

P96-092 - HOME SAVINGS ATM DRIVE THROUGH

- REQUEST:
- A. Special Permit to construct a free-standing Drive-Up ATM kiosk with rain canopy for an existing Home Savings Bank on 2.915 developed acres in the Point West Planned Unit Development (SC-R PUD) zone;
 - B. Variance to reduce the required ATM setback from 50 feet to 34 feet;
 - C. Variance to reduce the required Drive-Through stacking lane from 180 feet to 160 feet;
 - D. Plan Review to allow the construction of a free standing Drive-Up ATM in the SC-R PUD zone.

LOCATION: 1950 Arden Way
APN 277-0271-007 & 017
Council District 3

APPLICANT:	One-A Design Marvin Bergerson 1060 Grant Street, Ste. 1A Benicia, CA 94510
OWNER:	Metropolitan Life Insurance P.O. Box 526001, Sacramento, CA 95852
PLANS BY:	Marvin Bergerson, (707) 747-4797
APPLICATION FILED:	September 6, 1996.
STAFF CONTACT:	Taiwo Jaiyeoba, Assistant Planner, 264-8287

SUMMARY

The applicant requests entitlements to allow the construction of a free standing Drive-Up ATM kiosk with rain canopy for an existing Home Savings Bank on ±2.916 developed

acres in the Point West Planned Unit Development (SC-R PUD) zone. In evaluating the project, the basic issues are consistency of the project with the General Plan land use and zoning designations, compatibility of the proposed project with surrounding uses, and site design of the project.

RECOMMENDATION: Staff recommends approval of the project, with conditions. This recommendation is based on the project's consistency with the General Plan and zoning requirements and compatibility with surrounding uses.

PROJECT INFORMATION:

General Plan Designation:	Regional Commercial and Offices
Existing Land Use of Site:	Home Savings Bank building and Parking lot
Existing Zoning of Site:	Shopping Center Planned Unit Development (SC-R PUD) zone.

Surrounding Land Use and Zoning:

North:	Commercial; C-2
South:	Commercial; A-PC
East:	Commercial; County Boundary
West:	Commercial; SC

Property Dimensions:	Irregular
Property Area:	2.915 _± gross acres
	2.698 _± net acres
Square Footage of Building on site:	9,429 square feet
Height of Bank Building:	3 stories
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Building Permit	Building Division

BACKGROUND INFORMATION:

On September 6, 1996 the applicant submitted the original application for the ATM facility. The original proposal included the removal of 18 car parking spaces east of the parking lot and creating two planters one of which accommodates the ATM facility. Three lanes were thus created, one for ATM only and the other two for ingress and egress. This

design was not acceptable to the Planning Staff and the City's Transportation Division.

Staff originally requested the applicant to consider closing the gap between the two planters, the drive aisle between the ATM island and Arden Way and the northernmost driveway between the subject site and Mervyn's parcel located north of the Home Savings Bank parcel. This suggestion was in order to avoid any potential overflow of traffic into Arden Way due to a proposed reduction in the stacking length of the drive-through.

This redesign would have resulted in provision for ample space for stacking and avoidance of potential traffic overflow into Arden Way. The applicant expressed opposition to this redesign recommendation for the reason that the northernmost driveway and the easternmost drive aisle cannot be closed as it will result in traffic problems and inconvenience to customers.

The applicant submitted different alternative designs that will ensure that the proposed reduction in stacking will not result in a traffic problem along Arden Way. The submitted site design was achieved after all the issues relating to traffic circulation within the site and stacking length have been taken into consideration.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

1. General Plan Policies

The City of Sacramento General Plan designates the site for Regional Commercial and Offices. The existing Home Savings Bank and the proposed ATM kiosks are consistent with this designation.

The General Plan also contains overall goals and policies for the development of the City of Sacramento. The following sections identify the applicable goals and policies and summarize the staff determination of consistency for each goal or policy.

Section 1 of the General Plan describes the goal for public services: "It is the Policy of the City to provide a full range of adequate municipal services in order to meet resident and worker needs and to assure a healthy, orderly development and maintenance of its communities. It is important that these services are coordinated with the expected growth of the City".

