

PLANNING DIRECTOR'S SPECIAL PERMIT

927-10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Adolfo Esquire, 2425-49th Avenue, Sacramento, CA 95822		
OWNER	Adolfo Esquire, 2425-49th Avenue, Sacramento, CA 95822		
PLANS BY	Albert Androvich, 4508-37th Avenue, Sacramento, CA		
FILING DATE	7/5/84	50 DAY CPC ACTION DATE	REPORT BY: JP:bw
NEGATIVE DEC.	Ex. 15303(a)	EIR	ASSESSOR'S PCL. NO. 036-143-04

- APPLICATION:
1. Planning Director's Special Permit for deep lot development (Sec. 9-A-5)
  2. Request for Planning Director to render the less restrictive airport overlay zone applicable to a parcel (Sec. 30-B-3) (P84-258)

LOCATION: 2613 Edinger Avenue

PROPOSAL: The applicant is requesting the necessary entitlement to have two dwelling units on a parcel in excess of 160 feet deep in the Single Family (R-1) zone and the EA-2 and EA-4 zones.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
 1984 Airport-Meadowview  
 Community Plan Designation: Residential (4-8 du/na)  
 Existing Zoning of Site: R-1  
 Existing Land use of Site: Vacant

Surrounding Land Use and Zoning:

North: Vacant, Single Family; R-1  
 South: Vacant, Single Family; R-1  
 East: Vacant, Single Family; R-1  
 West: Vacant, Single Family; R-1

Parking Required: 2 spaces  
 Parking Provided: 2 spaces  
 Property Dimensions: 60' x 170'  
 Property Area: 10,200 square feet  
 Square Footage of Buildings: Each dwelling 1,098± square feet  
 Significant Feature of Site: 1,200± square feet of site located in Executive Airport (EA-2) zone

Topography: Flat  
 Street Improvements: Existing (alley unimproved)  
 Utilities: Available to site  
 Exterior Building Colors: Beige  
 Exterior Building Materials: T 1-11 wood siding, asphalt shingle roofing.

PROJECT EVALUATION: Staff has the following comments:

1. Land Use: The subject site is a 60' x 170', 10,200± square foot vacant parcel located in the Single Family Residential (R-1) zone. The applicant proposes to construct two 1,098± square foot detached residential units on the site, and is requesting a Planning Director's Special Permit for deep lot development.

P-84258

001241

The subject parcel is also located in two of the Executive Airport Overlay zones. A portion of the rear of the parcel is in the EA-2 zone, while the remainder of the site is in the EA-4 zone. Two dwellings on a parcel are prohibited on a parcel in the EA-2 zone, but permitted in the EA-4 zone. The Planning Director may render the regulations of the less restrictive zone applicable to the parcel if over 50 percent of the parcel is located in the less restrictive zone and the applicant provides mitigation measures with regard to site planning, building placement and design. Over 50 percent of the subject site is in the EA-4 zone, and the applicant has designed the site plan so that all living areas are outside of the EA-2 zone. Staff, therefore, has no objections to the location of two dwelling units on the subject parcel.

The subject site is located within the designated infill area of the Airport-Meadowview Community Plan. The development of infill sites is a major priority of the City's adopted growth policy. The development of this site with two dwelling units is consistent with this policy and the community plan.

2. Site Plan and Building Design: The applicant has designed the proposed project to give the appearance of two separate dwelling units, each with their own private front and rear yard areas. As noted above, the site plan was also designed so that all living areas were located outside the EA-2 overlay zone.

The City Traffic Engineering Division has noted that the maximum driveway width allowed off of Edinger Avenue is 22 feet. The applicant, therefore, will have to reduce the front driveway width by one foot. Planning staff recommends that the driveway entrance to the rear dwelling unit be revised to provide a larger maneuvering area for automobiles entering and exiting the garage. This can be done by either reducing the fenced rear yard area of Unit 1 (Exhibit B), or by rotating the orientation of the second unit on the parcel (Exhibit C) in order to provide a larger maneuvering area. A revised site plan indicating one of these alternatives shall be reviewed and approved by staff prior to issuance of building permits.

The applicant proposes to construct the units out of wood siding, with asphalt shingle roofing. The proposed building design and materials are compatible with existing single family residential units found in the area.

ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review, pursuant to State CEQA Guidelines (Sec. 15303(a)).

STAFF RECOMMENDATION: Staff recommends approval of the special permit request, subject to conditions, and based upon Findings of Fact which follow:

Conditions

- a. The width of the front driveway off of Edinger Avenue shall be reduced from 23 feet to 22 feet;
- b. The driveway entrance to the rear dwelling unit shall be revised as shown in either Exhibit B or Exhibit C. The revised site plan is subject to staff review and approval prior to issuance of building permits.

P-84258

001242

Findings of Fact

- a. The project, as conditioned, is based upon sound principles of land use, in that:
  - 1) all living areas are located outside of the Executive Airport EA-2 zone;
  - 2) there is sufficient area on the subject parcel for the two proposed dwelling units.
  
- b. The project, as conditioned, will not be detrimental to the public health, safety or welfare, or result in the creation of a nuisance, in that:
  - 1) adequate parking will be provided;
  - 2) the proposed dwelling units are compatible in design and materials with existing single family residences in the area.
  
- c. The project is consistent with the 1974 General Plan and the 1984 Airport-Meadowview Community Plan which designate the site for residential uses and as a residential infill site.

REPORT PREPARED BY:

*Joy D. Patterson*  
Joy D. Patterson, Assistant Planner

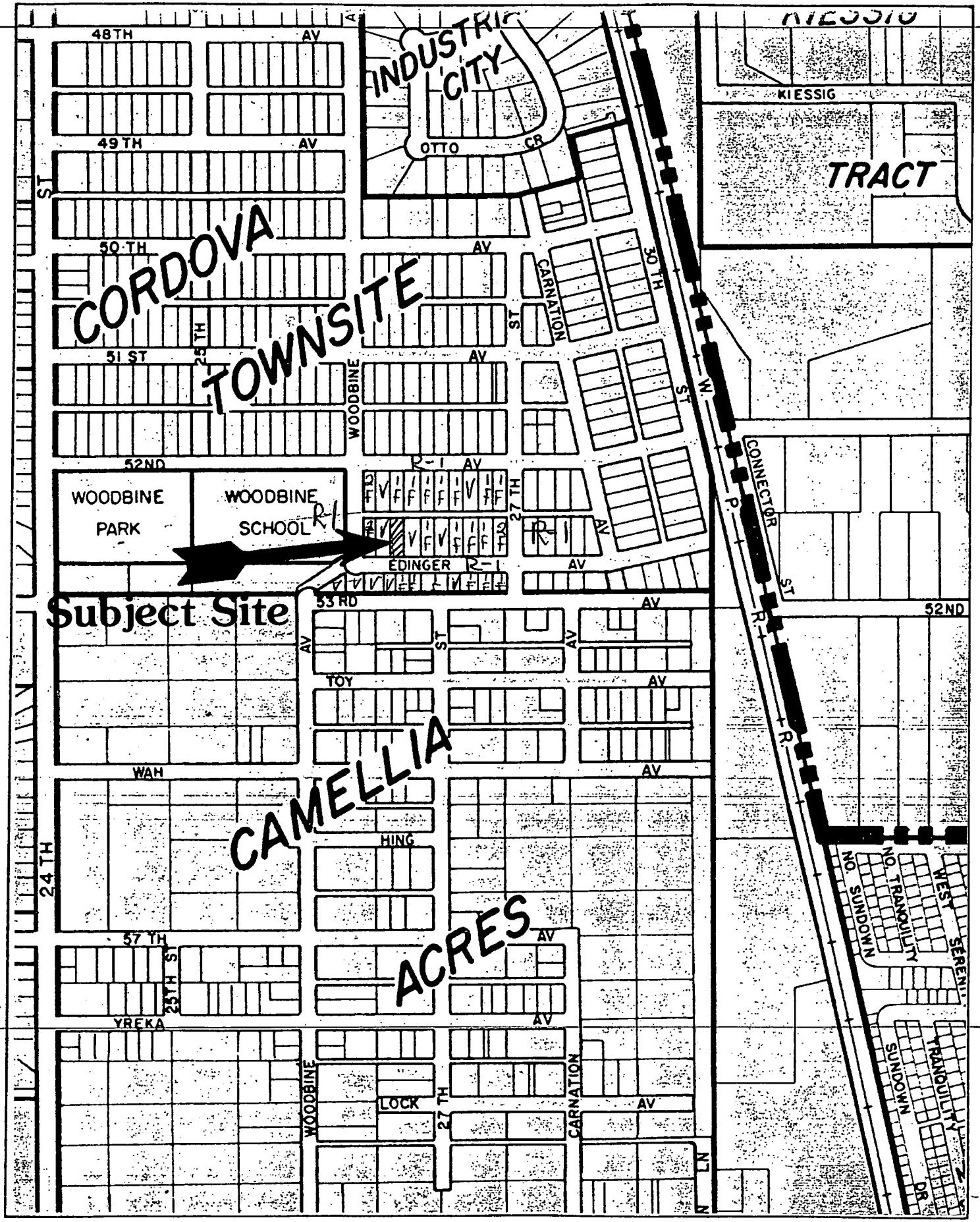
RECOMMENDATION APPROVED:

