

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	SUTTON AND ASSOCITES, 805 J Street, Sacramento, CA 95814				
OWNER	Shell Oil Co., P O Box 13678, Sacramento, CA 95853				
PLANS BY	Sutton & Associate, 805 J Street, Sacramento, CA 95814				
FILING DATE	6/15/87	ENVIR. DET. Neg. Dec.	7/13/87	REPORT BY	DJH:vf
ASSESSOR'S-PCL. NO.	251-0084-11,12,13,14 & 15.				

- APPLICATION:**
- A. Negative Declaration
 - B. Special Permit to allow the expansion of an existing 352 sq. ft., 24 hour convenience market to 920 sq. ft. with five gas pumps including 30 nozzels on 0.8+ acres in the General Commercial (C-2) zone.
 - C. Lot line adjustment to merge five developed lots into one lot of 0.8+ acres.

LOCATION: 3801 Marysville Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to expand an existing 24 hour Shell food mart and gasoline sales facility.

PROJECT INFORMATION:

1974 General Plan Designation: General Commercial
1984 North Sacramento Community Plan Designation: Retail Commercial; 1985 Del Paso Heights Plan Commercial

Existing Zoning of Site:
Existing Land Use of Site: Shell gas station and 352 sq. ft. food mart.

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Post Office; C-2	Front:	Grove Ave.	25' to canopy
South: Gas station, & office; C-2	Side(lot):	Balsam Ave.	30' to canopy
East : Market; C-2	Side(St):	Marysville Blvd.	35' to canopy
West : Vacant & Single Family; C-1.R-1	Rear:	0'	45' to mini-mart

Parking Required: 4 Spaces at one space per 250 sq. ft. of floor area
Parking Provided: 4 Spaces
Property Dimensions: 175 ft. x 206 ft.
Property Area: 0.8+ acre
Square Footage of Building: 920 sq. ft. mini-mart and 1,920 sq. ft. canopy
Height of Building: One Story, 10-1/2 ft. for mini-mart, 16+ ft. for canopy
Topography: Flat
Street Improvements: Existing
Utilities: Existing

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PROJECT INFORMATION:

1974 General Plan Designation:	General Commercial
1984 North Sacramento Community Plan Designation:	Retail Commercial; 1985 Del Paso Heights Plan: Commercial
Existing Zoning of Site:	C-2
Existing Land Use of Site:	Shell gas station and 352 sq. ft. food mart.
Surrounding Land Use and Zoning:	Setbacks: Required Provided
North: Post Office; C-2	Front: <u>Grove Ave.</u> 25' to canopy
South: Gas station, & office; C-2	Side(Int): <u>Balsam Ave.</u> 30' to canopy
East : Market; C-2	Side(St): <u>Marysville Blvd.</u> 35' to canopy
West : Vacant & Single Family; C-1,R-1	Rear: 0' 45' to mini-mart
Parking Required:	4 Spaces at one space per 250 sq. ft. of floor area
Parking Provided:	4 Spaces
Property Dimensions:	175 ft. x 208 ft.
Property Area:	0.8+ acre
Square Footage of Building:	920 sq. ft. mini-mart and 1,920 sq. ft. canopy
Height of Building:	One Story, 10-1/2 ft. for mini-mart, 16+ ft. for canopy
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Exterior Building Materials:	Plywood and plaster for mini-mart
Roof Material:	Tar, metal roofing
Hours of Operation:	24 hours, 7 days a week
Total No. of Employees:	4 employees
Employees per shift:	1 employee per shift

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site is designated for retail commercial on the 1984 North Sacramento Community Plan and 1985 Del Paso Heights Redevelopment Area Plan. Zoning is General Commercial (C-2) zone. The subject site consists of five parcels which are proposed to be merged in order to allow the expansion of an existing 24 hour mini-mart and remodeling of an eight pump, three island, self-serve gasoline station. Adjacent land uses include a pharmacy and U. S. Post Office to the north, neighborhood market to the east, with vacant lot southeast across Marysville Boulevard, single family and vacant to the west and a gas station south across Grand Avenue. The subject site is located within 500 feet of residentially zoned property and will be open between the hours of 11:00 P.M. and 6:00 A.M. A special permit is required for the expansion of an existing legal non-conforming mini-mart and gas station.

