

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0108695

Insp Area: 4

Site Address: 4762 SAVOIE WY SAC

Parcel No: 225-1570-012

WESTBR 1-1 LOT 51

Sub-Type: NSFR

Housing (Y/N): N

CONTRACTOR

WOODSIDE HOMES OF N. CALIF
15 AUTO PLAZA DR #102
FOLSOM CA. 95630

OWNER

ARCHITECT

Nature of Work: MP 1800 1 STORY 6 ROOM SFR

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

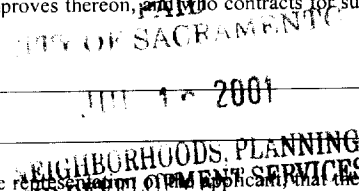
License Class B License Number 744379 Date 7/11/01 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code, any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption: Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, ~~and~~ who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

____ I am exempt under Sec. _____ B & PC for this reason: _____
Date _____ Owner Signature _____



IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representations of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 7/11/01 Applicant Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:
____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier INSURANCE CO. OF THE WEST Policy Number WSL170169001 Exp Date 12/12/2001

____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 7/11/01 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

COUNTY SANITATION DISTRICT NO. 1
 SACRAMENTO REGIONAL COUNTY SANITATION DISTRICT
SEWER IMPACT FEE *Payor*
 PERMIT AND CALCULATION SHEET *7/16/01*

APPLICATION NO: ****CITY****
 GENERAL INFORMATION

BLDG PERMIT NO:
 THIS PERMIT GOOD ONLY WHEN
 VALIDATED BY THE CASHIER

paid thru
CWD 2001-00534

273460
7/16/01

THIS PERMIT TO CONNECT EXPIRES
 ONE YEAR FROM DATE OF ISSUANCE

FEE CALCULATION		BUILDING USE	
INSPECTION		RESIDENTIAL	SF <input checked="" type="checkbox"/> MF <input type="checkbox"/>
CSD-1	600 <i>70</i>	COMMERCIAL USE	UNITS
SRCSD	<i>3,500</i>		
CONSTRUCTION			
IN-LIEU			
TOTAL FEE	<i>4,100</i> <i>70</i>		

APN: 225-1570-012

DESCRIPTION/
 SUBDIVISION Westborough Village 1, Ph 1 LOT: 51

PROPERTY ADDRESS 4762 Savole Way

OWNER Woodside Westlake, Inc.

MAILING ADDRESS 15 Plaza Drive #102

CITY-STATE-ZIP 201509, CA 95630 PHONE 608-96600

ADDITIONAL FEES MAY BE DUE IF CHANGES IN USE INCREASE SEWER IMPACT.

APPLICANT SIGNATURE *Karen M. West*

CONSOLIDATED UTILITY BILLING USE ONLY

ACCT _____ INPUT _____ START _____

Natomas Unified School District

1515 Sports Drive, #1 • Sacramento, CA 95834-1905
 Phone 916/641-3300 • Fax 916/928-1629

CERTIFICATION OF COMPLIANCE

SCHOOL DISTRICT DEVELOPMENT FEES

PART I: TO BE COMPLETED BY APPLICANT			
Property Owner's Name	Woodside Westlake, Inc.		
Owner's Address	15 Plaza drive #102 Folsom, CA 95630		
Project Address	4762 Savoie Way		
Parcel Number	225-1570-012		
Subdivision Name	Westborough Village I, Ph I		
Number of Units	1		
Print Applicant's Name	Woodside Homes of CA, Inc	Applicant's Signature	<i>[Signature]</i>
Title of Applicant	Construction Admin.		
Date	6/18/01	Telephone Number	(916) 608-9600
PART II: TO BE COMPLETED BY BUILDING DEPARTMENT			
Plan Identification Number	21055-1111		
Building Type (Check One)	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Apartment/Condominium <input type="checkbox"/> Commercial/Industrial		
Square Feet of Chargeable Building Area			
Signature	<i>[Signature]</i>		
Title	Blde Insp	Date	7/11/01
PART III: TO BE COMPLETED BY NATOMAS UNIFIED SCHOOL DISTRICT			
District Certification Number	72-11		
Fees Collected:			
Residential:	1716	Sq. Ft. X \$ 3.35	= \$ 6030.00
Apartment/Condominium:		Sq. Ft. X \$	= \$
Commercial/Industrial:		Sq. Ft. X \$	= \$
NOTICE TO APPLICANT: Pursuant to government code section 66020 (d), this will serve to notify you that the 90-day approval period in which you may protest the fees, or other payment identified above, will begin to run on the date in which the building or installation permit for this project is issued, or on which they are paid to the District, or to another public entity authorized to collect them on behalf of the District, whichever is earlier.			
Applicant Signature:	<i>[Signature]</i>		Date: 7/14/01

This certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.