*Marty Van Duyn*  
Marty Van Duyn, Planning Director

8/29/04  
Date

JDP:bw

P84-258



**CORDOVA  
TOWNSITE**

**INDUSTRI  
CITY**

**KIESSIG**

**KIESSIG**

**TRACT**

**WOODBINE  
PARK**

**WOODBINE  
SCHOOL**

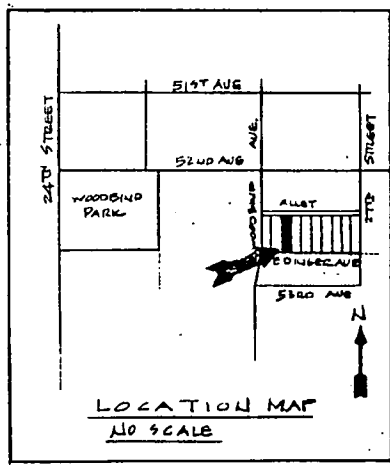
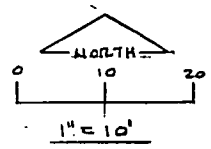
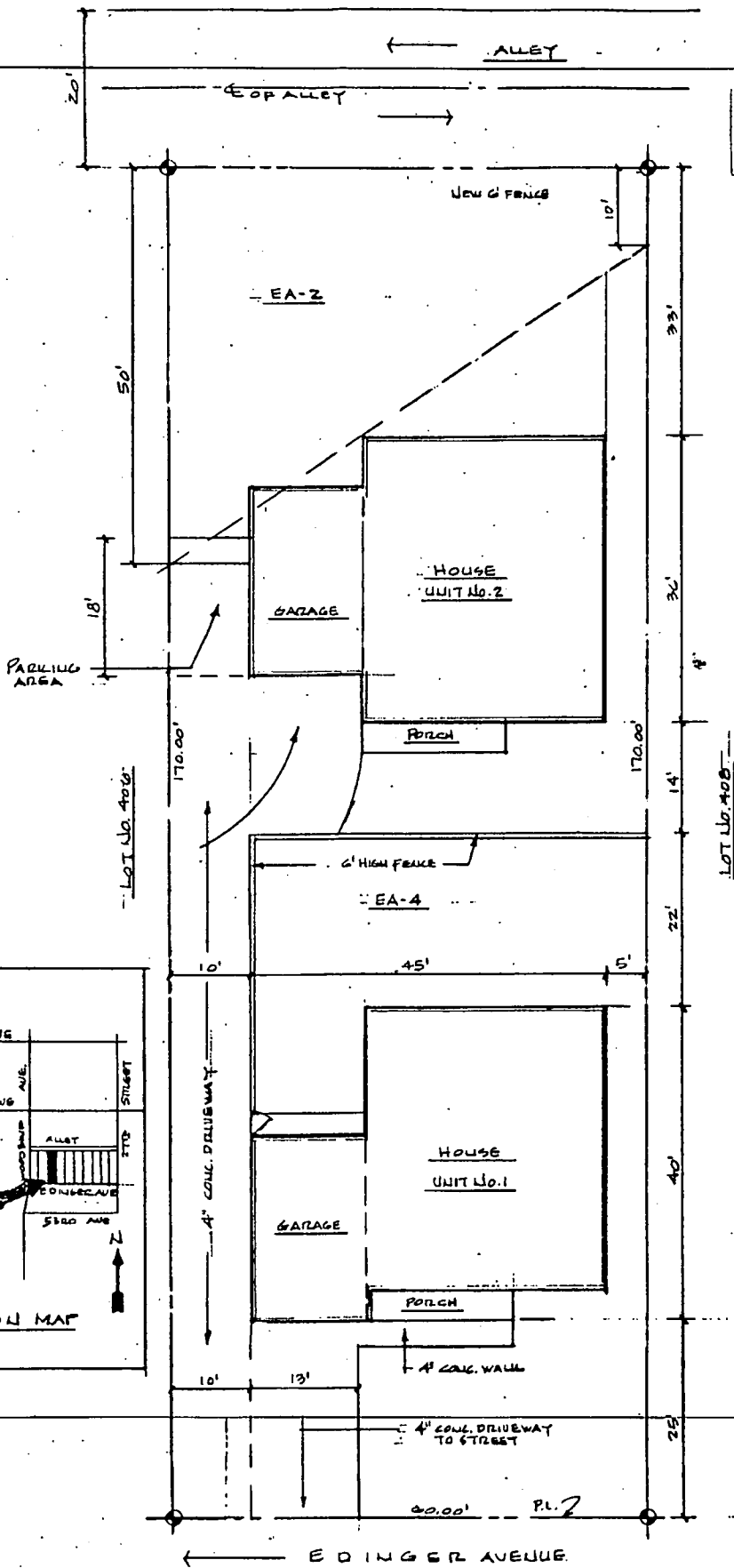
**Subject Site**

**CAMELLIA  
ACRES**

**VICINITY - LAND USE - ZONING**

**EXHIBIT A**

**SITE PLAN**

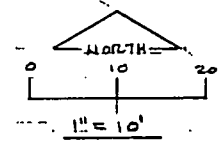
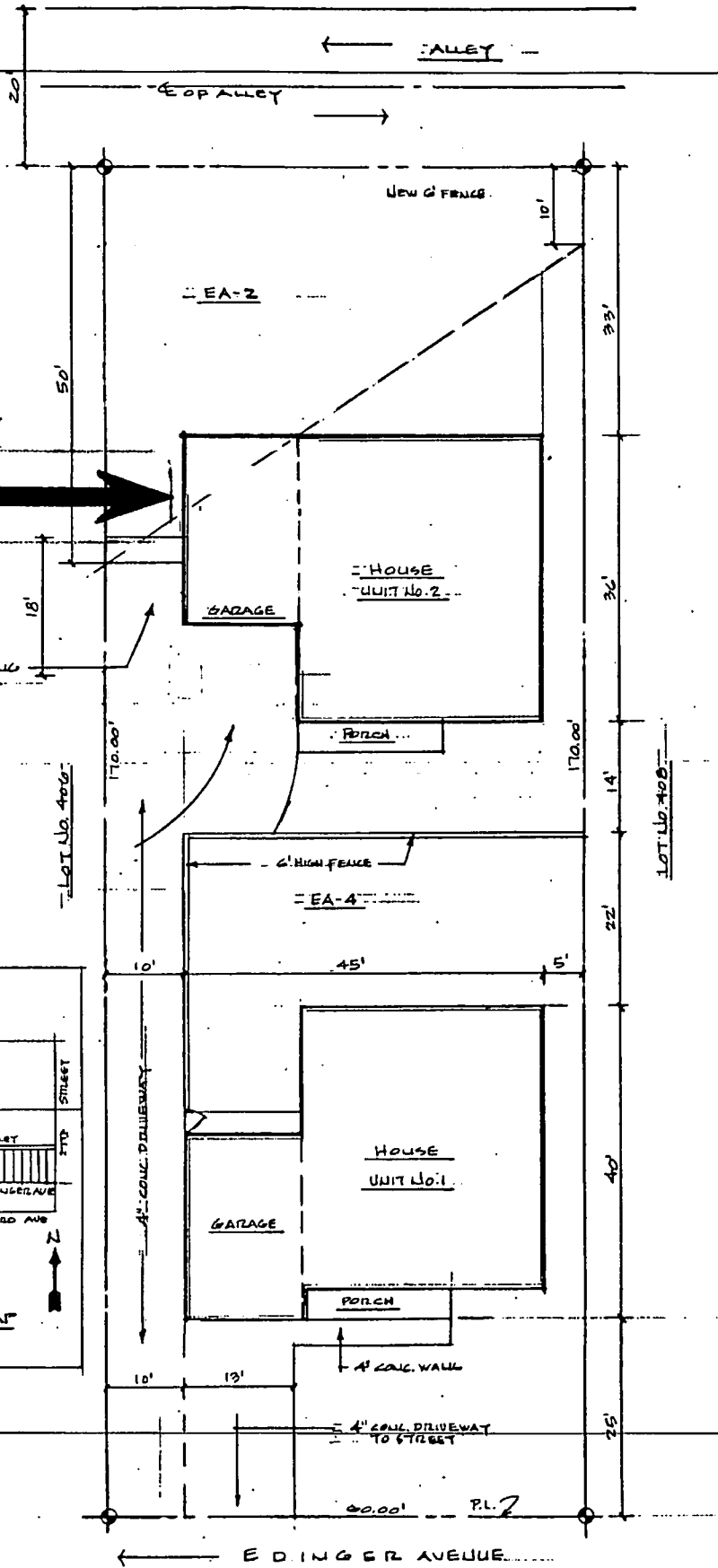
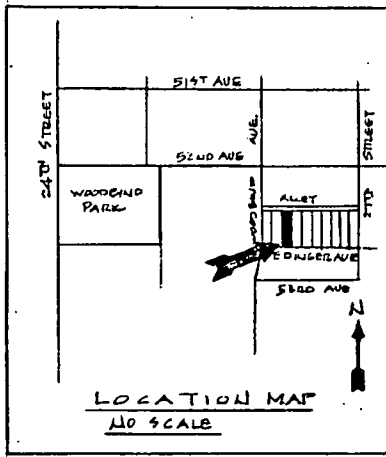