B. Project Description

The applicant is proposing to demolish the existing 352 sq. ft. mini-mart and construct a new 920 sq. ft. mini-market and cashier's area for the gasoline sales area. The existing canopy will remain, however, the three islands will be extended in length to accommodate new multi-product dispenser pumps. These pumps have six nozzels; three on each side and can dispense three different grades of gasoline.

The applicant's plans also include the removal of some of the landscaped traffic barriers to facilitate circulation. No changes in signage are proposed. The existing driveways will remain. Landscaping along the public street frontages is proposed to be removed and planted with lawn, flowers and new shrubbery.

The store currently sells beer and wine and has a State Alcohol and Beverage Control License issued in 1979. The new City Ordinance Regulating off-site liquor sales does not apply to the existing mini-market.

C. Site Plan

Staff has reviewed the site plan with the applicant and offers the following modifications regarding site layout and landscaping.

1. Pump location - The applicant proposes to construct a total of five new pump facilities, three immediately and two in the future. Access to the pumps is provided through two one-way entrances off Marysville Boulevard and Grand Avenue. Staff and the City Traffic Engineer do not endorse the existing driveway locations due to inadequate vehicle stacking area. In order to increase vehicle stacking areas, staff recommends that the pumps be relocated northward as far as possible on all three islands and that the second phase of two pumps on the two outer islands be constructed on the south ends of the islands. (Refer to Staff Modified Site Plan, Exhibit E).
2. Trash Enclosure - No trash enclosure is shown. The applicant shall revise the site plan to show one trash enclosure meeting the trash enclosure guidelines of Exhibit C.
3. On-site Lighting - Several parking area lights are proposed. Staff recommends that all lighting be focused onto the site and not reflect off-site. Use of shields or directional lighting fixtures is recommended so that no glare reflects onto adjacent residential zones or uses.
4. Parking Area - Staff recommends that the landscape strip adjacent to the north property line and adjacent to the four parking spaces be expanded to include a six foot landscape strip with two feet of vehicle overhang landscaped as part of the parking stall. Use of prefabricated wheel stops is discouraged. Staff also noted that a handicapped parking space is required to be shown on the plan. All parking will be required to be shown on the plan. All parking will be required to meet the City Tree Shading Ordinance requirements. All parking and landscaped areas are to be bordered by a six inch, raised pour-in-place concrete curb.
5. Landscaping Along The West Property Line - Staff notes that the planter area along Balsam Street could be enhanced with tree and shrubbery planting to provide a visual screen and buffer for the residential zone and uses located to the west. Staff recommends that the detailed landscaping and irrigation plans show a minimum seven foot wide planter strip with at least four, 15 gallon street trees to be planted along the Balsam Street frontage. Street trees shall be approved by the City Arborist and so noted on the landscape plan.
6. Landscaping Plan - The applicant shall submit detailed landscaping and irrigation plans for review and approval by the Planning Director prior to issuance of building permits.

D. Building Elevation and Design

1. The proposed 920 sq. ft. mini-market building has windows on one side facing the pump islands. Staff recommends that the office elevation on the northeast side of the building have windows added to enhance security.

2. The rear elevation proposes to have a steel guard rail mounted on six inch by six inch posts on six foot centers. This rear elevation is most visible to the residential area across Balsam Street. Staff recommends that either the raised five foot wide sidewalk be extended around to the rear of the building or that a five foot wide landscape strip be added to the rear elevation.
3. The subject site is within the Del Paso Heights Design Review District and will require Design Review Board approval prior to building permit issuance. Final building design and treatment shall be approved by the Design Review Board.
4. The existing canopy will not be relocated or modified. The canopy will not be relocated or modified. The canopy will be repainted to match the new building.
5. The new building is proposed to have perimeter soffit lighting provided by florescent tubes. The City Sign Ordinance prohibits the use of building illumination where the outlines of a building extends its signage or color bands. The Shell logo and color accents circle the mini-mart building, thereby, making it a sign. Other forms of lighting shall be included subject to Design Review Board approval.

E. On-site Security Measures:

The City Police Department and staff have noted that several blind spots for surveillance by one operator existing on the site. Staff recommends that video cameras be installed on the rear elevation to monitor activities at the rear and southwest areas of the lot. Installation of cameras would increase night time security and provide the operator assistance in monitoring the site. The cameras should be installed so to be vandal proof and inaccessible.

The Police Department discussed the use of plants to discourage loitering, such as pyracantha or needle bush. Where possible, new landscaping bushes should be of a thorny variety. Most of the site will be replanted with flowers and grass accents. The site will be posted: "No Loitering, No Drinking - Customer Parking Only".