- ◆ Adequate public facilities and services should be provided in existing developed areas.
- ◆ Strongly encourage new regional commercial and office centers to incorporate accessory uses such as public amenities in regional and commercial developments.

The proposed project is consistent with this goal and these policies.

The General Plan Commerce and Industry Land Use Element provides goals and policies which support the maintenance, preservation and revitalization of retail/office developments throughout the City (Section 4). The proposed project will provide an expanded level of service for Home Savings Bank customers, and is therefore consistent with the General Plan's goals relating to office/retail uses.

2. Required Zoning Ordinance Findings

The Zoning Ordinance lists three findings which must be made by the Planning Commission in order to grant a Special Permit for a drive-up service facility. These are:

- ◆ The design and location of the facility will not contribute to increased congestion on public or private streets or alleys adjacent to the subject property.
- ◆ The design and location of the facility will not impede access to or exit from the parking lot serving the business, impair normal circulation within the parking lot or impede pedestrian movement.
- ◆ The design and location of the facility will not create a nuisance for adjacent properties.

The project has been reviewed by the City's Traffic Division and revised to meet concerns related to improving traffic circulation within the parking lot and reducing chances of any traffic overflow from the ATM aisle into Arden Way.

The ATM access has been designed in accordance with development standards specified in the Zoning ordinance and intended to avoid impacts on the internal circulation of the site. The project will utilize existing street access to the site.

The proposed facility is compatible with the surrounding development in that the site is surrounded by commercial development, and not adjacent to residential development at any point. The design of the facility includes adequate parking and circulation so that a nuisance will not be created for the surrounding properties.

3. Relation to Other Project Recommendations

Planning Staff has recommended denial of some drive through facilities in the past. One example of this was the proposed Jack-in-the-Box at 19th and J Streets (P93-138) which included a drive through window. One significant issue evaluated for that project was its inconsistency with the existing mixed use, pedestrian friendly neighborhood environment.

The auto oriented nature of the proposed project is not inconsistent, however, with existing development along Arden Way in this area for the following reasons: 1) many

drive through businesses for banks and fast food currently exist in the area and, 2) the existing development along Arden Way in this area is not an active mixed use pedestrian friendly neighborhood environment in that a) the area is characterized by large sites, large building setbacks, and ample parking, much of which is located adjacent to the street b) Arden Way in this area has no on street parking, no planter strips between sidewalk and the curb, and no street trees. As a result the area has neither the intensity of use, the site design, nor the street scape condition to be considered pedestrian friendly, 3) a drive-through ATM does not require the same period of waiting like a fast food drive-through. The implications on air quality is thus limited.

B. Site Plan Design/Zoning Requirements

1. Setbacks

Specifically, the ATM kiosk is set back at least 42 feet from the Arden Way sidewalk exceeding the 5 foot street side yard zoning ordinance requirement for accessory buildings. The kiosk is also set back 25 feet from the driveway adjacent to the Home Savings Bank building and has a setback of 160 feet from the driveway shared with Mervyn's parcel to the north of the subject site.

2. Parking

The City's Zoning Ordinance requires a minimum of 1 parking space per 350 square feet of uses within Planned Unit Developments. This results in a parking requirement of 83 spaces. The subject site presently has 131 parking spaces existing and proposes to eliminate 12 existing parking spaces, leaving 119 spaces remaining on the site.

3. Site Design

The ATM facility does not meet the minimum stacking distance of 180 feet and has requested a variance to reduce the stacking length to 160 feet. According to the submitted site plan, the entrance to the drive-up lane is greater than 25 feet from the public street and exceeds the minimum lane width of 11 feet. The design clearly indicates the entrance to the lane and the direction of traffic flow with signage and raised curbs.

4. Kiosk Design

The applicant has indicated that the project will utilize with metal materials for construction painted light beige and earth tone brown trim. This color is compatible with the surrounding uses.

5. Signage

The project proposes directional signage for the ATM facility. These signs will be a maximum of 4 square feet in size, and are therefore exempt from the provisions of the

City's Sign Ordinance. The Point West PUD Guidelines stipulate that such signs not exceeding 250 square footage (single face), shall be permitted but subject to use permit.

