

# CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	JTS Engineering, 811 'J' Street, Sacramento, CA 95814				
OWNER	c/o John Machado, 6610-14th Street, Sacramento, CA 95814				
PLANS BY	JTS Engineering, 811 'J' Street, Sacramento, CA 95814				
FILING DATE	8/5/83	50 DAY CPC ACTION DATE		REPORT BY	SD:bw
NEGATIVE DEC.	8/29/83	EIR		ASSESSOR'S PCL. NO.	031-540-01,63,64 031-790-24,30,47

- APPLICATION:
1. Environmental Determination
  2. Rezone from Two-Family (R-2-R) to Townhouse (R-1A)
  3. Special Permit for halfplex development (Sec. 7-C)
  4. Tentative Map (P83-260)

LOCATION: 7570-7614 River Ranch Way

PROPOSAL: The applicant is requesting the necessary entitlements to subdivide 3.6± vacant acres consisting of 12 two-family lots into 24 lots for halfplex development.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1976 South Pocket Specific Community Plan Designation:	Low Density Residential with freeway noise impact area
Existing Zoning of Site:	R-2-R
Existing Land Use of Site:	Vacant
Proposed Zoning:	R-1A
<u>Surrounding Land Use and Zoning:</u>	
North:	Vacant; A
South:	Vacant; R-1
East:	Freeway
West:	Vacant; A
Parking Required:	24 spaces
Parking Provided:	48 spaces
Parking Ratio:	Two spaces per dwelling unit
Property Area:	3.6± acres
Density of Development:	6.7 du/ac
Square Footage of Building:	Unit A-1,565; Unit B-1,660; Unit C-1,752
Topography:	Flat
Street Improvements:	Existing
Utilities:	To be provided
Exterior Building Colors:	Earth tones
Exterior Building Materials:	Wood, brick, stucco
Height of structure:	Units A and C-18 ft.; Unit B-24 ft.
North/South lot orientation:	58 percent

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On August 24, 1983, by a vote of five ayes, three absent, one abstention, the Subdivision Review Committee voted to recommend approval of the tentative map. The abstention was cast by the Sewer and Water Division whose representative arrived after discussion of the item. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted. (See over)

APPLC. NO. P83-260

MEETING DATE September 8, 1983

CPC ITEM NO. 839

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1. Pay off existing assessments or file the necessary segregation requests and fees to segregate existing assessments;
2. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
3. Rename the map to read: "Resubdivision of Lots 1, and 97-107, of River Oaks Ranch, Unit 1";
4. Provide separate sewer and water services for each unit. (Locate existing services relative to each lot.)
5. Key cut existing curb and gutter and provide a one-inch overlay over River Oaks Ranch Way;
6. Bonds, engineering fee and private contract required prior to filing final map;
7. Place the following note on the final map: Building plans for Lot 99 shall be reviewed and approved by the City Arborist prior to issuance of a building permit.

BACKGROUND INFORMATION: The subject site is a portion of River Oaks Ranch which was originally approved by the City Council on July 6, 1976 (P-7204). Entitlements included a tentative map and rezoning from A to R-1 and R-2. In February 1977 the City Council approved a revised map deleting the school site (P-7613). That map was not recorded. On September 18, 1979 the City Council approved a resubmission of the map (P-8712).

STAFF EVALUATION: Staff has the following comments:

1. The subject site is the duplex portion of the original River Oaks Ranch Subdivision. The applicant is requesting the necessary entitlements to subdivide 12 duplex lots to halfplex units. The proposed project will not alter the character of the neighborhood or increase the density of dwellings since two-family units are allowed under the current zoning designation. Halfplex development will allow individual ownership of each dwelling unit.
2. The applicant has submitted four different outside elevations and three floor plans. Plan A, with two elevations, has three bedrooms, two baths, 1,565 square feet of living area and is one-story. Plan B has two bedrooms and a study, two baths, 1,699 square feet and is two-stories. Plan C has three bedrooms, two baths, 1,752 square feet and is one-story. The applicant proposes to stagger front yard setbacks between attached units 10 feet. Building materials include wood, stucco and brick. Staff finds there to be a sufficient number of elevations and floor plans for the number of units proposed. In order to assure a varied and attractive streetscape, staff requests that each elevation be used a maximum of four times. The roofs should be of shake or similar material. Staff also requests a schematic plan as submitted prior to issuance of the first building permit. The schematic should indicate the following:
  - a. the unit and elevation proposed for each lot;
  - b. a footprint showing setbacks;
  - c. proposed building materials and colors.

