO. 49, DESCRIBED AS FOLLOWS:

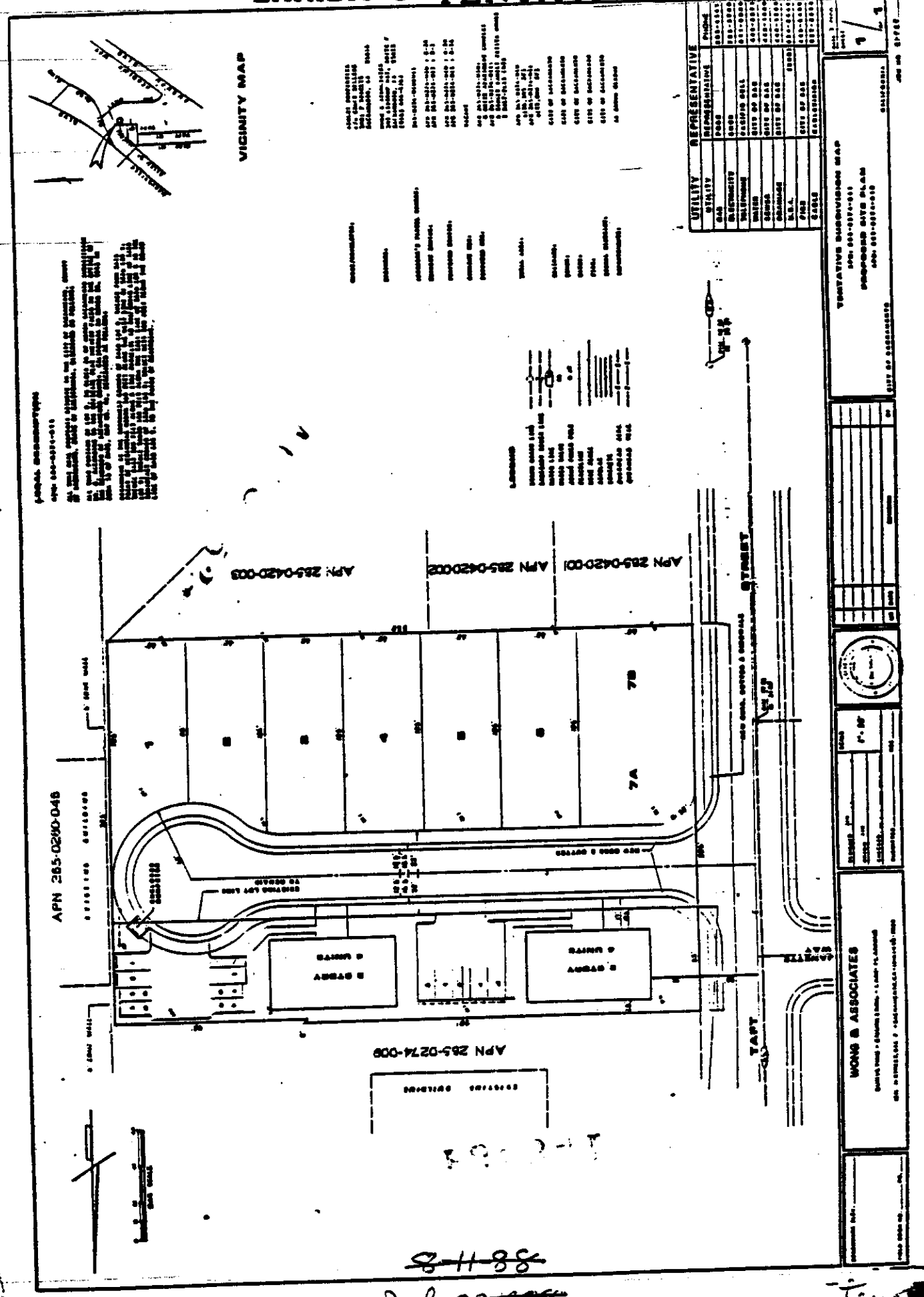
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 9, THENCE FROM SAID POINT OF BEGINNING NORTH 150 FEET ALONG THE WEST LINE OF SAID LOT 9; THENCE EAST 300 FEET ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID LOT 9; THENCE SOUTH 150 FEET ALONG THE EAST LINE OF SAID LOT 9 TO THE SOUTHEAST CORNER OF SAID LOT 9; THENCE WEST 300 FEET ALONG THE SOUTH LINE OF SAID LOT 9, TO THE POINT OF BEGINNING.

