

**CITY PLANNING COMMISSION**

915 "I" STREET - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Speath Engineering, Inc., 5710 Garfield Ave., #3, Sacramento, CA 95841		
OWNER	Bob Adams, 1074 South Orange Grove Ave., Pasadena, CA 91105		
PLANS BY	Speath Engineering, Inc., 5710 Garfield Ave., #3, Sacramento, CA 95841		
FILING DATE	6-2-83	50 DAY CPC ACTION DATE	REPORT BY: PB:mm
NEGATIVE DEC.	6-18-83	EIR	ASSESSOR'S PCL. NO. 031-480-01

- APPLICATION:
1. Environmental Determination
  2. Rezone .3± vac. ac. from Duplex-Review (R-2-R) to townhouse (R-1A) zone.
  3. Tentative Map to divide .3± vac.ac. into 2 halfplex (R-1A) lots
  4. Special Permit to develop two halfplex units
  5. *SUBDIVISION MODIFICATION TO WAIVE SEWER AND WATER SERVICES.*
- LOCATION: South side of Pocket Road approximately 100± ft. west of Greenhaven Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop two halfplex units.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1976 South Pocket Community Plan Designation:	Low Density Multiple Family
Existing Zoning:	R-2B
Existing Land Use:	Vacant
Surrounding Land Use and Zoning:	
North:	Vacant, A
South:	Single family R-1
East:	Vacant, R-2-R
West:	Agriculture, A

Parking Required:	2 Spaces
Parking Provided:	4 Spaces
Ratio Required:	1/dwelling unit
Ratio Provided:	2/dwelling unit
Property Dimensions:	Irregular
Property Area:	13,150 s.f.
Density of Development:	3 units/acre
Square footage of lot	2,218 s.f.
Height of structure:	18 feet (1 story)
Street Improvements/Utilities	Existing
Exterior Building Colors:	Earthtone
Exterior Building Materials:	stucco/wood/brick

001710

SUBDIVISION REVIEW COMMITTEE On July 13, 1983, by a vote of 6 ayes and 3 absent, the Subdivision Review Committee voted to recommend approval of the Tentative Map, subject to the following conditions.

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- a. Place the following note on the final map: Water and sewer service connections do not exist between the main lines and lots 1 and 2. These services must be paid for and installed at the time of obtaining building permits;
- b. Pay off existing assessments or file the necessary segregation requests and fees to segregate existing assessments;
- c. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the city an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