This schematic will be used for comparison in order for staff to approve building permits.

3. The sound study completed for the previous map states that an eight-foot sound wall is necessary to attenuate noise for proposed lots 106A and B and 107A and B. The applicant will be responsible for construction of this wall prior to filing the final map. Design of the wall will be subject to review of the Planning Director and Chief Building Inspector. In addition, all units farther from the freeway will require noise reducing construction techniques.
4. The Planning and Community Services Departments have determined that 0.269 acres of land are required for Parkland Dedication purposes and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted not more than 90 days prior to filing the final map.
5. There is a 24-inch Oak tree on Lot 99B. The City Arborist has indicated this tree is in good condition and should be retained. Staff requests that building plans for this lot be approved by the City Arborist and Planning Director prior to issuance of building permits.
6. The project achieves only a 58 percent north/south lot orientation. The streets are already constructed and the relationship of the subject site to the freeway and on ramp make an 80 percent north/south lot orientation infeasible.

STAFF RECOMMENDATION: Staff recommends the following:

1. Ratification of the Negative Declaration;
2. Approval of the Rezoning from Two-Family (R-2) to Townhouse (R-1A);
3. Approval of the Special Permit, subject to conditions and based upon Findings of Fact which follow;
4. Approval of the Tentative Map, subject to conditions, each of which the applicant shall satisfy prior to filing the final map unless a different time for compliance is specifically noted:
  - a. Pay off existing assessments or file the necessary segregation requests and fees to segregate existing assessments;
  - b. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
  - c. Rename the map to read: "Resubdivision of Lots 1 and 97-107, of River Oaks Ranch, Unit 1";
  - d. Provide separate sewer and water services for each unit. (Locate existing services relative to each lot);
  - e. Key cut existing curb and gutter and provide a one-inch overlay over River Oaks Ranch Way;

- f. Bonds, engineering fee and private contract required prior to filing final map;
- g. Place the following note on the final map: Building plans for Lot 99 shall be reviewed and approved by the City Arborist and Planning Director prior to issuance of a building permit;
- h. Construct the sound wall as required by the sound study for River Oaks Ranch which is on file at the Planning Department. Design of the wall shall be approved by the Planning Director and Chief Building Inspector prior to issuance of building permits.

Conditions - Special Permit

- a. Prior to issuance of building permits, the applicant shall submit a schematic plan for review and approval of the Planning Director. The schematic shall indicate the following:
  - 1) unit type and elevation for each lot;
  - 2) footprint showing staggered setbacks;
  - 3) building materials and colors.
- b. Roofing material shall be wood, shake or similar material;
- c. Each elevation shall be used no more than four times;
- d. The applicant shall design a structure on Lot 99 that will save the Oak tree. Plans for this lot shall be reviewed and approved by the City Arborist and Planning Director prior to issuance of building permit.

Findings of Fact - Special Permit

- a. The halfplex development is based upon sound principles of land use in that the use will not alter the character of the neighborhood or density of development;
- b. The project, as conditioned, will not be detrimental to public health, safety or welfare in that:
  - 1) adequate sound attenuation is provided;
  - 2) a healthy Oak tree will be retained.
- c. The proposed project is consistent with the 1974 General Plan and the 1976 South Pocket Specific Plan which designate the site for residential development.

City Planning Commission  
Sacramento, California

Members in Session:

APPLICATION: Special Permit Extension to construct 12 halfplex units located in the  
Townhouse (R-1A) zone on 3.6 vacant acres.

LOCATION: 7570-7614 River Ranch Way

BACKGROUND INFORMATION: The Planning Commission recommended approval of the tentative  
map and rezoning on September 8, 1983. In addition, the Commission approved a special  
permit, subject to conditions for halfplex development on 12 lots. On November 9, 1983  
the City Council approved a rezoning from R-2-R to R-1A for the subject site and a  
tentative map to establish 24 halfplex units on 12 lots.

The applicant is requesting a tentative map extension from the City Council concurrently  
with seeking a special permit time extension.