P-88-267

1-24-91
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Item 25

EXHIBIT C TENTATIVE MAP



LEGAL DESCRIPTION
 APN 265-0420-003
 APN 265-0420-001
 APN 265-0274-009

VICINITY MAP

- LOCAL JURISDICTIONS
- CITY OF SACRAMENTO
- COUNTY OF SACRAMENTO
- SACRAMENTO COUNTY
- STATE OF CALIFORNIA
- UNITED STATES OF AMERICA
- ADJACENT PARCELS
- APN 265-0420-001
- APN 265-0420-002
- APN 265-0420-003
- APN 265-0274-009
- APN 265-0274-010
- APN 265-0274-011
- APN 265-0274-012
- APN 265-0274-013
- APN 265-0274-014
- APN 265-0274-015
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UTILITY	REPRESENTATIVE	PHONE
GAS	PG&E	916-481-1111
ELECTRICITY	PG&E	916-481-1111
TELEPHONE	PG&E	916-481-1111
WATER	PG&E	916-481-1111
SEWER	PG&E	916-481-1111
CABLE	PG&E	916-481-1111

WONG & ASSOCIATES
 1000 J STREET
 SACRAMENTO, CALIFORNIA 95811
 (916) 441-1111

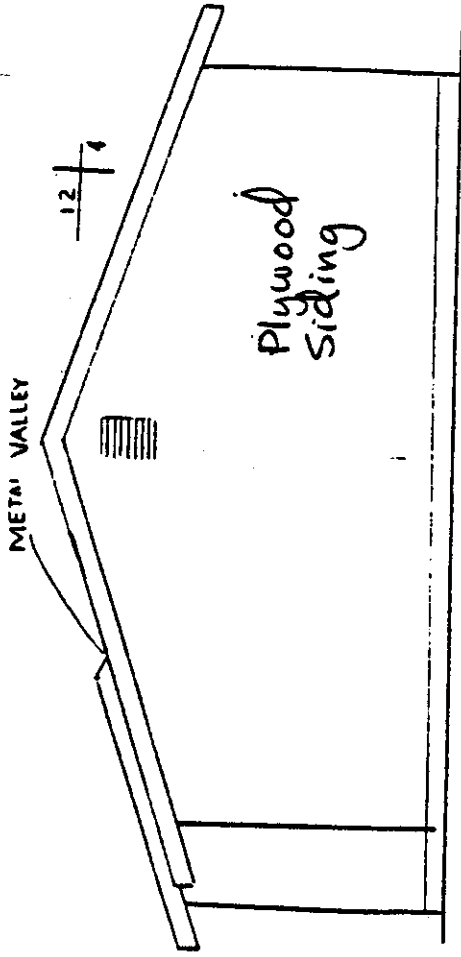
P-88-267

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 July 28, 1988
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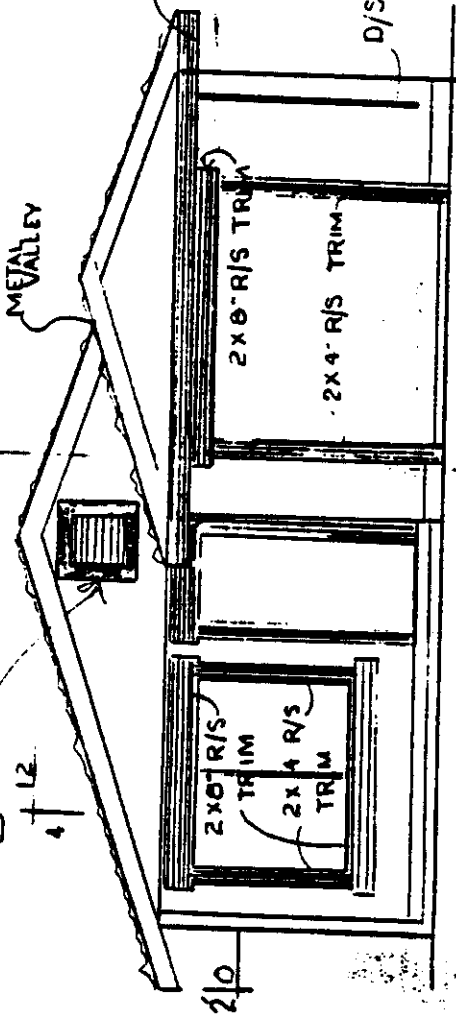
Sample