6. Landscaping

The site plan indicates that 6 lagershoemia indica trees, 12 juniperous compacta, 7 raphiolepis bellerina and redwood chips over soil and between plants will be used to landscape the site.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The proposed project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15311).

B. Public/Neighborhood/Business Association Comments

The project application was routed to the Point West Architectural Review Committee and all owners of property located within 500 feet radius of the proposed project. No comments were received as of the time of writing this report.

C. Summary of Agency Comments

The project has been reviewed by Engineering Development Services Division, of the Public Works Department, Utilities Department and the Police Department. Utilities Department has no comment on the proposal. The following summarizes the comments received:

1. Public Works Department

The original project was revised to reflect the Transportation Division's opposition to any new driveways, particularly off of Arden Way. The proposed drive-through does not meet the 180 feet zoning ordinance requirements for stacking distance. Public Works would prefer a site plan that relocates the drive-through entrance farther away from the driveway (which is shared by the Bank and Mervyn's on the adjacent parcel).

Staff has however worked with applicant to revise the site plan to develop a compromise design. The objectives were to ensure the driveway areas on either end of the drive-through are kept clear and would not affect traffic operations on Arden Way. Conditions to guide circulation through the site are included below in the conditions of project approval.

2. Police

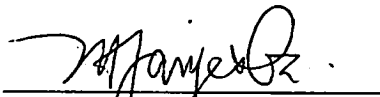
The Police Department also reviewed the proposal, and has placed conditions on the project to alleviate public safety concerns regarding the proposal. The comments concern the height of the lighting and landscaping. These comments are expressed as part of the conditions listed below.

PROJECT APPROVAL PROCESS: Planning Commission has the authority to approve or deny the entitlements below. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to construct the free standing drive-up ATM lane kiosk with rain canopy on 2.915 developed acres in the Shopping Center Planned Unit Development (SC-R PUD) zone,
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to reduce the required ATM setback from 50 feet to 45 feet,
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to reduce the required Drive-through stacking lane from 180 feet to 160 feet,
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Plan Review to allow the construction of a free standing Drive-Up ATM in the SC-R (PUD) zone.