STAFF RECOMMENDATION: The applicant is requesting a one-year time extension of the  
special permit to expire on September 8, 1986. Due to financial constraints, the appli-  
cant was unable to start the project in the two-year time period.

After reviewing the original conditions of the special permit and inspecting the site  
and surrounding structures in the area, staff concludes that the proposed roof material  
must be a wood shake or tile. Composition asphalt shingle is not compatible and should  
not be allowed.

Staff recommends approval of the time extension, subject to the original conditions  
and Findings of Fact in the attached staff report dated September 8, 1983. Staff recom-  
mends the following additional conditions:

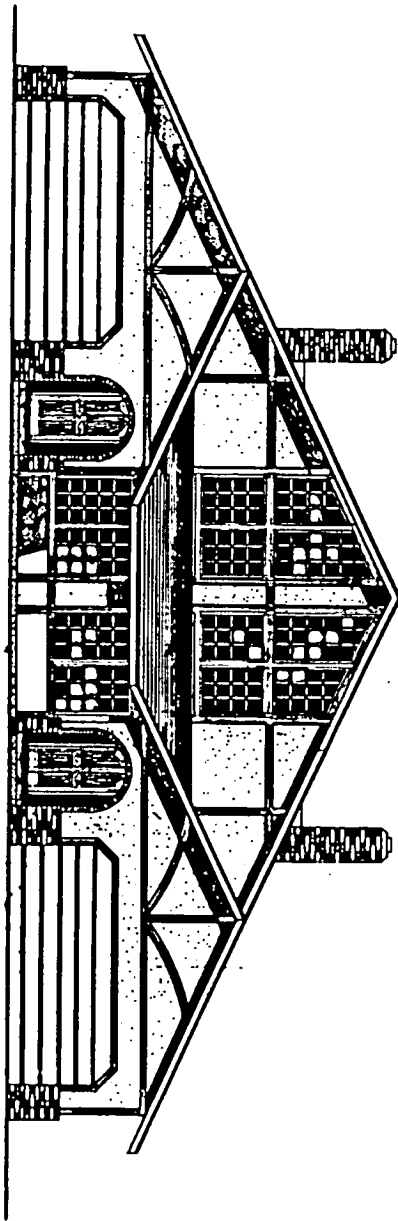
1. The roofing material shall be wood shake or tile.
2. The subject special permit shall expire on September 8, 1986.