As the authorize Natomas Unified School District official, I hereby certify that the requirements of Government Code Section 95995 have been complied with by the above signed applicant.

SIGNATURE: *Michael Morman* DATE: 7/14/01
 TITLE: Michael Morman
Facilities Planning Director

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 4762 Savoie Way Assessor Parcel # 225-1570-012
Lot Number: 51 Subdivision Westborough-Village 1

OWNER INFORMATION:

Legal Property Owner: Woodside Westlake, Inc. Phone# (916) 608-9600
Owner Address: 15 Plaza Drive #102 City Folsom State CA Zip 95630

CONTRACTOR INFORMATION:

Contractor: Woodside Homes of CA, Inc. Lic. # 744379B Phone # 608-9600 Fax 608-9940

PROJECT INFORMATION:

Land Use Zone R1A Occupancy Group R3 Construction Type VN Fed Code 1A
No. of Stories: 1 No. of Rooms: Street Width:
1st Floor Area 1800 2nd Floor Area Basement N/A Roof Material Concrete Tile
AREA IN SQUARE FOOT OF:
Dwelling/Living 1800
Garage/Storage 435
Decks/Balconies N/A
Carports N/A
SCOPE OF WORK: New Residential Construction

FOR OFFICE USE ONLY

- Information Above Complete AR Flood Waiver Required Planning Approval
Violation Files Checked Flood Elevation Certificate Required Design Review Approval
Standard Setbacks Water Development Infill Area Special Fee Districts Apply:
County Sewer

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
a) Assessors Parcel Number c) Owners Name
b) New Floor Area d) Project Address

KwikKote

No. 200-004171

Stucco System Installation Card

Job Name: WESTLAKE
Address: 4762 SAVOIE WAY
SACRAMENTO,

Lot #: 0000051

Stucco System Trade Name: KWIK KOTE
Stucco System Manufacturer: KWIK KOTE CORP.

ICBO Evaluation Service, Inc.
Report No. 3607
Date of Job Completion: October 18, 2001

Home Builder: WOODSIDE HOMES
Address: 15 PLAZA DR. #102
FOLSOM, CA

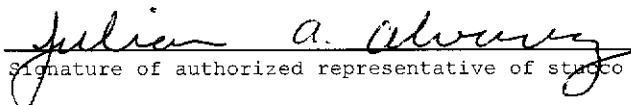
Stucco Contractor: KENYON PLASTERING, INC.
Address: PO BOX 2077
North Highlands, CA

Telephone Number: 916/349-8191

Approved Contractor Number as
issued by the Stucco Manufacturer: 1001

Card Print Date: 11/27/2001

This is to certify that the stucco system on the building exterior at the above address had been installed in accordance with the evaluation report specified above and the manufacturer's instructions.


Signature of authorized representative of stucco contractor

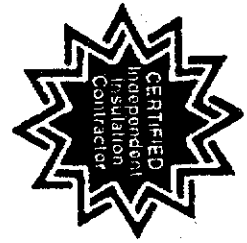
11-27-01
Date



WesPac

insulation

a MASTCO Company



809 North Market Blvd., Ste. 11 • Sacramento, CA 95834

(916) 927-7149 • Fax (916) 927-4257

Lic. #487478

Installed Insulation Certificate

We certify that the building insulation listed herein is installed in conformance with current energy conservation regulations, California Administrative Code, Title 24, State of California

R FACTOR	AREA	TYPE	INCHES/BAOS (BLOWN)
R50	CEILING AREA	FIBERGLASS BATT	11
R20	CEILING AREA	FIBERGLASS BATT	11
R13	WALL AREA	FIBERGLASS BATT	11