Report Prepared By,



Taiwo Jaiyeoba
Assistant Planner

Report Reviewed By,



Scot Mende
Senior Planner

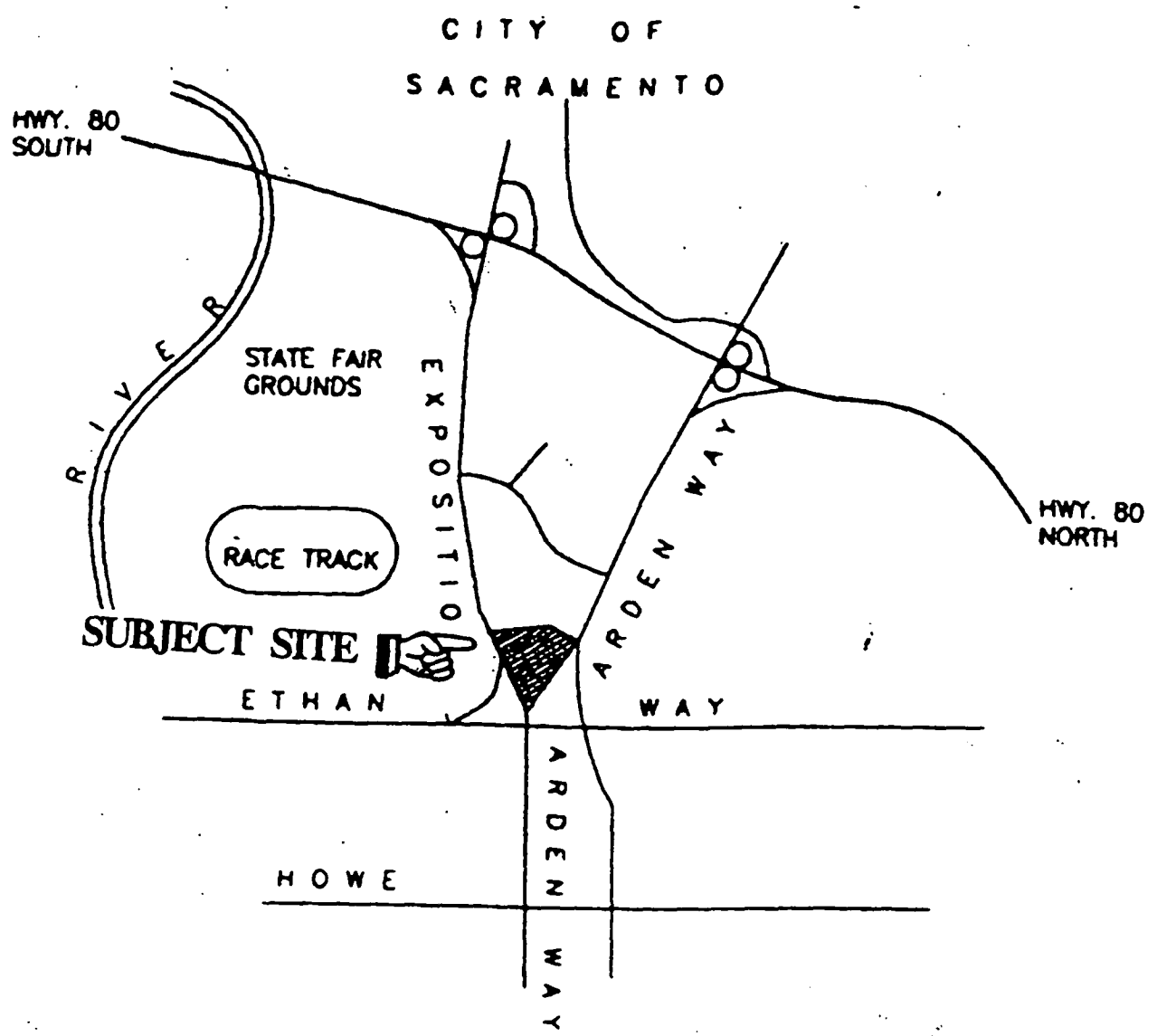
Attachments

Attachment A	Vicinity Map
Attachment B	Land Use and Zoning Map
Attachment C	Notice of Decision and Findings of Fact
Exhibit C-1	Site Plan
Exhibit C-2	Elevations