STAFF EVALUATION

1. The subject site is located in an area designated and partially developed with single family and two family residences. The proposed halfplex units would not increase the density that is presently permitted in the R-2 zone, which permits a duplex. The proposed halfplex units would enable individual ownership of each site. Therefore, staff has no objection to the proposed project.
2. The Planning and Community Services Department has determined that .0224 ac. of land are required for Parkland Dedication purposes, and fees are to be charged in-lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted no more than 90 days prior to the filing of the final map.
3. The site plan indicates a vehicular turnaround on Lot 2 that is eight-feet from the front property line. Staff would suggest that heavy landscaping be located between the turnaround and the public right-of-way. This is necessary to help buffer any cars that may be parked in this location.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the rezoning from duplex R-2-R to Townhouse R-1A zone;
3. Approval of the Tentative Map subject to conditions;
4. Approval of the Special Permit subject to conditions and based on findings of fact.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- a. Place the following note on the final map: Water and sewer service connections do not exist between the main lines and lots 1 and 2. These services must be paid for and installed at the time of obtaining building permits;
- b. Pay off existing assessments or file the necessary segregation requests and fees to segregate existing assessments;
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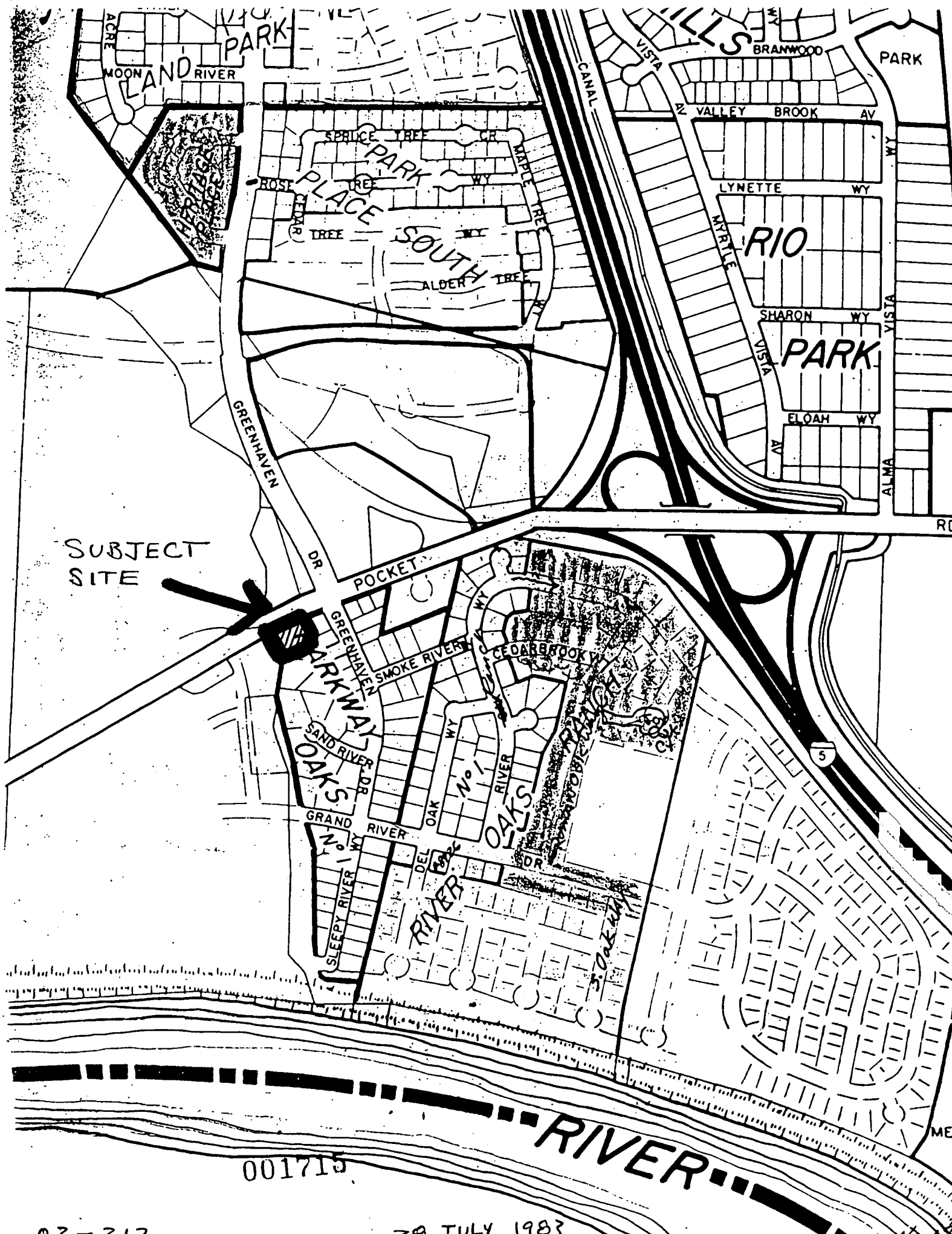
Condition - Special Permit

- a. Shake roofing and varied exterior materials shall be used as shown on the submitted elevations.
- b. Heavy landscaping shall be installed between the vehicular turnaround on Lot 2 and the public right-of-way.

Findings of Fact - Special Permit

- a. The proposed halfplex development is based on sound principles of land use in that one structure exists and there are similar halfplex and duplex units in the neighborhood, and the design is compatible with other units in the area;
- b. The proposed project will not be detrimental to public health, safety or welfare and will not result in the creation of a nuisance as conditioned in that the use is compatible with existing residential uses;
- c. The proposed development is compatible with the 1974 General Plan and the 1976 South Pocket Specific Plan which designate the properties for residential and low density multiple family, respectively.