**PLOT PLAN**

LOT NO. 407 PLAT OF CORDOVA TOWNSITE  
 CITY OF SACRAMENTO, SACRAMENTO CO., CALIF.  
 SCALE 1"=10'  
 BOOK B OF MAPS, MAP No. 28 COUNTY RECORDER

001245

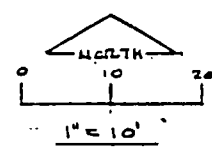
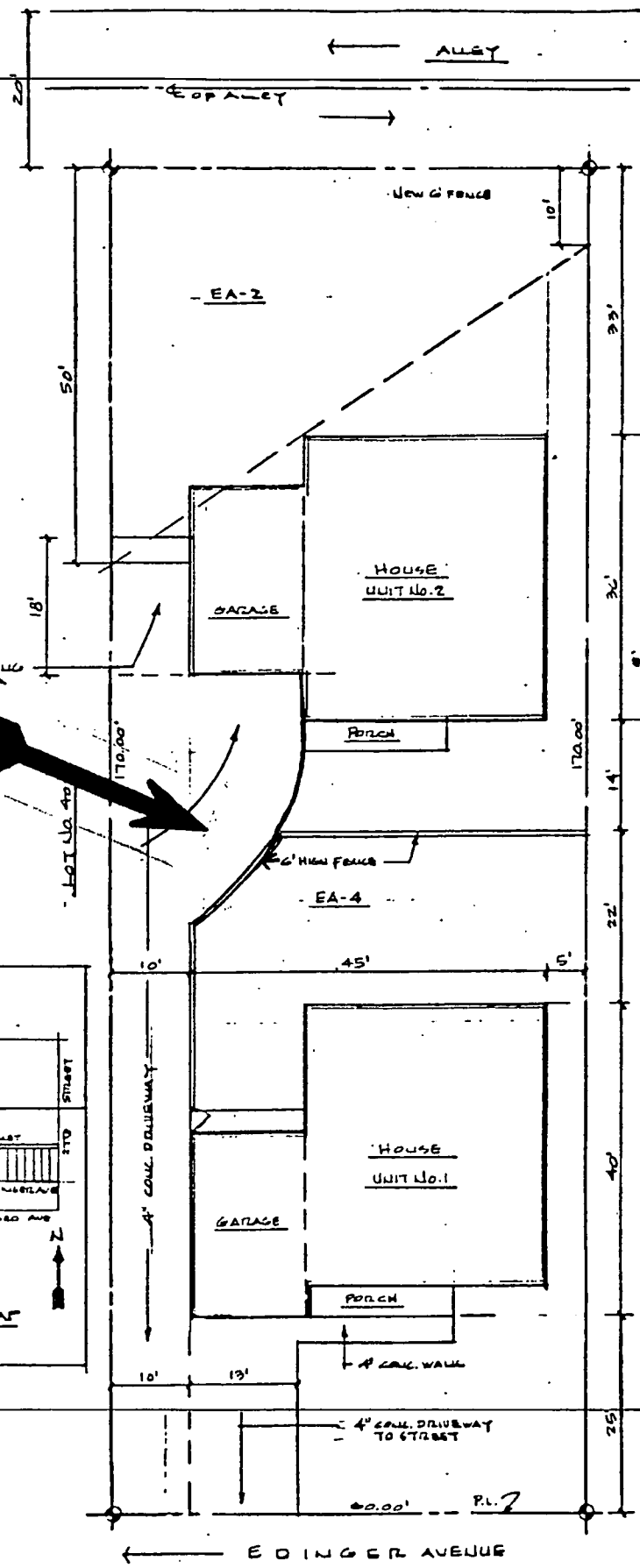
Staff's Revision



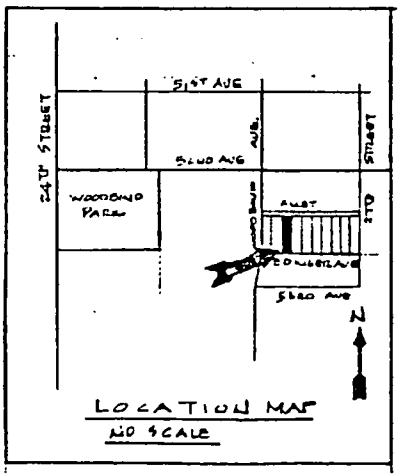
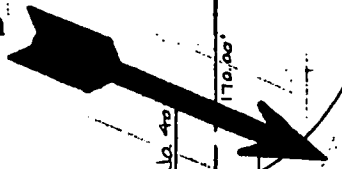
PLOT PLAN  
 LOT NO. 407 "PLAT OF CORDOVA TOWNSITE  
 CITY OF SACRAMENTO, SACTO. CO., CALIF.  
 SCALE 1" = 10'  
 BOOK B OF MAPS, MAP NO. 28 COUNTY RECORDER