EXHIBIT D ELEVATIONS



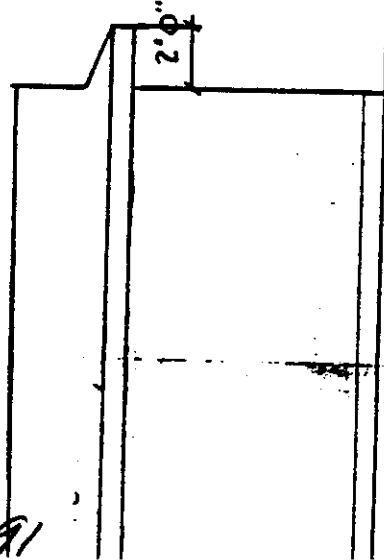
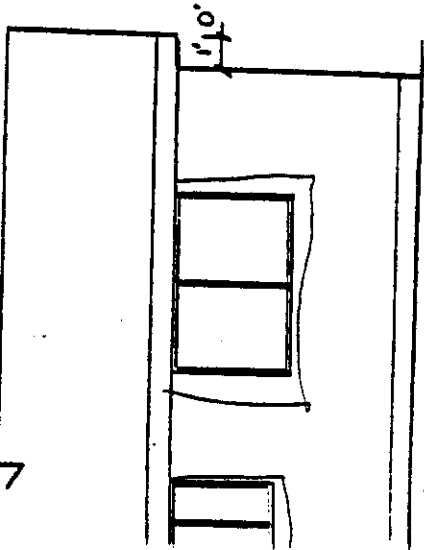
REAR ELEVATION "B"

Kind of
big
4
+ 12



FRONT ELEVATION "B"

SC 1/4" - 1'0"



R-88-267

8-11-88 POSITION SHINGLE
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 1-24-91

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LEFT ELEVATION

COMPOSITION SHINGLES

5" GUTTER OVER 2X6 FASCIA BD

PS Add 4" Board
Dungwood
windows

RIGHT ELEVATION

COMPOSITION SHINGLE
2 X 6 FASCIA BB

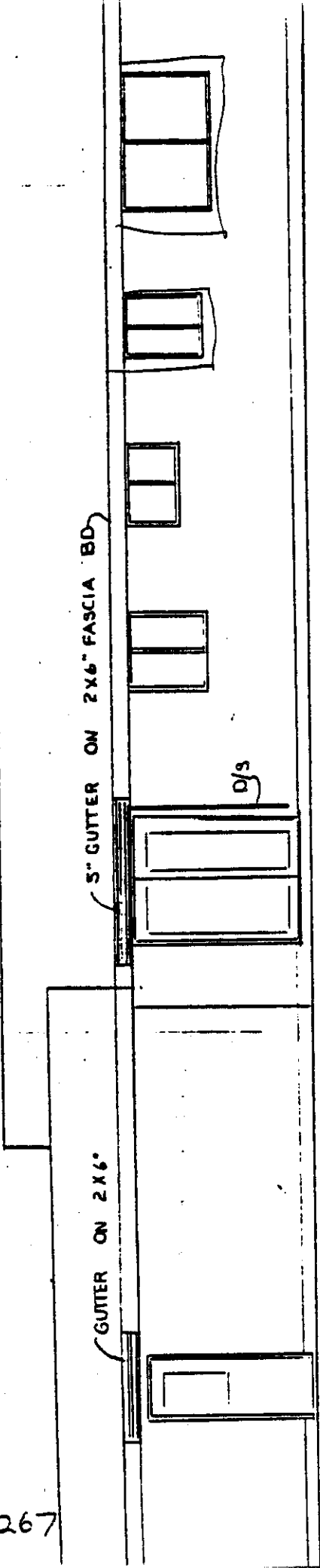
LEFT ELEVATION

P-88-267

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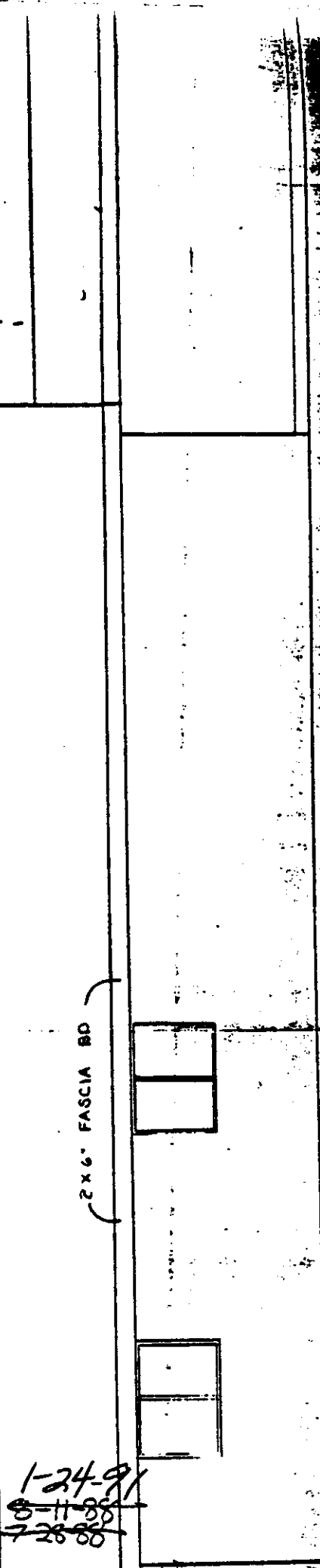
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RIGHT ELEVATION