Respectfully submitted,

  
Wilfred Weitman  
Senior Planner

DH:bw

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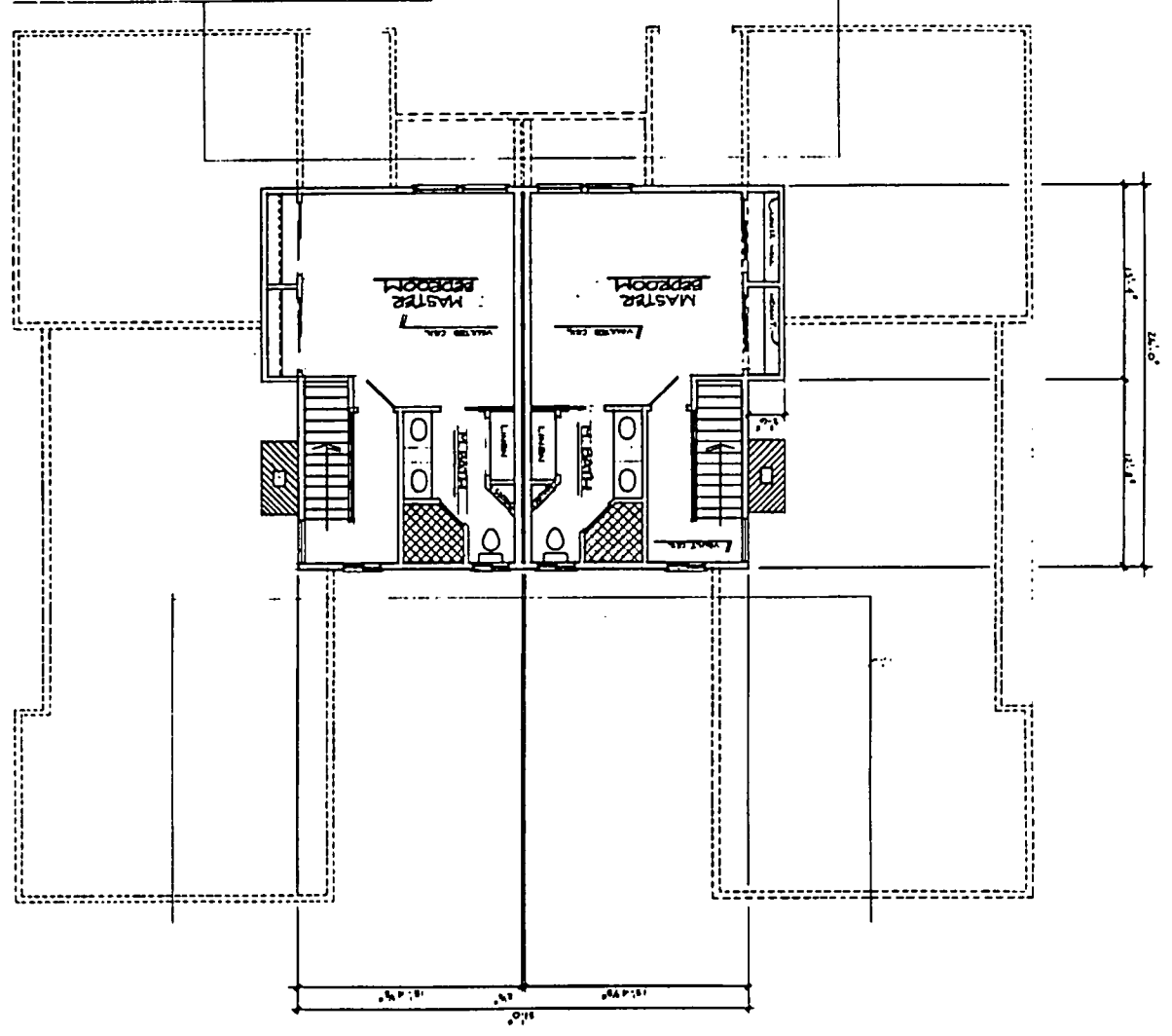


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**voque** PLAN B. FRONT ELEVATION

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PLAN B.  
SECOND FLOOR PLAN

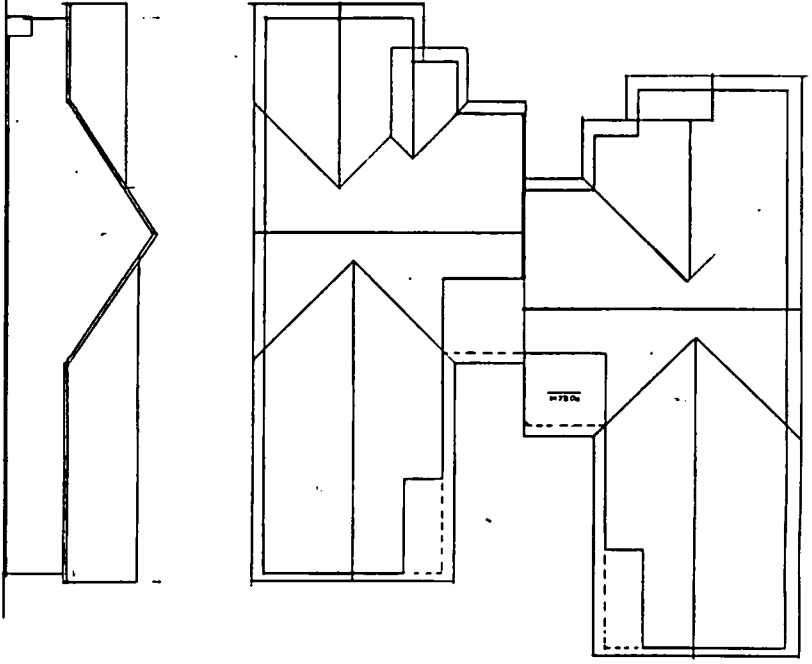
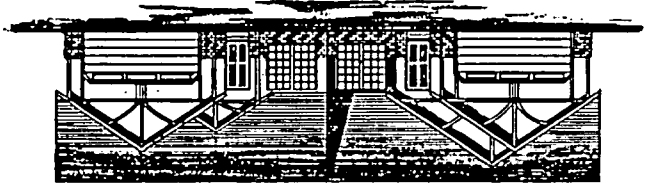
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VOGUE  
 PLAN A.  
 FRONT ELEVATION