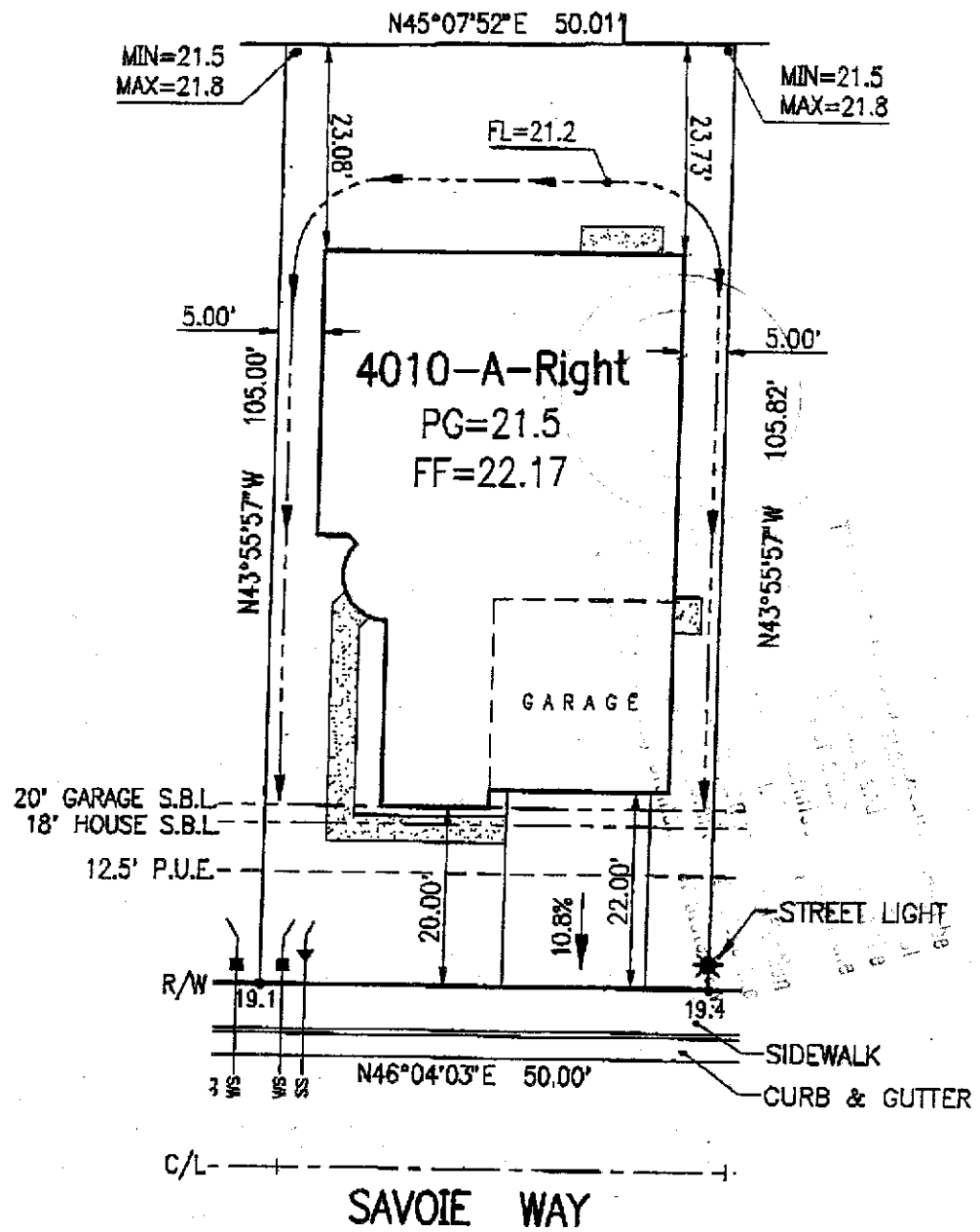
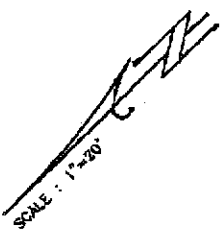
Certified by

Title Secretary

WOODSIDE HOMES WESTLAND
 ADDRESS: 11111 HERRING RD
 Address of Lot Number
 10/04/01
 Date Installed
 Phase B

RECEIVED
OCT 10 2001

Lot 51
4762
SAVOIE



PLAN 4010
 1-STORY
 2-CAR GARAGE
 LIVABLE AREA=1800 sf
 GARAGE AREA= 435 sf
 FOOTPRINT = 2236 sf

PLOT PLAN FOR LOT 51

 WOODSIDE HOMES OF CA, INC.

Westborough ~ Village 1 , Phase 1
 ADDRESS: 4762 SAVOIE WAY
 CITY OF SACRAMENTO, NATOMAS
 SACRAMENTO COUNTY, CALIFORNIA
 A.P.N.: 225-1570-012
 Lot Area: 5270 s.f.
 Lot Coverage: 42.4%

SCALE : 1"=20'
Date: May 21, 2001
Revised:
Drawn By: T.D.B.
Job No: 00-11-132