COMPOSITION SHINGLE



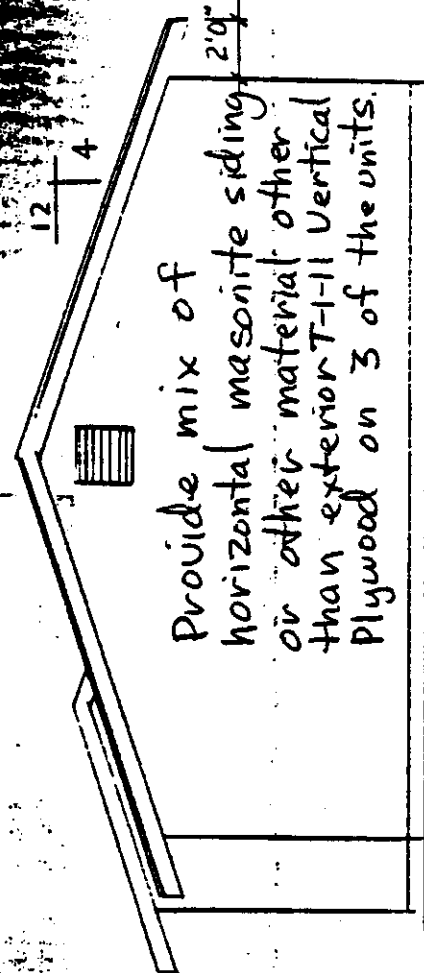
LEFT ELEVATION

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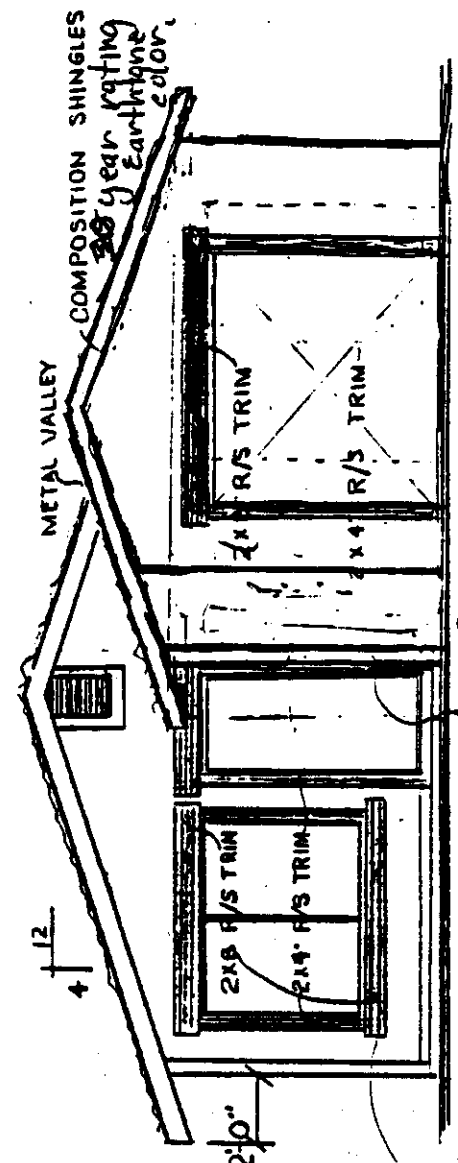
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UNIT E STAFF MODIFIED ELEVATIONS