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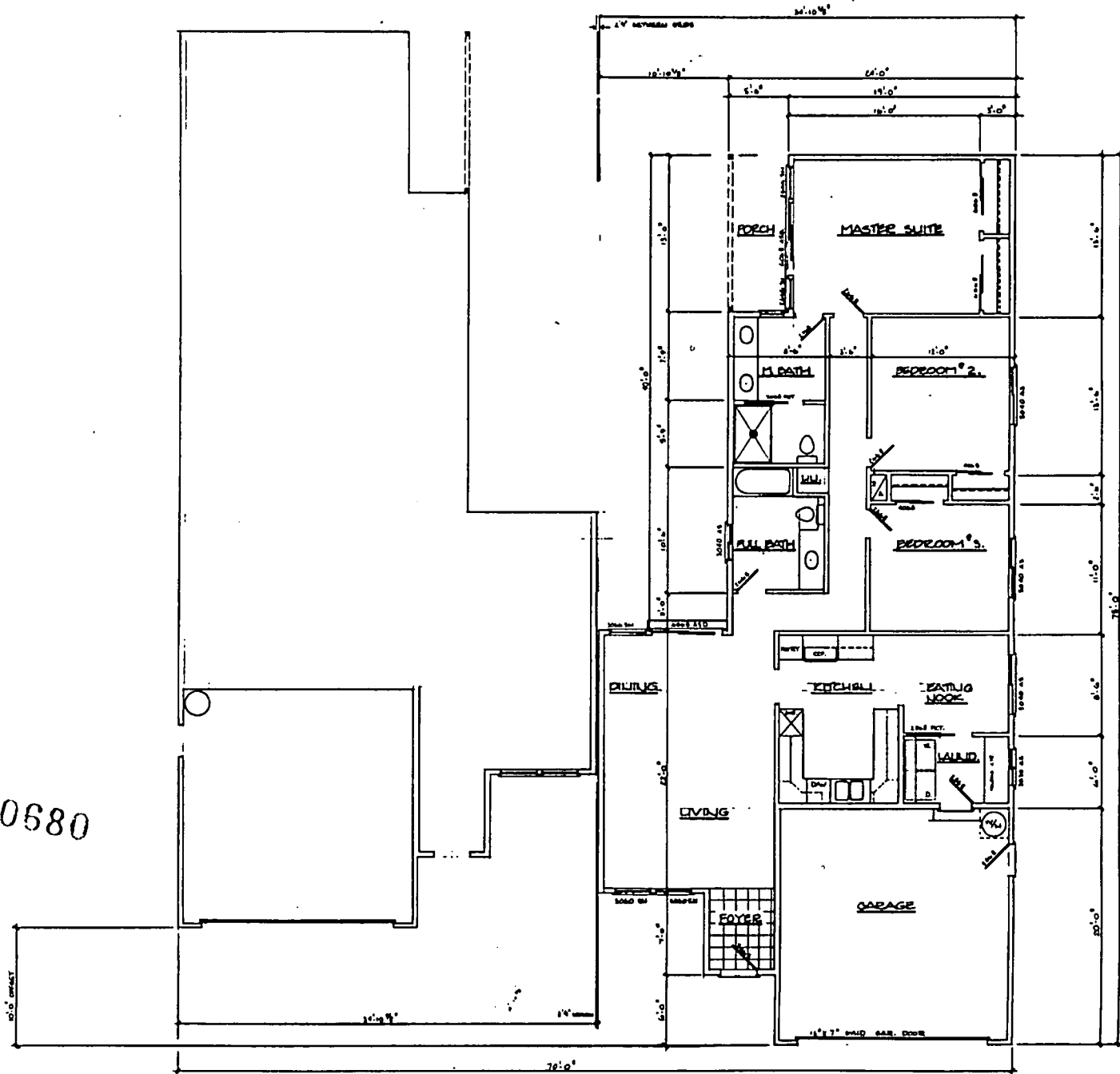
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1565 SQ. FT.


FLOOR PLAN

PLAN A:  
(15' x 34'10 1/2" lots)

Vogue

*John P. Kelly*  
Architect

7 21 83

1565 SQ. FT.

15' x 34'10 1/2"