P96-092

ATTACHMENT A

Vicinity Map



VICINITY MAP



NO SCALE

ATTACHMENT B

Land Use and Zoning Map

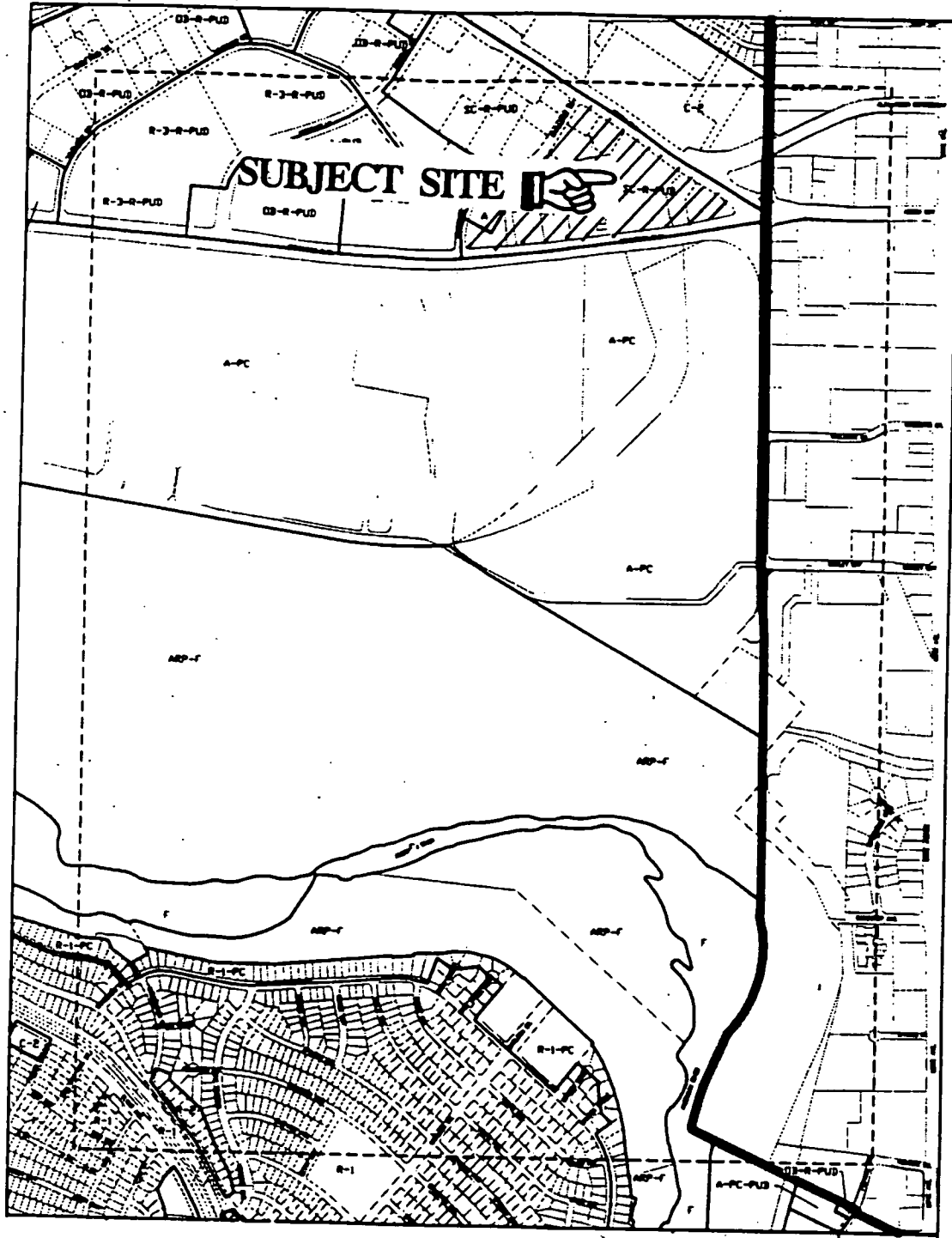
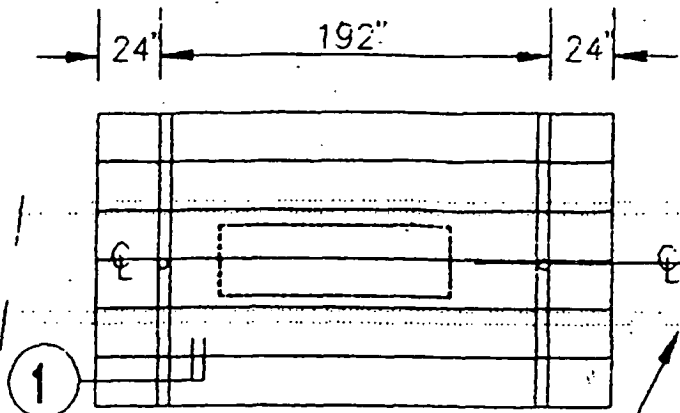