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SUBJECT  
SITE

001715

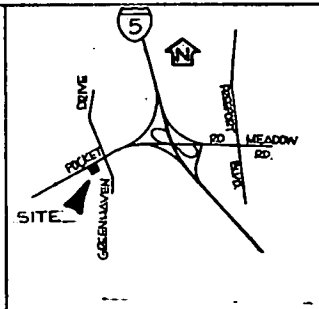
RIVER

83-212

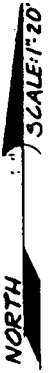
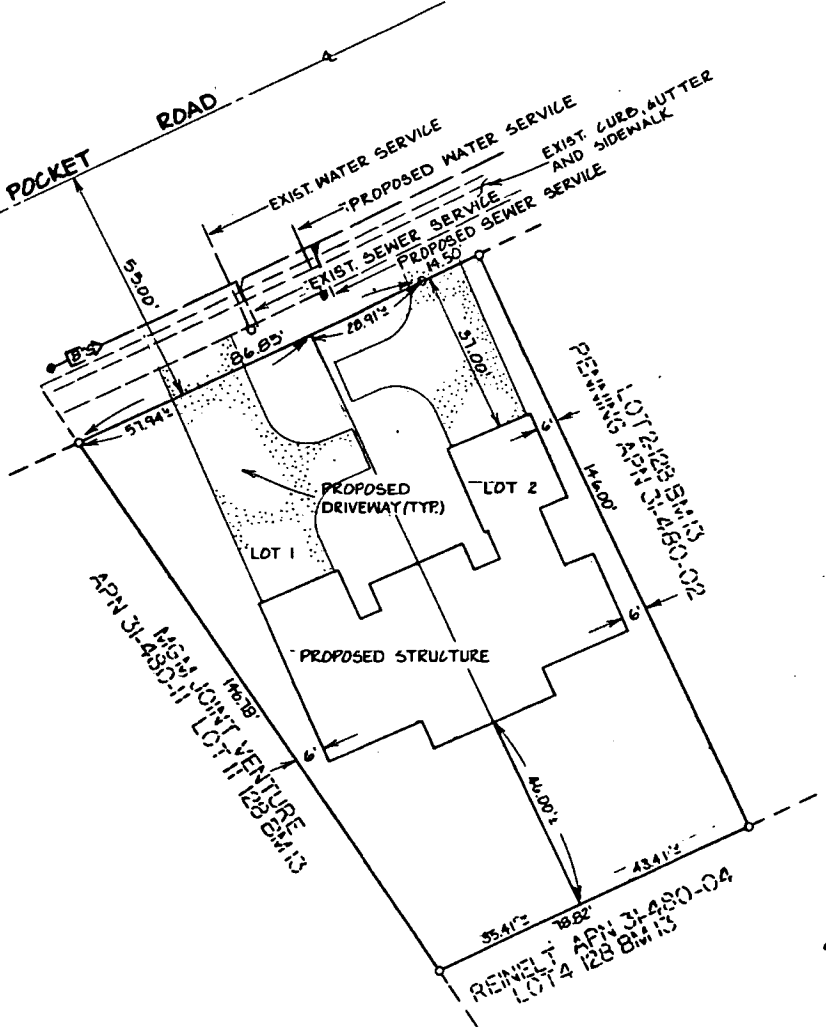
28 JULY 1983

P 83212

# TENTATIVE PARCEL MAP FOR: LOT 1-PARKWAY OAKS UNIT #1



VICINITY MAP  
N.T.S.