001246

**EXHIBIT B**  
**REVISED**  
**SITE PLAN**



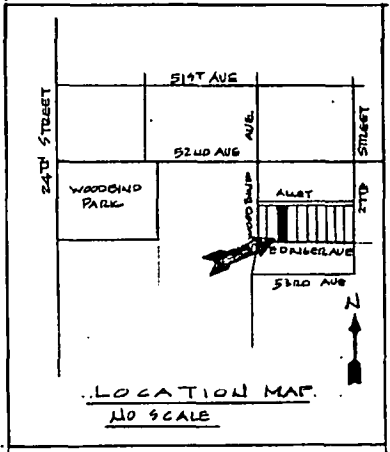
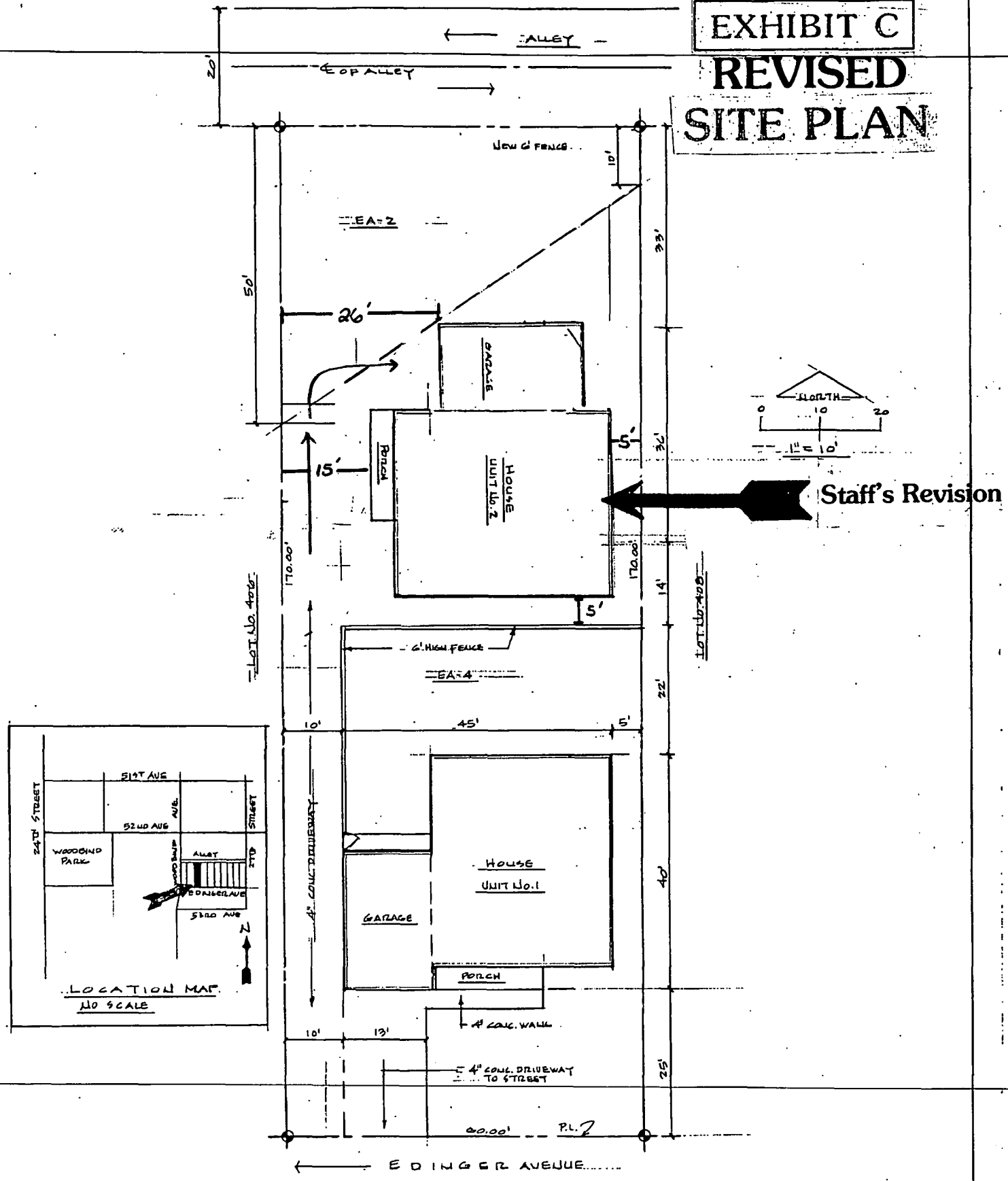
**Staff's  
Revision**



PLOT PLAN  
 LOT NO. 407 PLAT OF CORDOVA TOWNSHIP  
 CITY OF SACRAMENTO SACTO. CO., CALIF.  
 SCALE 1"=10'  
 BOOK 8 OF MAPS, MAP No. 28 COUNTY RECORDER.

001247

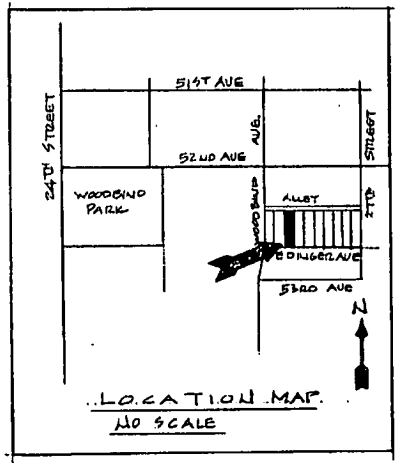
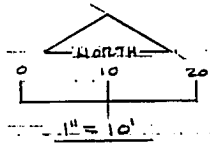
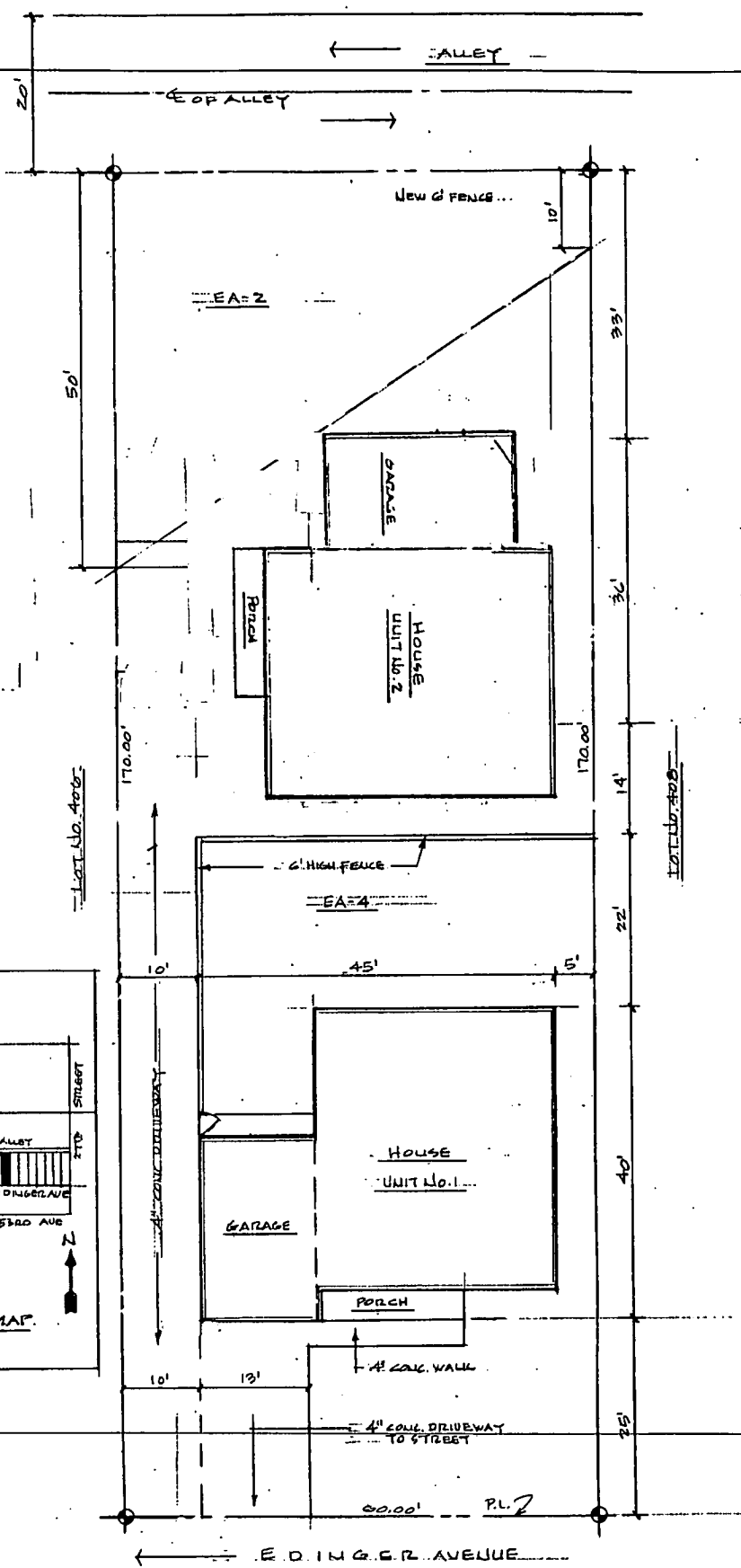
**EXHIBIT C**  
**REVISED**  
**SITE PLAN**



**PLOT PLAN**  
LOT NO. 407 PLAT OF CORDOVA TOWNSITE  
CITY OF SACRAMENTO, SACTO. CO., CALIF.  
SCALE 1"=10'  
BOOK 8 OF MAPS, MAP No. 28, COUNTY RECORDER