Exhibit C-2

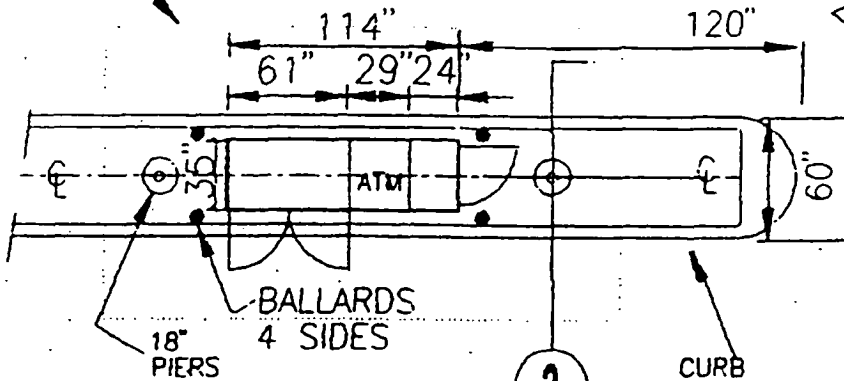
Elevations



ROOF PLAN



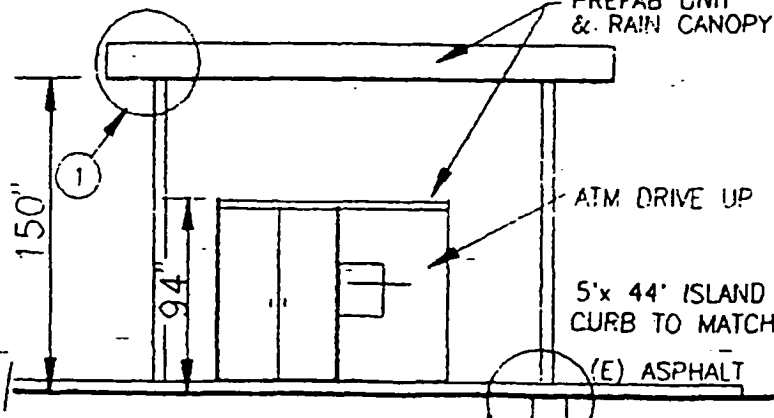
LINE OF ROOF ABOVE



FLOOR PLAN



FREE STANDING
PREFAB UNIT
& RAIN CANOPY

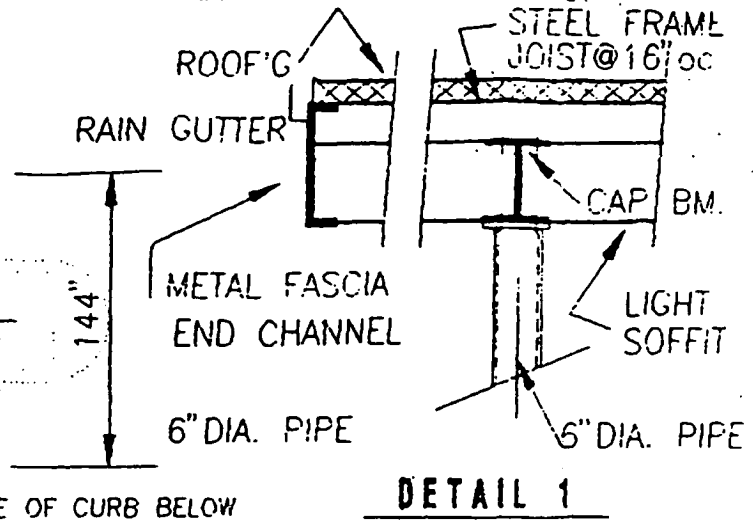


FRONT



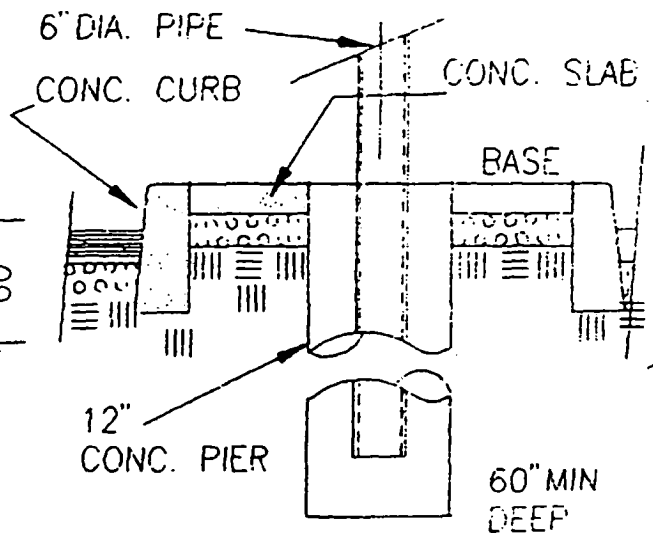
PLAN & ELEVATIONS

SCALE 1/8" = 1'-0"