P8
P8

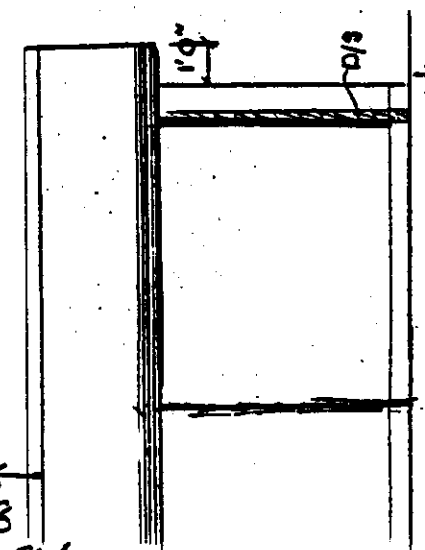
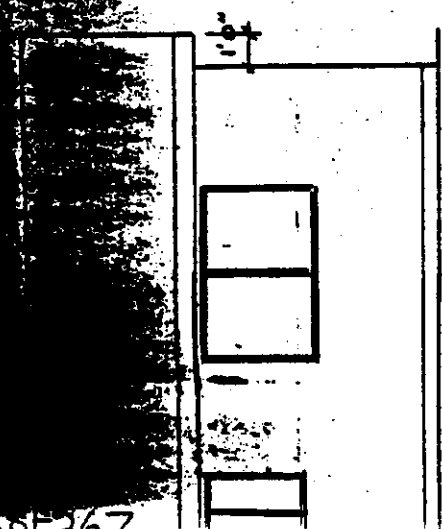


REAR ELEVATION "A"



FRONT ELEVATION "A"

Increase distance by 3ft from Garage to main entrance.



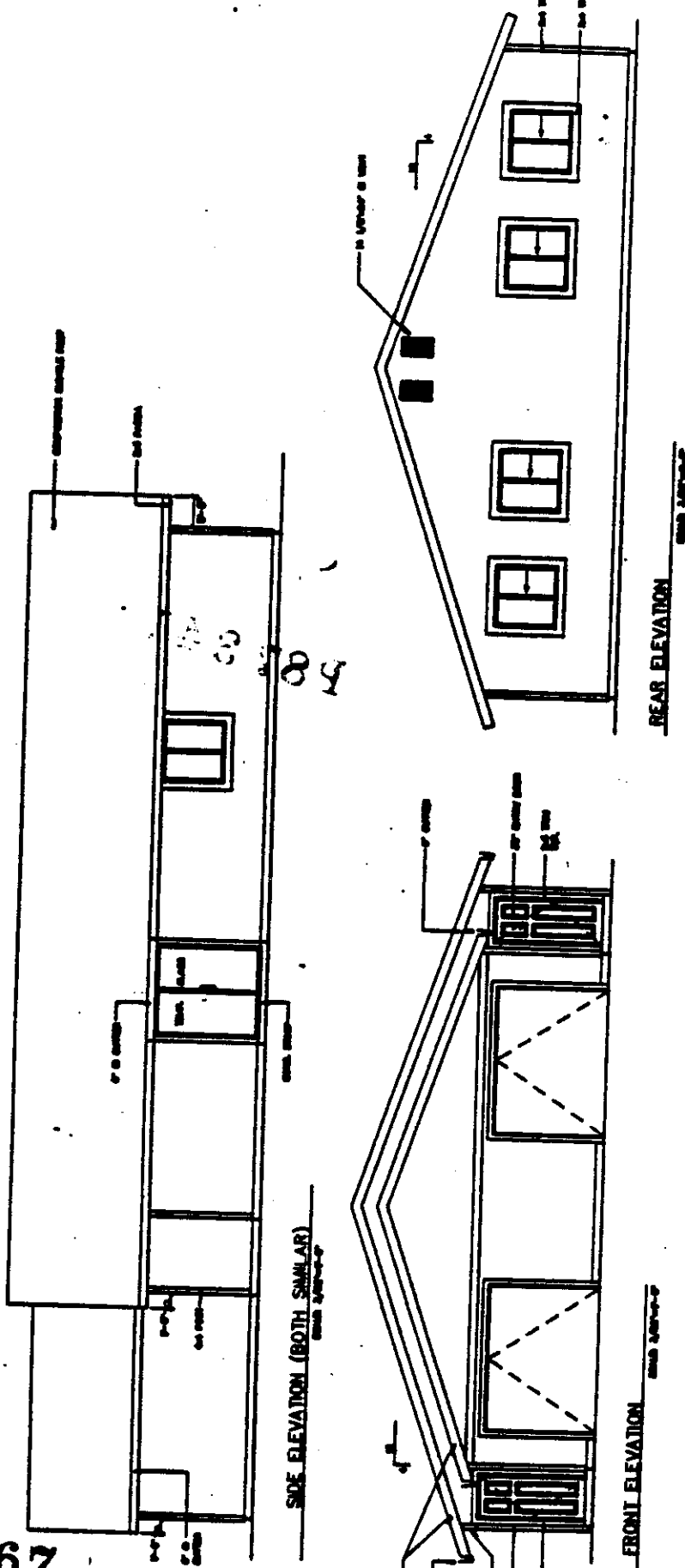
8'8" old window sill
11'0" (new) spanned
1'4" 5/8"