001248





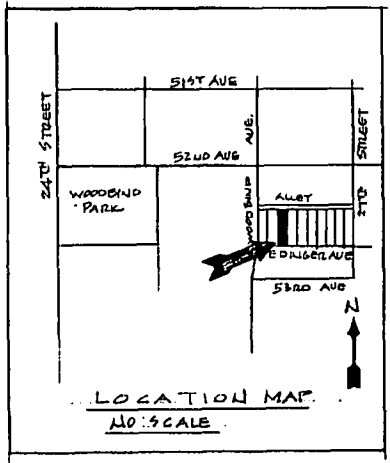
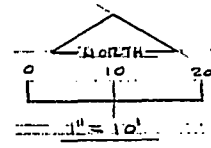
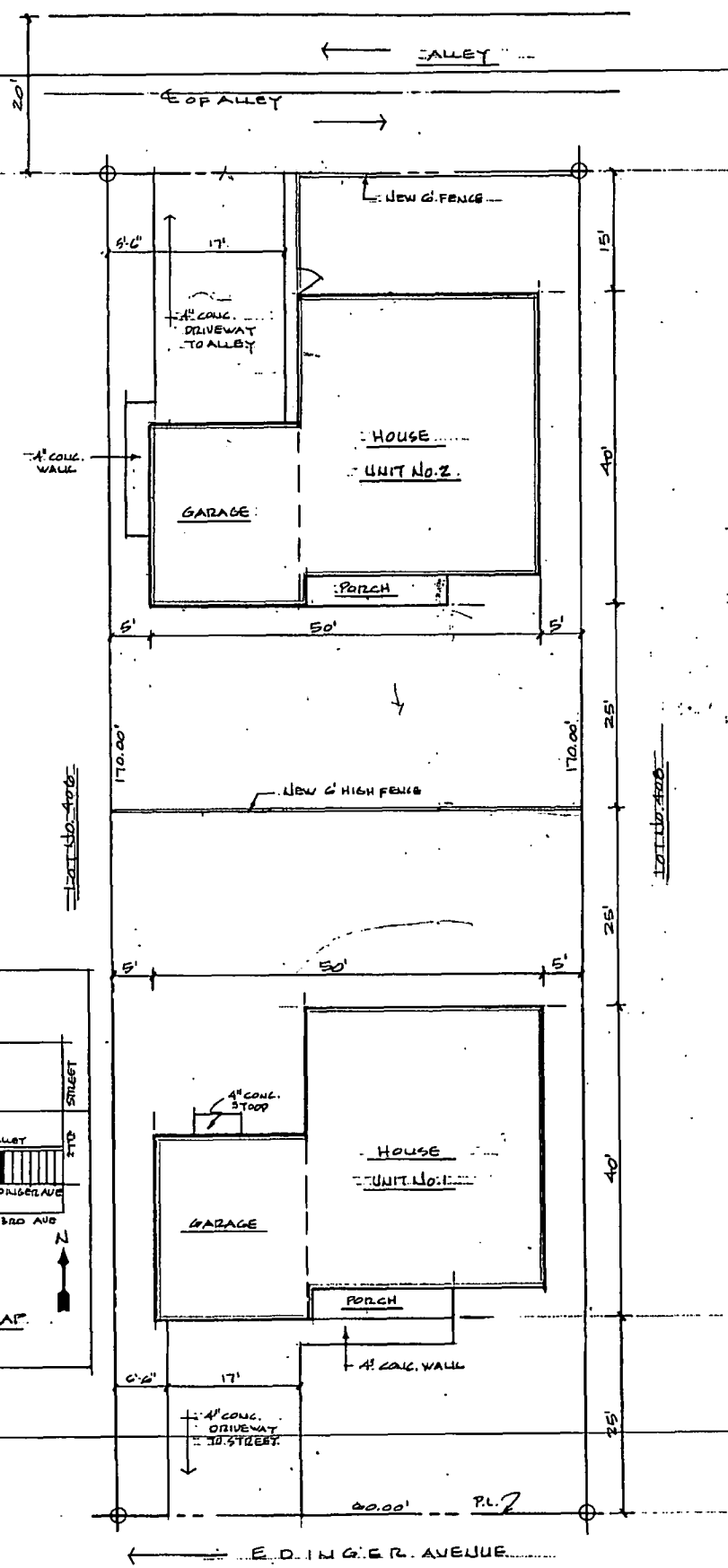
**PLOT PLAN**

LOT NO. 407 "PLAT OF CORDOVA" TOWNSITE  
CITY OF SACRAMENTO, SACO. CO., CALIF.

SCALE 1"=10'

BOOK 8 OF MAPS, MAP NO. 28, COUNTY RECORDER.

001249

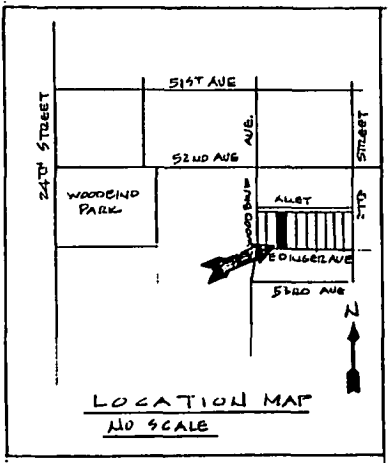
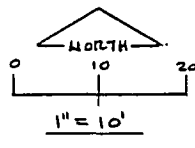
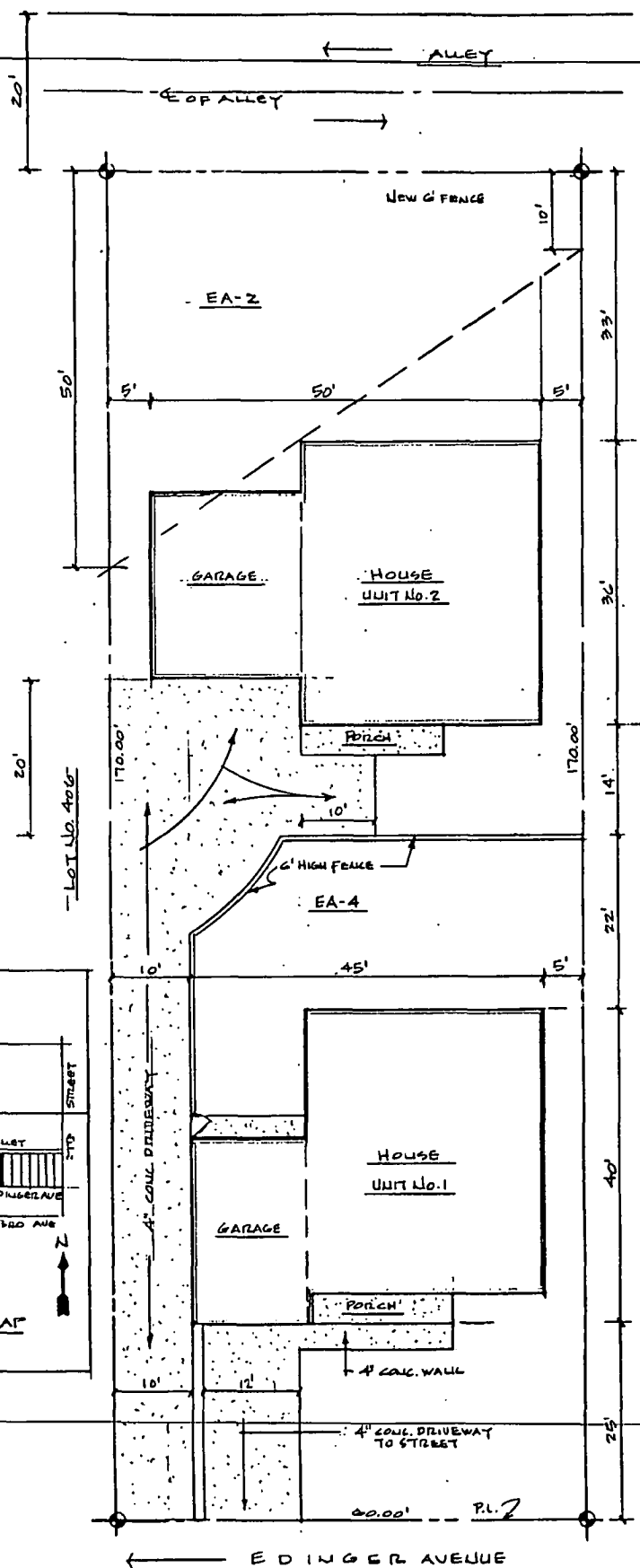


P L O T P L A N

LOT NO. 407 PLAT OF CORDOVA TOWNSITE  
CITY OF SACRAMENTO, SACTO. CO., CALIF.