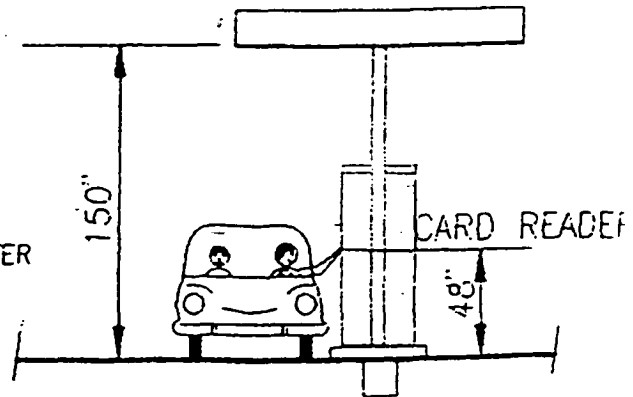
DETAIL 1

SCALE 1/2" = 1'-0"



DETAIL 2

SCALE 1/2" = 1'-0"



END VIEW

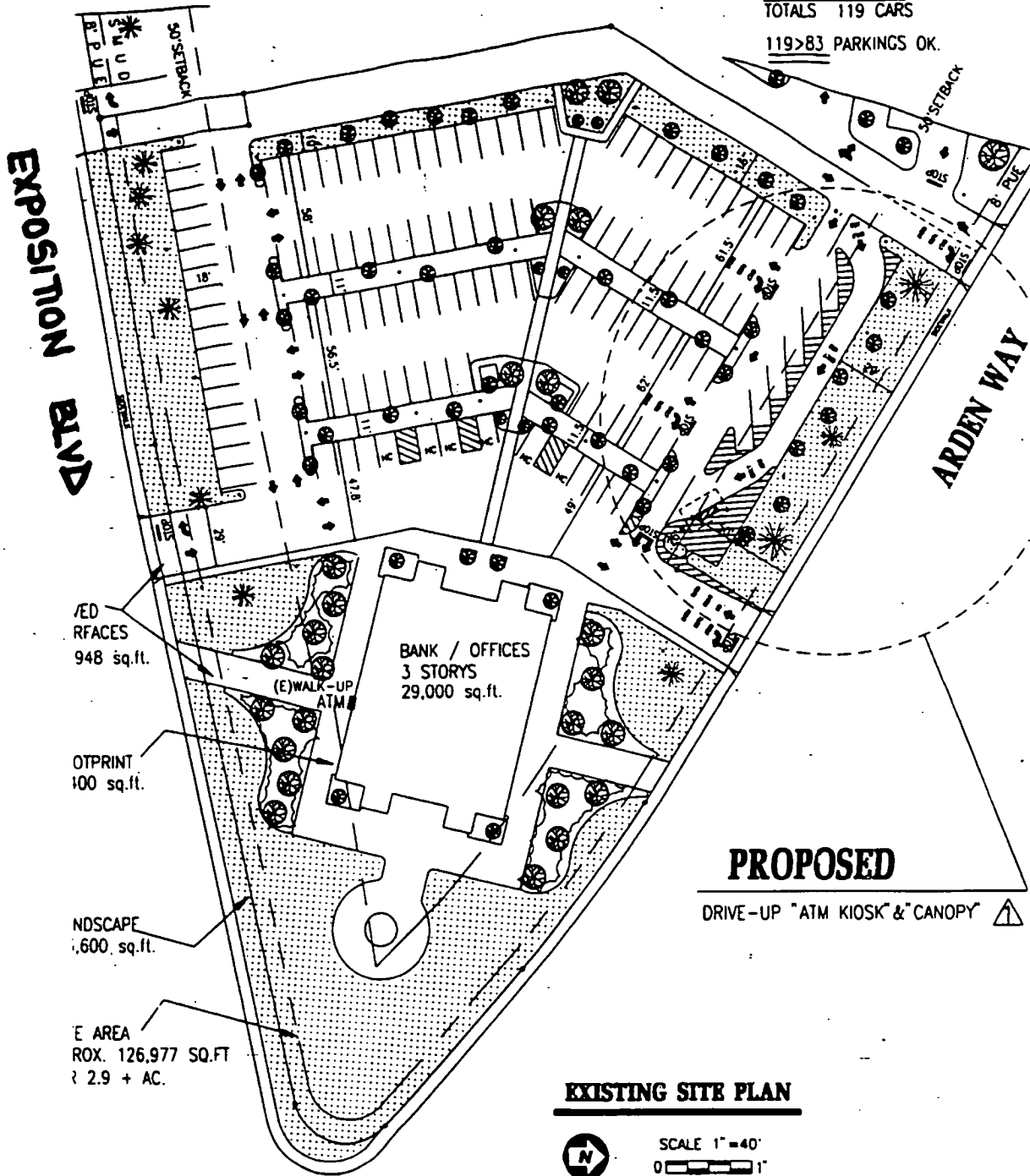
Exhibit C-1

Site Plan

REQ'D CARS 83 (1: 350)

EXIST'G 131 CARS
REMOVE 12 CARS
TOTALS 119 CARS

119 > 83 PARKINGS OK.