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1-24-91

item 25

P-88F-267

EXHIBIT F HALF PLEX ELEVATIONS



LOT 7A LOT 7B

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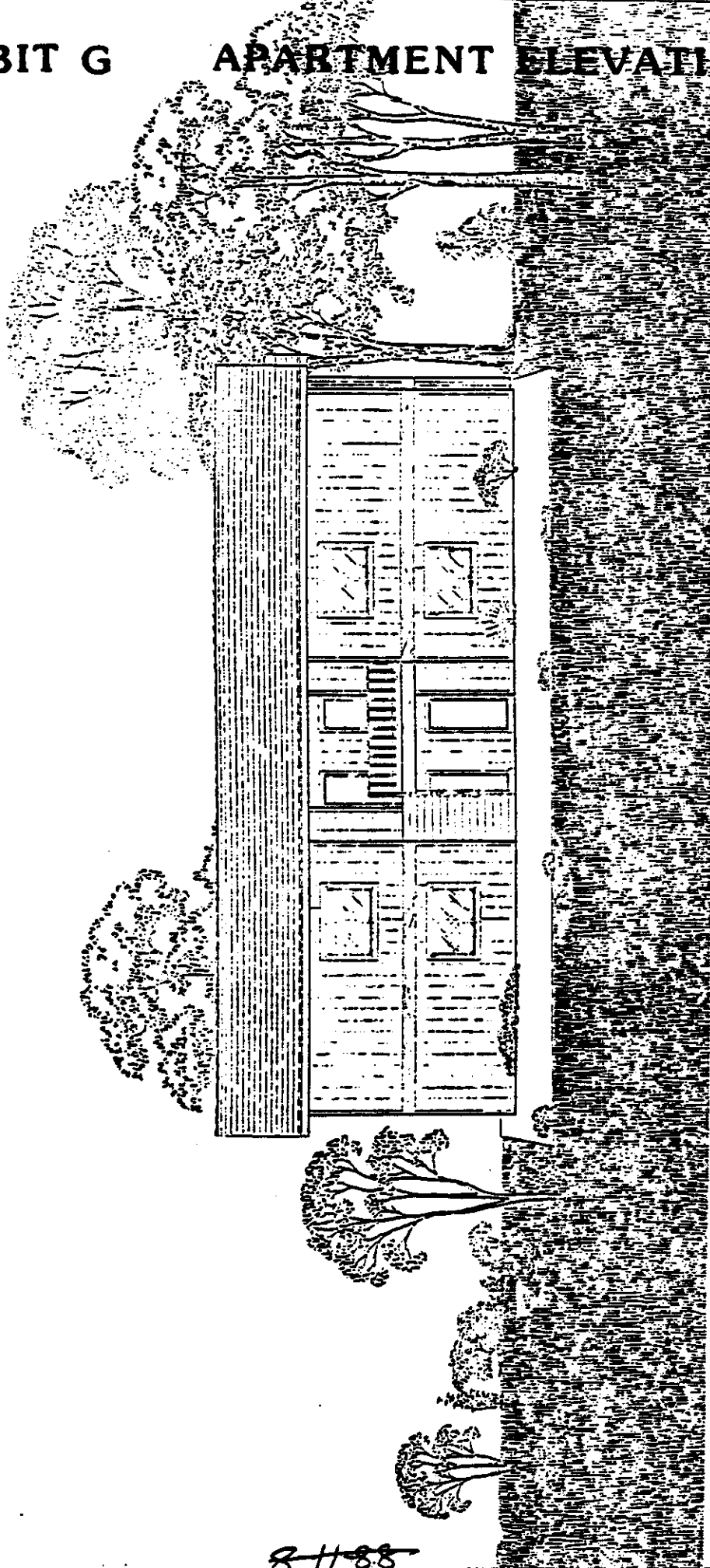
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P-88-267

item 25

EXHIBIT G

APARTMENT ELEVATIONS



SHEET INDEX

- 18 - SITE
- 1 - FLOOR PLAN
- 2 - FOUNDATION
- 3 - FLOOR JOI. / ROOF PLAN
- 4 - SECTIONS / CABINETS
- 5 - ELEVATIONS
- 6 - PLUMBING
- 7 - MECHANICAL
- 8 - ELECTRICAL
- 9 - 3 TYPICAL DETAILS