Other measures may be necessary based upon Police Department review and evaluation not received at the time of report preparation.

F. Signage:

All signage shall comply with the City Sign Ordinance. All existing flags; banners and pennants are to be removed. New signs shall have sign permits issued by the City. The existing pole sign is to remain. If it is to be replaced, staff recommends installation of a monument sign.

G. Del Paso Heights Redevelopment Area Committee:

The site is located in the Del Paso Heights Redevelopment Area. The proposed project was reviewed by the RAC at their July 9, 1987 meeting with no adverse comments (see correspondence). The applicant has filed for Design Review Board action and will be required to comply with additional conditions of the Board.

H. Agency Comments:

The proposed project was routed to the City Traffic Engineer, Police Department, Real Estate Division and Del Paso Heights RAC. Comments are attached or are previously stated.

I. Lot Line Adjustment:

The original station built in 1972, was constructed over five separate lots. At that time, the building code allowed construction over property lines. Under the current building code, all five lots are required to be merged so that no parcel lines divide the property. Staff supports the lot line merger subject to conditions of paying off 1915 Assessment District Bonds and establishing the corners along the north property line.

J. Telephone Booths:

Four, freestanding telephone booths are located at the southwest corner of the site at the intersection of Balsam Street and Grand Avenue. The location of telephone booths create an attractive nuisance for high school students and users of the gas station. Staff prefers that the telephone booths either be relocated to be near the mini-market or eliminated altogether. They do not enhance the extensive revegetation proposed at the site and are not architecturally compatible with the gas station remodeling program. These telephone booths were only added three months ago.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration, subject to the following mitigation measure:

In order to avoid any significant environmental impacts, the applicant shall provide letters approving the proposed project from the City Fire Chief, County Environmental Health Section (contact Jim Claypool, 366-2109) and the State Health Services (324-1826) for installation standards prior to issuance of any building permits.

RECOMMENDATIONS: Staff recommends the following action:

- A. Ratification of the Negative Declaration; and

- B. Approve the special permit subject to conditions and based upon findings of fact which follow; and
- C. Approve the lot line adjustment by adopting the attached resolution.

Conditions-Special Permit

1. Landscaping along the public right-of-way shall consist of living ground cover. No bark, mulch, rock or other similar material is allowed.
2. No portable wheel stops are allowed. Parking stalls shall incorporate a continuous pour, six inch concrete wheel stop with two feet of vehicle overhang into the planter. All landscaping in the vehicle overhang and irrigation shall be designed to allow car overhang.
3. All lighting shall be directed on-site and not reflect off-site onto residentially zoned property. Use of lighting shields may be appropriate along the western property line lights. Signs shall not glare onto residentially zoned property. ~~No vinyl signs shall be allowed in the vicinity of the mini-market reflecting off the back of store.~~ Deleted by Staff 7/22/87
4. If noise producing, the air and water dispenser unit should be relocated away from the residential use.
5. All revised parking lot layout and maneuvering areas shall comply with City Code.
6. One trash enclosure shall be designed to comply with the trash enclosure guidelines (Exhibit C).
7. No external loudspeaker system shall be utilized if audible from adjacent residential uses. The air compressor for the air supply shall be muffled so that it is not perceptible from adjacent residential uses. No external bell system shall be used to indicate drive-up clients which is audible outside the mini-market building.
8. Building permits shall not be issued until a Certificate of Compliance has been issued by the City for the merger of the lots.
9. The applicant shall prepare revised site plan, landscaping and irrigation plans for the review and approval by the Planning Director prior to issuance of building permits addressed in this report.
10. The site shall be posted with the following sign "Customer Parking Only, No Loitering or Drinking."
11. A revised site plan showing relocation of the new pumps northward on the islands shall be reviewed and approved by Planning Staff prior to issuance of building permits.