SCALE 1" = 10'

BOOK 8 OF MAPS, MAP No. 28, COUNTY RECORDED

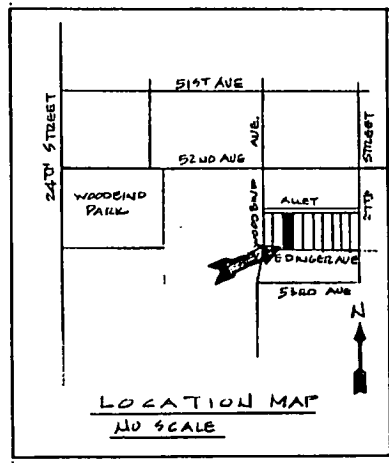
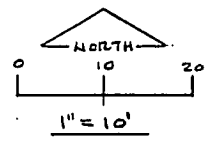
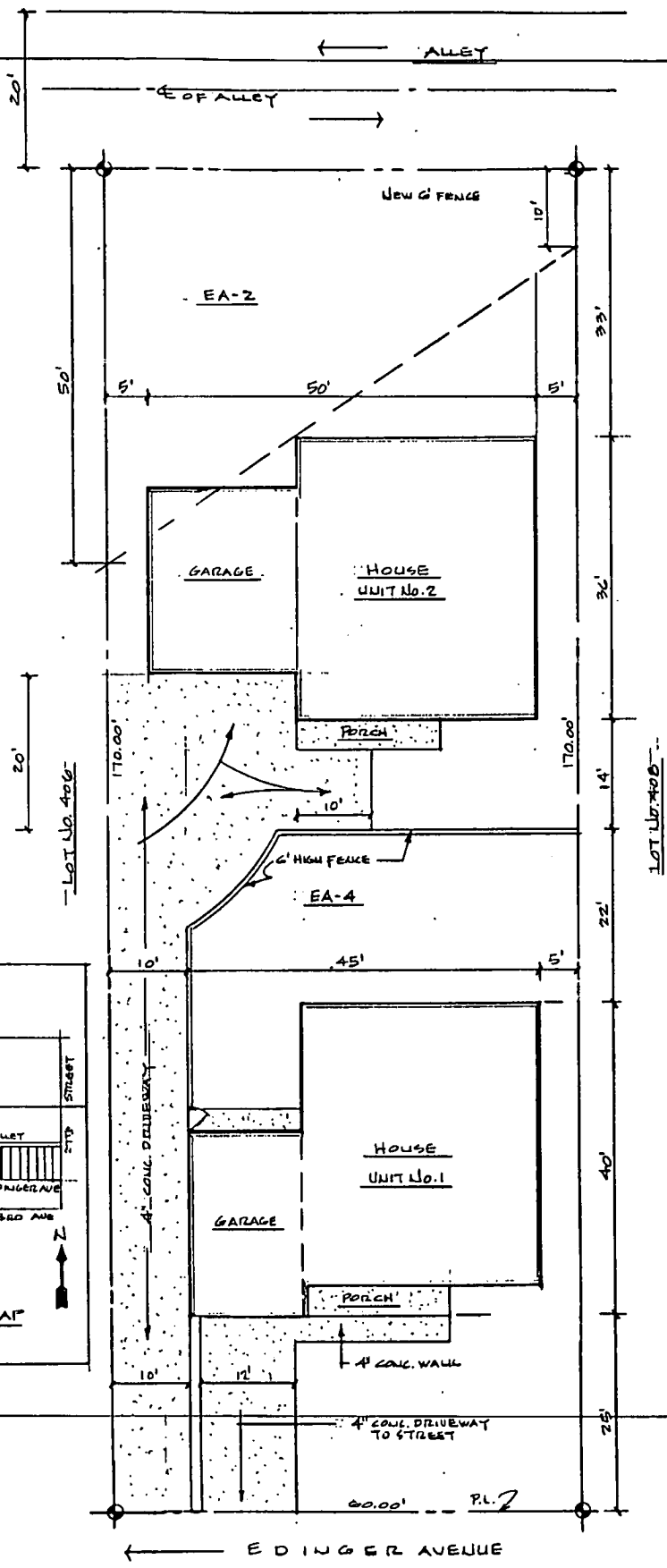


← EDINGER AVENUE

PLOT PLAN  
 LOT NO. 407 PLAT OF CORDOVA TOWNSITE  
 CITY OF SACRAMENTO, SACTO. CO., CALIF.  
 SCALE 1" = 10'  
 BOOK 8 OF MAPS, MAP No. 28 COUNTY RECORDER

001251

*Amundson & Associates*

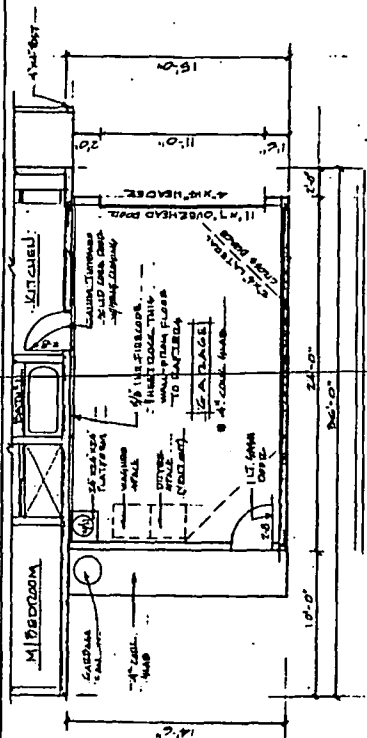


**PLOT PLAN**  
 LOT No. 407 PLAT OF CORDOVA TOWNSITE  
 CITY OF SACRAMENTO, SACR. CO., CALIF.  
 SCALE 1" = 10'  
 BOOK 8 OF MAPS, MAP No. 28 COUNTY RECORDER

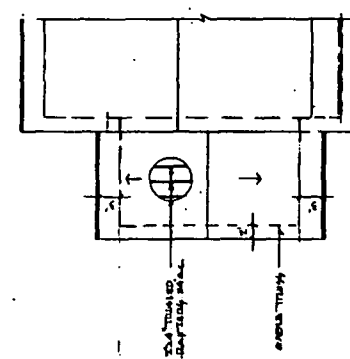
001252

# ELEVATIONS

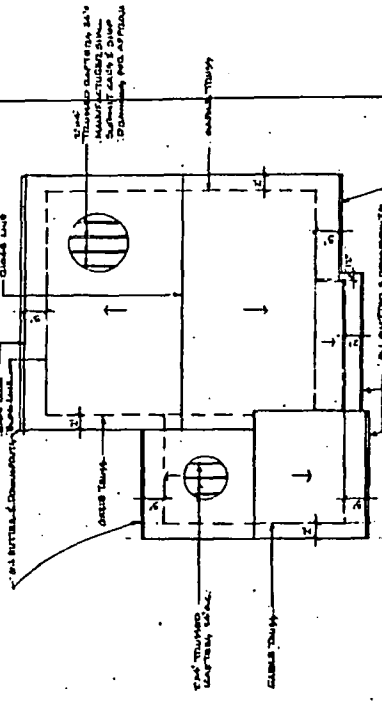
# EXHIBIT D



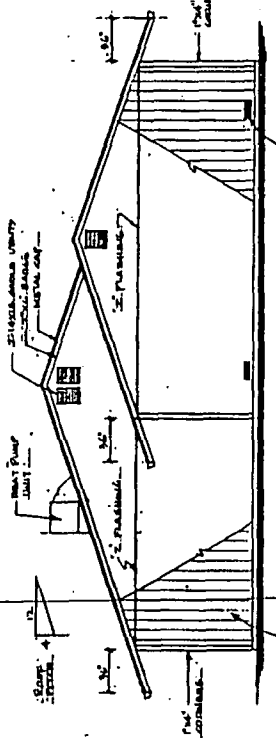
Garage Floor Plan Unit No. 2  
SCALE 1/4" = 1'-0"