001716

**ASSESSOR'S PARCEL NO.:**  
31-480-01

**OWNER:**  
ROBERT A. ADAMS  
1074 S. ORANGE GROVE AVE.  
PASADENA, CA 91105

**ENGINEER:**  
SPEATH ENGINEERING, INC.  
5710 GARFIELD AVE., SUITE B  
SACRAMENTO, CA 95841  
(916) 334-8306

**PRESENT USE & ZONING:**  
VACANT, R-1R

**ACREAGE:**  
PARCEL NO. 1 = 13,150± S.F.

**PROPOSED USE & ZONING:**  
HALF-PLEX, R-1A

**SIZE OF LOTS:**  
LOT 1 = 6,815± S.F.  
LOT 2 = 6,335± S.F.

**NUMBER OF LOTS:**  
1 EXISTING, 2 PROPOSED

**SOURCE OF WATER:**  
SACRAMENTO CITY

**SCHOOL DISTRICT:**  
SACRAMENTO CITY

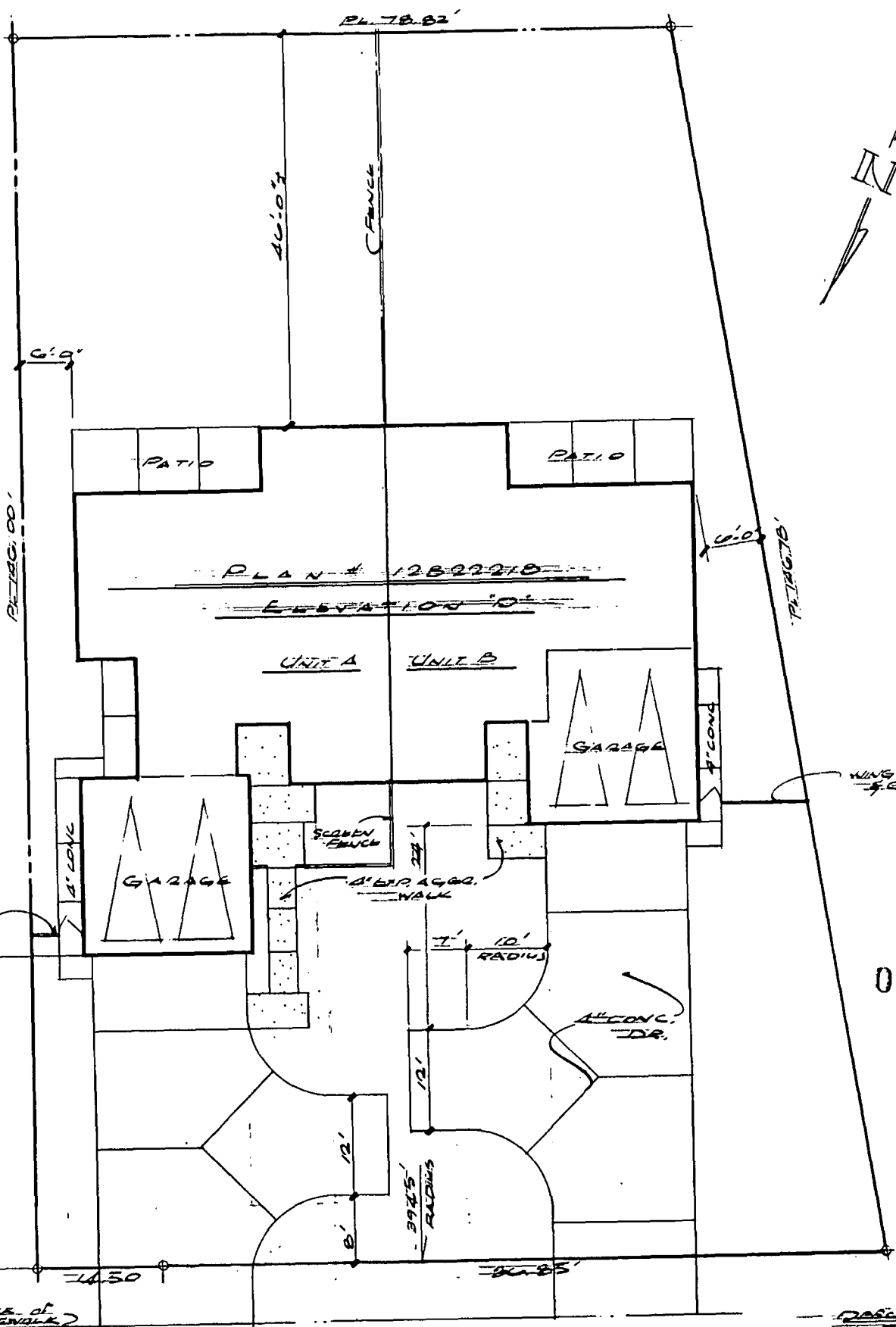
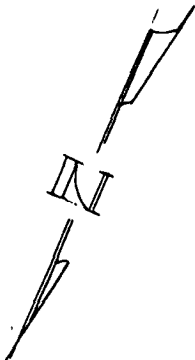
**DRAINAGE FACILITIES:**  
SACRAMENTO CITY

**SANITATION FACILITIES:**  
SACRAMENTO CITY



*Richard Rozing*  
6/17/83  
*Richard Rozing*

<b>SPEATH ENGINEERING, INC.</b> Civil Engineers	
5710 Garfield Ave. Suite "B" Sacramento, CA 95841 (916) 334-8306	



001717

BACK OF SIDEWALK

~~ROCKET RD.~~

~~STREET PLAN~~

~~SCALE 1/8" = 1'-0"~~



DESCRIPTION:  
LOT #1  
UNIT #201  
PERRIN DAVIS  
CITY OF ST. LOUIS, MO.