- 12. The revised landscape plan shall show a minimum seven foot wide landscape planter along Balsam Street with four, 15 gallon street trees. Street trees are to be approved by the City Arborist prior to issuance of building permits.
- 13. The mini-market building shall be designed to comply with the requirements of the Design Review Board. ~~By additional window study to be added to the front elevation of the building to provide surveillance. Deleted by Staff 7/22/87.~~
- 14. The rear elevation of the mini-market shall be revised to present an attractive facade as viewed from the residential uses across Balsam Street. Use of either a ~~five~~ foot wide sidewalk or landscaped area is recommended.
three - Amended by Staff 7/22/87.
- ~~15. No additional landscaping shall be allowed on the mini-market building. Deleted by Staff 7/22/87.~~
- 16. Video cameras shall be installed on the rear elevation to monitor rear and southwest areas of the lot. Cameras should be so located to not be subject to vandalism.
- 17. All signs shall comply with the City Sign Ordinance. All flags, banners and pennants shall be removed. All signs shall have sign permits where required.
- 18. The four telephone booths shall be removed or relocated to the satisfaction of the Design Review Board. If retained, landscaping should be used to buffer their location.
- 19. Prior to certificate of occupancy, the Planning Division shall inspect the site for compliance with conditions of approval.

Findings of Fact - Special Permit:

- 1. The proposal, as conditioned, is based upon sound principles of land use, in that:
 - a. The service station project will be compatible with the adjacent surrounding land uses which include residential and commercial uses;
 - b. The facility is located on two major streets.
- 2. The proposal, as conditioned, will not be detrimental to public health, safety or welfare or result in the creation of a nuisance, in that:
 - a. Adequate setback is provided;
 - b. Security will be provided;
 - c. Lighting will be directed on-site;
 - d. Noise will be limited and insulated.

3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for general retail commercial uses in the 1984 North Sacramento Community Plan and the 1985 Del Paso Heights Redevelopment Plan and the proposed service station/convenience store conforms with the plan designation.

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Total No. of Employees:	4 employees
Employees per shift:	1 employee per shift

PROJECT EVALUATION: Staff has the following comments:

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4. The existing canopy will not be relocated or modified. The canopy will not be relocated or modified. The canopy will be repainted to match the new building.
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ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration, subject to the following mitigation measure:

In order to avoid any significant environmental impacts, the applicant shall provide letters approving the proposed project from the City Fire Chief, County Environmental Health Section (contact Jim Claypool, 366-2109) and the State Health Services (324-1826) for installation standards prior to issuance of any building permits.

RECOMMENDATIONS: Staff recommends the following action:

- A. Ratification of the Negative Declaration; and

- B. Approve the special permit subject to conditions and based upon findings of fact which follow; and
- C. Approve the lot line adjustment by adopting the attached resolution.

Conditions-Special Permit

1. Landscaping along the public right-of-way shall consist of living ground cover. No bark, mulch, rock or other similar material is allowed.
2. No portable wheel stops are allowed. Parking stalls shall incorporate a continuous pour, six inch concrete wheel stop with two feet of vehicle overhang into the planter. All landscaping in the vehicle overhang and irrigation shall be designed to allow car overhang.
3. All lighting shall be directed on-site and not reflect off-site onto residentially zoned property. Use of lighting shields may be appropriate along the western property line lights. Signs shall not glare onto residentially zoned property. ~~No vinyl signs shall be allowed in the vicinity of the mini-market reflecting off the back of store.~~ Deleted by Staff 7/22/87
4. If noise producing, the air and water dispenser unit should be relocated away from the residential use.
5. All revised parking lot layout and maneuvering areas shall comply with City Code.
6. One trash enclosure shall be designed to comply with the trash enclosure guidelines (Exhibit C).
7. No external loudspeaker system shall be utilized if audible from adjacent residential uses. The air compressor for the air supply shall be muffled so that it is not perceptible from adjacent residential uses. No external bell system shall be used to indicate drive-up clients which is audible outside the mini-market building.
8. Building permits shall not be issued until a Certificate of Compliance has been issued by the City for the merger of the lots.
9. The applicant shall prepare revised site plan, landscaping and irrigation plans for the review and approval by the Planning Director prior to issuance of building permits addressed in this report.
10. The site shall be posted with the following sign "Customer Parking Only, No Loitering or Drinking."
11. A revised site plan showing relocation of the new pumps northward on the islands shall be reviewed and approved by Planning Staff prior to issuance of building permits.