THIS PLAN IS FOR VISUALIZATION PURPOSES ONLY
THIS PLAN ISN'T INTENDED AS A BOUNDARY SURVEY

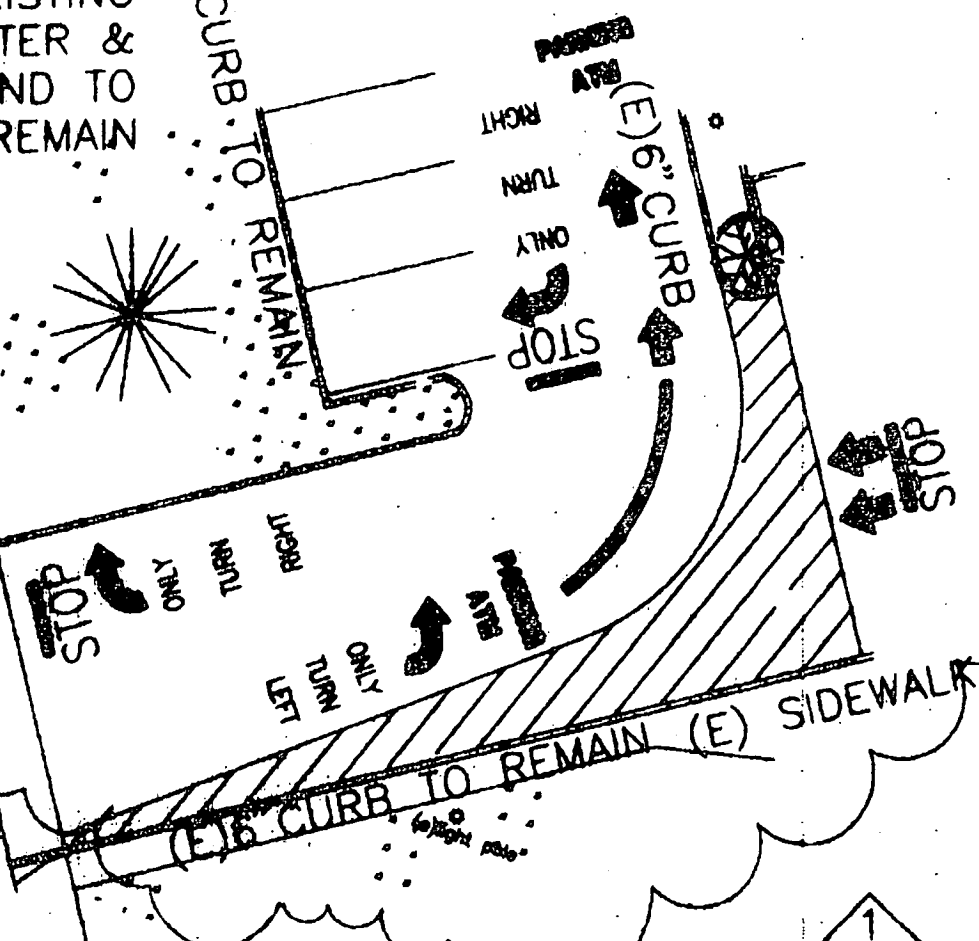
NEW
PLANTER
ISLAND
TO MATCH

STRIP LINES
ARROWS AND
DIRECTIONS
TO MATCH
EXISTING

EXISTING
PLANTER &
ISLAND TO
REMAIN

(E) 6" CURB TO REMAIN

(E) SIDEWALK CURB & GUTTER
TO EXPOSITION BL.



DETAIL EXPO.

SCALE 1" = 20'



To: DAN LLC
 Please show
 this to store,
 Thanks
 FROM: MDPV,