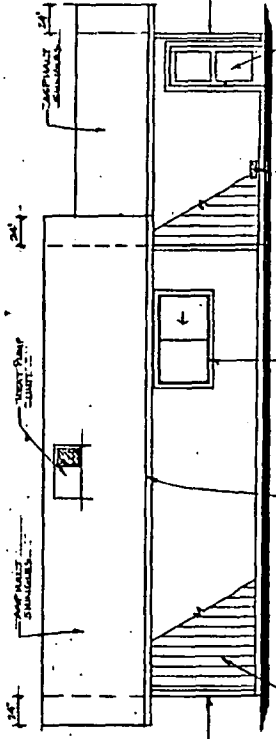
Roof Plan, Plain No. 2  
SCALE 1/4" = 1'-0"



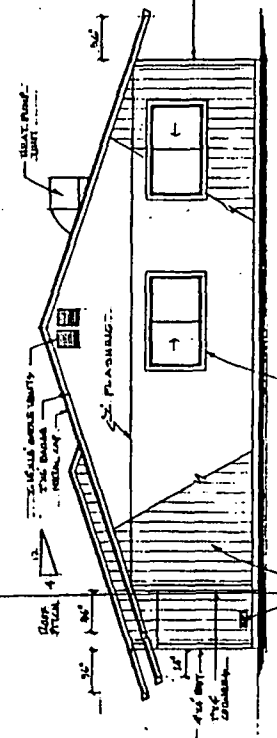
Rear Plan, Plain No. 1  
SCALE 1/4" = 1'-0"



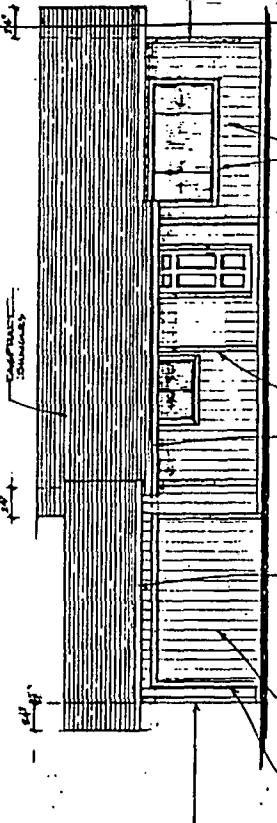
ELEVATION No. 4



ELEVATION No. 3



ELEVATION No. 2



ELEVATION No. 1

**NOTE No. 1 (BATH #1)**

- 1. 7'-0" CEILING OVER TUB AREA.
- 2. 60"x20" T2 FIBERGLASS TUB-HALLMARK T-21226 ON SQUAT TUB.
- 3. TEMPERED SAFETY GLASS TUB ENCLOSURE W/ (2) TOWEL BARS.
- 4. WATERPROOF SHEETROCK WALLS & CEILING.

**NOTE No. 2 (BATH #2)**

- 1. 7'-0" CEILING OVER SHOWER AREA.
- 2. 40"x34" T2 FIBERGLASS SHOWER STALL-KIMPTON MASTER SHOWER 4-LO329 OR EQUAL.
- 3. TEMPERED SAFETY GLASS SHOWER DOOR W/ (2) TOWEL BARS.
- 4. WATERPROOF SHEETROCK WALLS & CEILING.

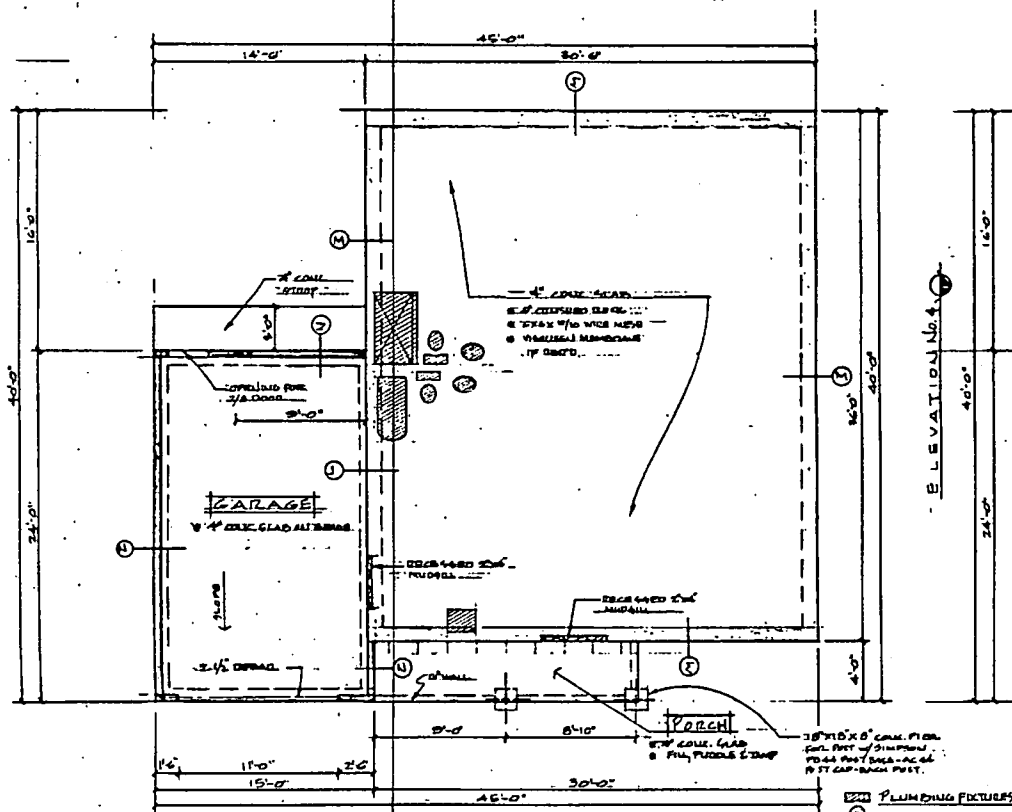
**NOTES:**

- 1. DIMENSIONS ARE TO FACE OF STUDY.
- 2. DIMENSIONS TAKE PRECEDENCE OVER SCALE.

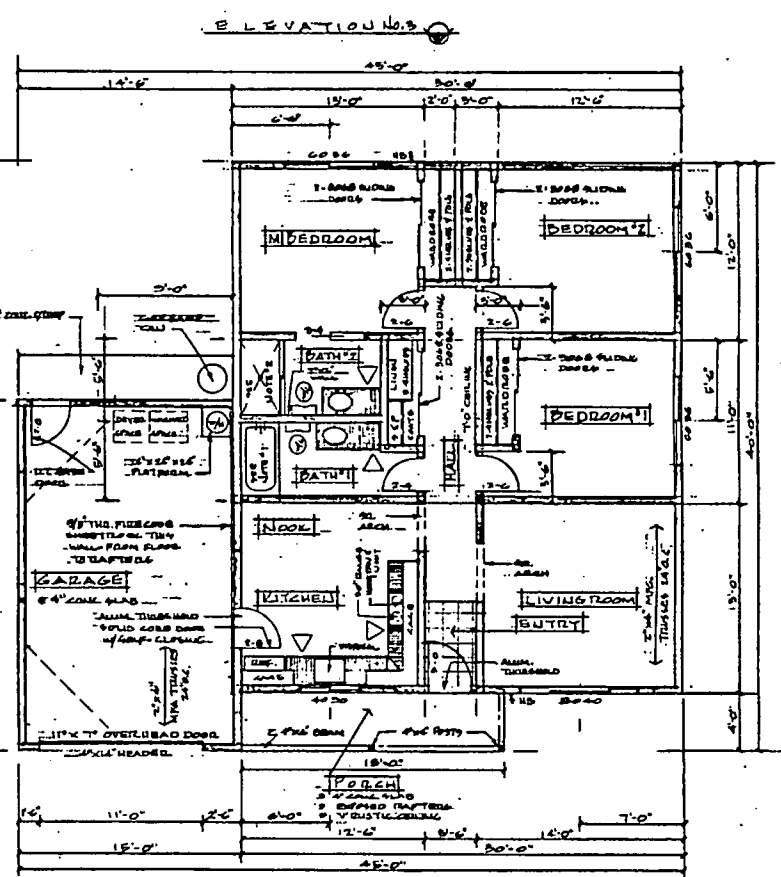
ENERGY ACT INFORMATION	
TOTAL GROSS AREA	1080 SQ. FT.
TOTAL GLAZED AREA ALLOWABLE	135 SQ. FT.
TOTAL GLAZED AREA ACTUAL	17.00 SQ. FT.
CEILING INSULATION-TYPE R-30	
WALL INSULATION-TYPE R-11	
DOUBLE FRAME ALUM. GLAZING WINDOWS	

**GENERAL NOTES**

- 1. ALL CONSTRUCTION SHALL CONFORM TO U.S.C.
- 2. BUILDER SHALL VERIFY ALL GRADES & MEASUREMENTS.
- 3. PLUMBING, HEATING & ELECT. SHALL CONFORM TO PERTINENT CODES.