T-3 TYPICAL DETAILS

CASCO APARTMENTS

EDWARDS DRAFTING & DESIGN
 6355 ANDRICH BLVD
 CITRUS HEIGHTS, CA 95610
 916 969 9434

TITLE SHEET

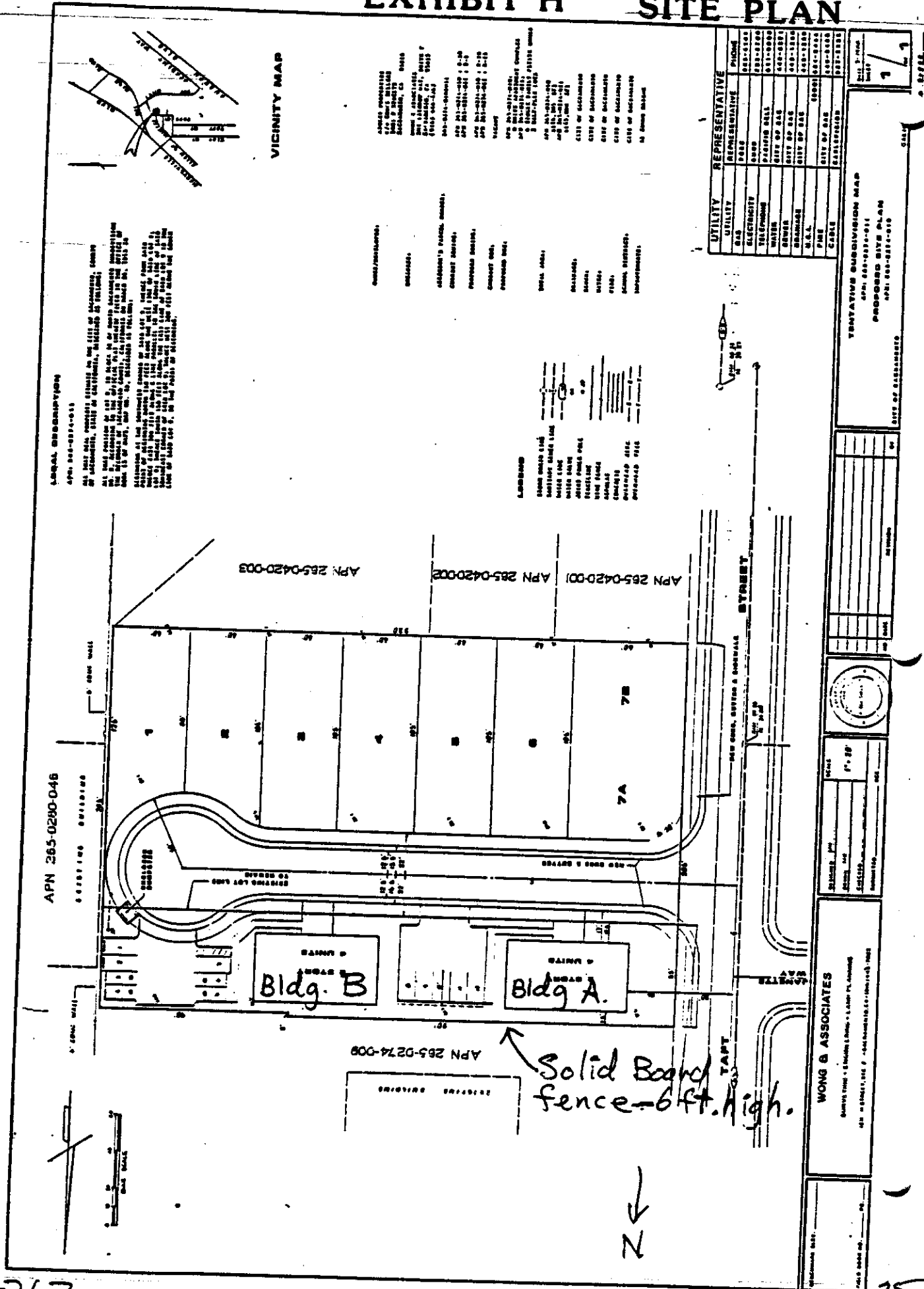
DATE 10-9-87

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 1-24-91

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EXHIBIT H SITE PLAN



P-88-267

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EXHIBIT I FLOOR PLAN