83-212

28 JULY 1983

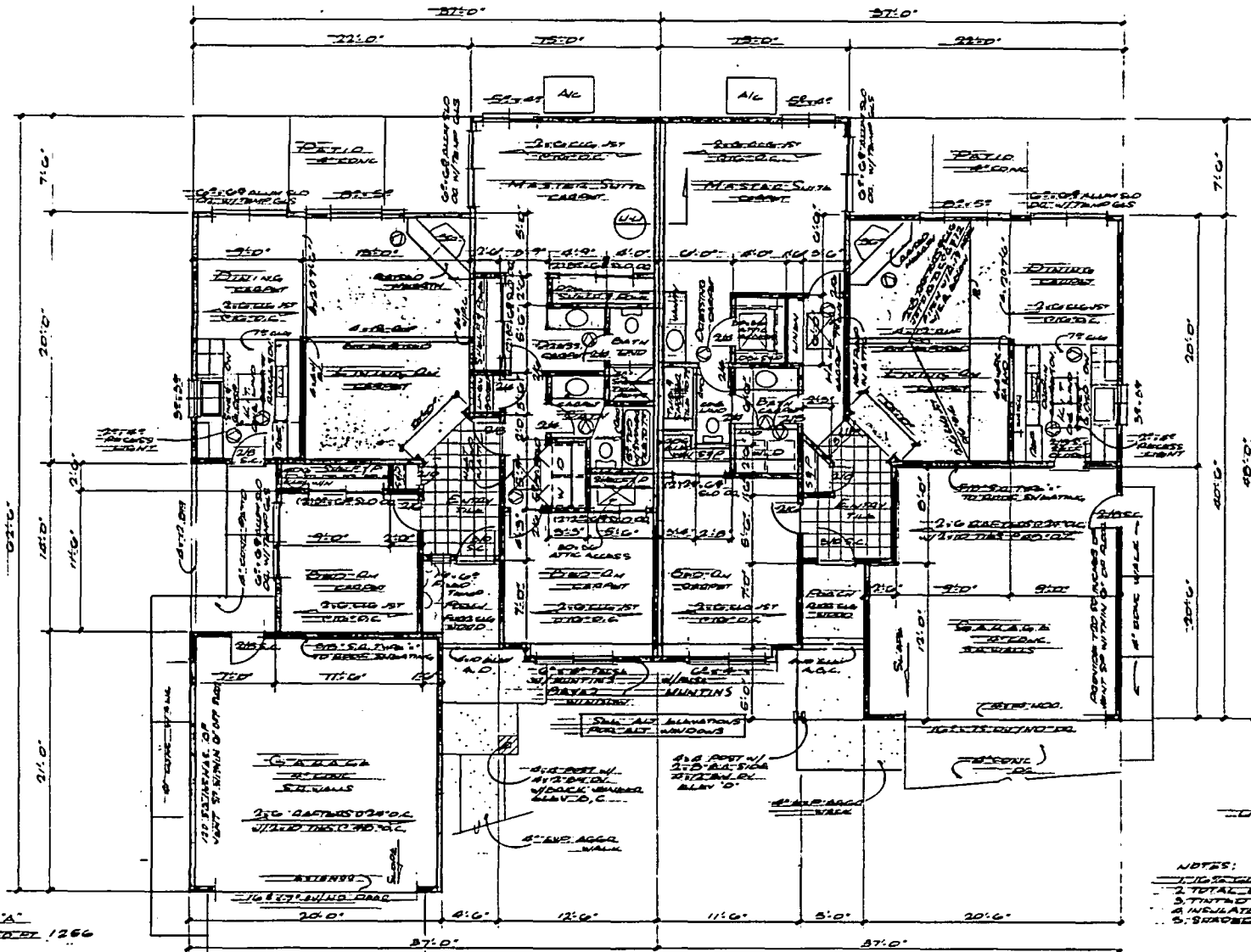
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28 JULY 1985

P 83212 No. 18

001718



UNIT A  
SP. PL. 1266

NOTES:  
 1. ALL WALLS TO BE 2" G.  
 2. ALL FLOORS TO BE 2" G.  
 3. ALL CEILING TO BE 2" G.  
 4. ALL DOORS TO BE 1 1/2" G.  
 5. ALL WINDOWS TO BE 1 1/2" G.  
 6. ALL BATHS TO BE 2" G.

NOTES:  
 1. TOTAL GROSS FLOOR AREA - 174  
 2. TOTAL GLASS AREA - 100  
 3. TOTAL GLASS TO GROSS AREA - 57.5%  
 4. INSULATED GLASS - NONE  
 5. SHARED WALLS - 100% SHARED

**Frazier's** RESIDENTIAL PLAN  
 M. DOUGLASS FLOOR PLAN  
 128227B