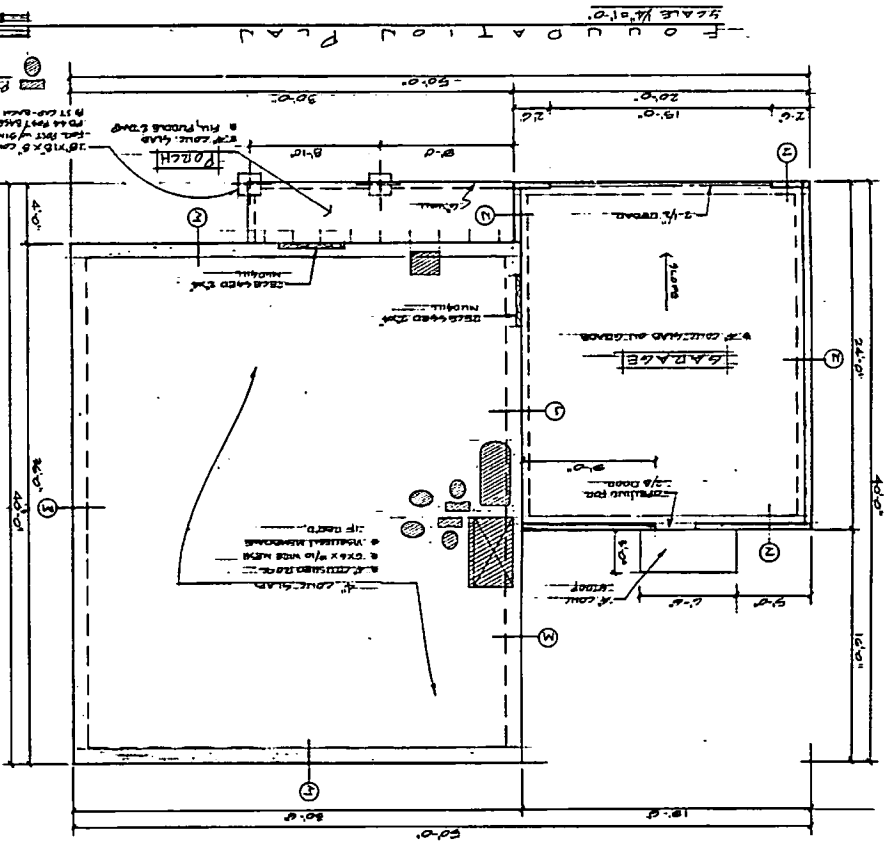
**FOUNDATION PLAN**  
SCALE 1/4"=1'-0"



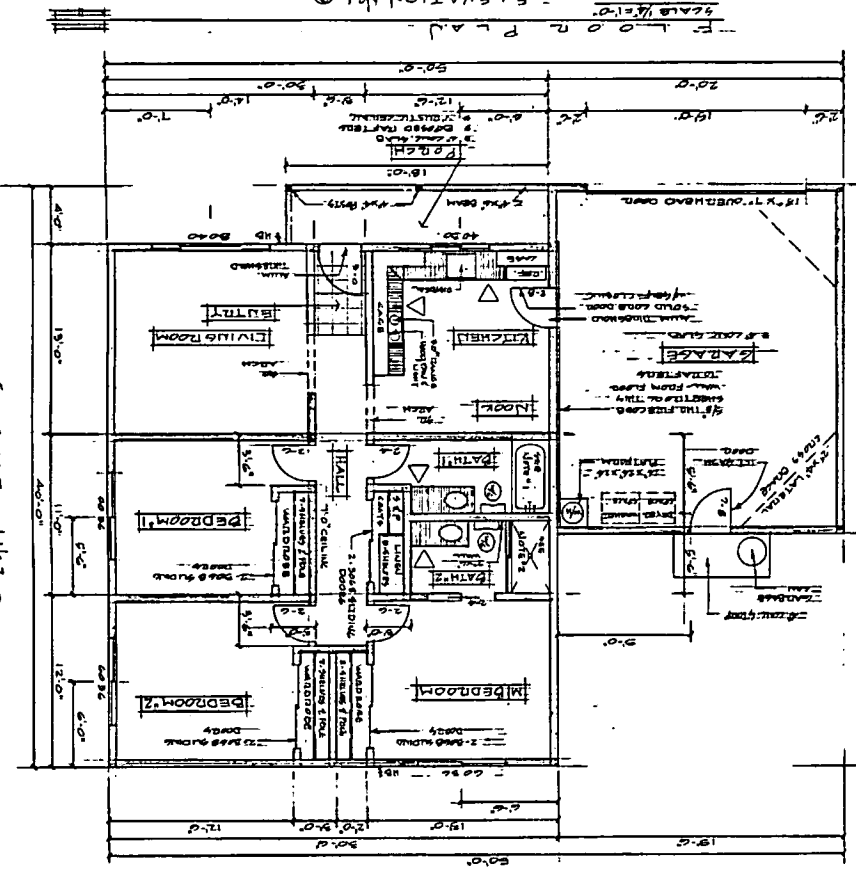
**FLOOR PLAN**  
SCALE 1/4"=1'-0"

EXHIBIT E  
 JEFFERSON  
 OFFICE ENGINEERS  
 1000 E. 10th Street  
 BOULDER, CO 80502  
 FLOOR PLANS  
 ARCHITECTURAL DRAFTING SERVICE  
 428-6158

001253



- ELEVATION No. 4



- ELEVATION No. 2

- NOTE No. 1 (PART 1)**
- 1. TO CALCULATE OVER THE AREA
  - 2. CHECK THE DIMENSIONS THE - HALLWAY - T-212'S ON EQUAL THE
  - 3. IMPROVED SAFETY GATE THE BUILDING
  - 4. W/ (2) TOWER BARS
  - 5. WATERPROOF SHEETROCK WALLS & CEILING
- NOTE No. 2 (PART 2)**
- 1. TO DEFINE OVER SHEET AREA
  - 2. 40' X 4' X 12' DIMENSIONS SHOWER STALL
  - 3. BATHING WATER SHOWER - 5'-0" X 7'-0" OR EQUAL
  - 4. IMPROVED SAFETY GATE SHOWER DOOR
  - 5. W/ (2) TOWER BARS
  - 6. WATERPROOF SHEETROCK WALLS & CEILING

**NOTE:**

1. DIMENSIONS ARE TO FACE OF STUDS

**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL CONFORM TO U.C.
2. BUILDING SHALL VERIFY ALL GRADES & MEASUREMENTS
3. PUMPING, HEATING & ELECT SHALL CONFORM TO

PERMITS CODES.

**SUBJECT MATTER INFORMATION**

TOTAL FLOOR AREA	1050 SQ. FT.
TOTAL GROSS AREA	1750 SQ. FT.
TOTAL GROSS AREA	187.00 SQ. FT.
CONCRETE INSULATION - TYP. 2-3"	
WALL INSULATION - TYP. R-11	
DOUBLE FIVE EIGHT FOUR WINDOWS	

**PROJECT**

3 BEDROOM RESIDENCE FOR:  
 MR. ADORFO ESCOBAR  
 1425 ADVENTURE BLVD. SACRAMENTO, CA

**DRAWN BY:**  
 ABBOTT J. AUDROVICH

**DATE:**  
 12-25-58

**122-6138**  
 ALL DRAFTING SERVICE  
 4508 5TH AVENUE - SACRAMENTO, CA

2