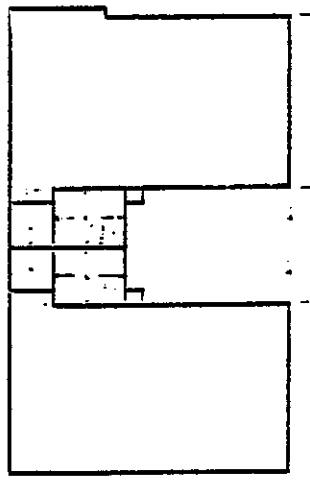
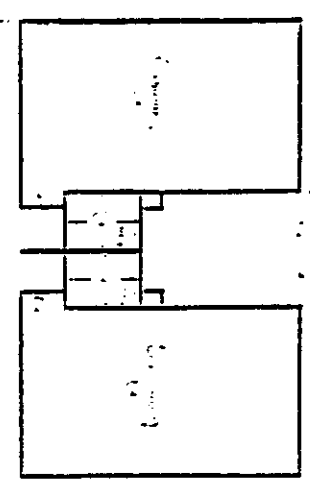
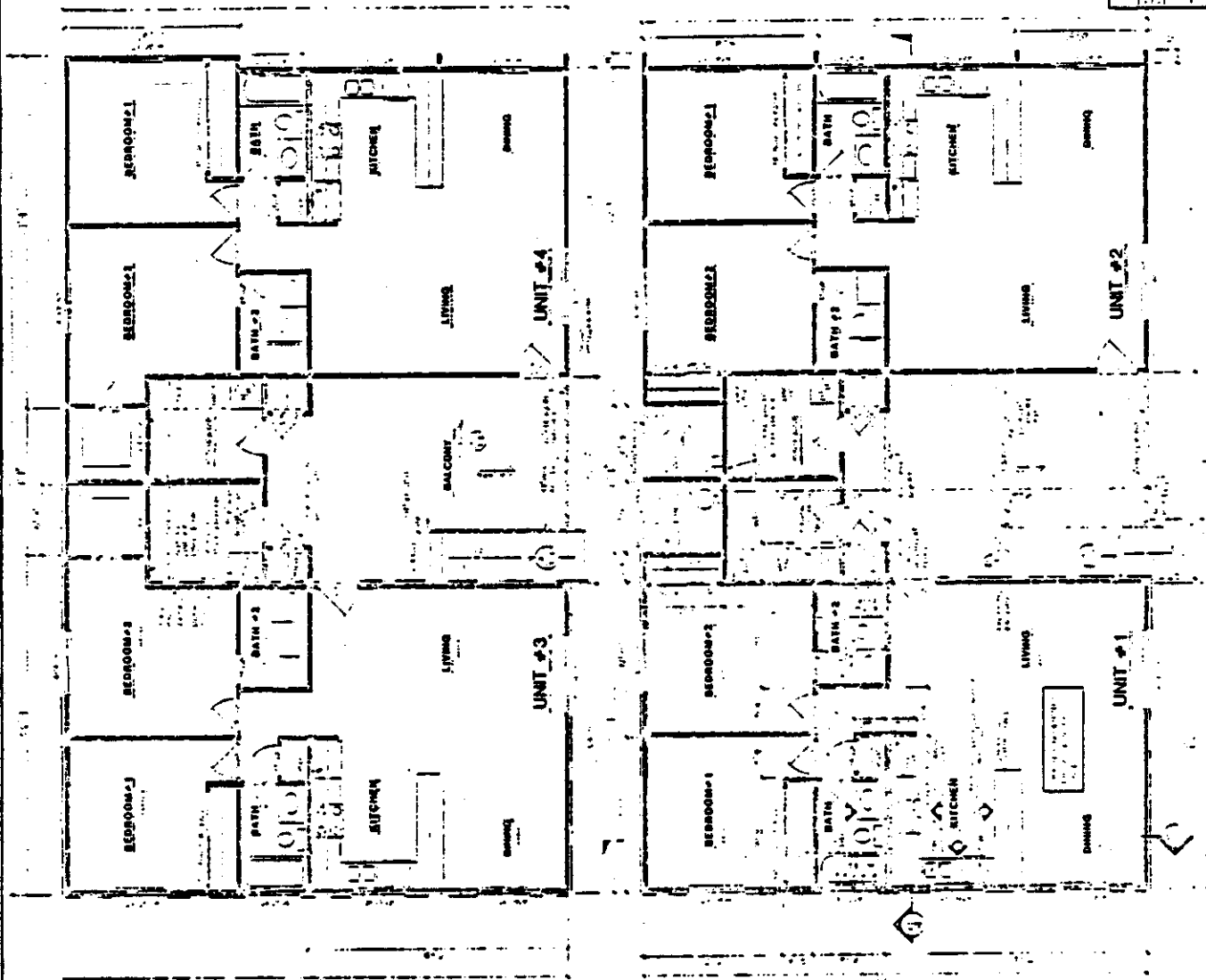
UPPER FLOOR PLAN

LOWER FLOOR PLAN

UPPER/LOWER FLOOR PLAN

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P-88-267

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1-24-91

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