- 12. The revised landscape plan shall show a minimum seven foot wide landscape planter along Balsam Street with four, 15 gallon street trees. Street trees are to be approved by the City Arborist prior to issuance of building permits.
- 13. The mini-market building shall be designed to comply with the requirements of the Design Review Board. ~~By additional window study of the front elevation in the office area to provide surveillance Deleted by Staff 7/22/87.~~
- 14. The rear elevation of the mini-market shall be revised to present an attractive facade as viewed from the residential uses across Balsam Street. Use of either a ~~five~~ foot wide sidewalk or landscaped area is recommended.
three - Amended by Staff 7/22/87.
- ~~15. No additional landscaping shall be allowed on the mini-market building Deleted by Staff 7/22/87.~~
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- 17. All signs shall comply with the City Sign Ordinance. All flags, banners and pennants shall be removed. All signs shall have sign permits where required.
- 18. The four telephone booths shall be removed or relocated to the satisfaction of the Design Review Board. If retained, landscaping should be used to buffer their location.
- 19. Prior to certificate of occupancy, the Planning Division shall inspect the site for compliance with conditions of approval.

Findings of Fact - Special Permit:

- 1. The proposal, as conditioned, is based upon sound principles of land use, in that:
 - a. The service station project will be compatible with the adjacent surrounding land uses which include residential and commercial uses;
 - b. The facility is located on two major streets.
- 2. The proposal, as conditioned, will not be detrimental to public health, safety or welfare or result in the creation of a nuisance, in that:
 - a. Adequate setback is provided;
 - b. Security will be provided;
 - c. Lighting will be directed on-site;
 - d. Noise will be limited and insulated.

3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for general retail commercial uses in the 1984 North Sacramento Community Plan and the 1985 Del Paso Heights Redevelopment Plan and the proposed service station/convenience store conforms with the plan designation.

Exterior Building Materials:	Plywood and plaster for mini-mart
Roof Material:	Tar, metal roofing
Hours of Operation:	24 hours, 7 days a week
Total No. of Employees:	4 employees
Employees per shift:	1 employee per shift

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site is designated for retail commercial on the 1984 North Sacramento Community Plan and 1985 Del Paso Heights Redevelopment Area Plan. Zoning is General Commercial (C-2) zone. The subject site consists of five parcels which are proposed to be merged in order to allow the expansion of an existing 24 hour mini-mart and remodeling of an eight pump, three island, self-serve gasoline station. Adjacent land uses include a pharmacy and U. S. Post Office to the north, neighborhood market to the east, with vacant lot southeast across Marysville Boulevard, single family and vacant to the west and a gas station south across Grand Avenue. The subject site is located within 500 feet of residentially zoned property and will be open between the hours of 11:00 P.M. and 6:00 A.M. A special permit is required for the expansion of an existing legal non-conforming mini-mart and gas station.

B. Project Description

The applicant is proposing to demolish the existing 352 sq. ft. mini-mart and construct a new 920 sq. ft. mini-market and cashier's area for the gasoline sales area. The existing canopy will remain, however, the three islands will be extended in length to accommodate new multi-product dispenser pumps. These pumps have six nozzels; three on each side and can dispense three different grades of gasoline.

The applicant's plans also include the removal of some of the landscaped traffic barriers to facilitate circulation. No changes in signage are proposed. The existing driveways will remain. Landscaping along the public street frontages is proposed to be removed and planted with lawn, flowers and new shrubbery.

The store currently sells beer and wine and has a State Alcohol and Beverage Control License issued in 1979. The new City Ordinance Regulating off-site liquor sales does not apply to the existing mini-market.

C. Site Plan

Staff has reviewed the site plan with the applicant and offers the following modifications regarding site layout and landscaping.

1. Pump location - The applicant proposes to construct a total of five new pump facilities, three immediately and two in the future. Access to the pumps is provided through two one-way entrances off Marysville Boulevard and Grand Avenue. Staff and the City Traffic Engineer do not endorse the existing driveway locations due to inadequate vehicle stacking area. In order to increase vehicle stacking areas, staff recommends that the pumps be relocated northward as far as possible on all three islands and that the second phase of two pumps on the two outer islands be constructed on the south ends of the islands. (Refer to Staff Modified Site Plan, Exhibit E).
2. Trash Enclosure - No trash enclosure is shown. The applicant shall revise the site plan to show one trash enclosure meeting the trash enclosure guidelines of Exhibit C.
3. On-site Lighting - Several parking area lights are proposed. Staff recommends that all lighting be focused onto the site and not reflect off-site. Use of shields or directional lighting fixtures is recommended so that no glare reflects onto adjacent residential zones or uses.
4. Parking Area - Staff recommends that the landscape strip adjacent to the north property line and adjacent to the four parking spaces be expanded to include a six foot landscape strip with two feet of vehicle overhang landscaped as part of the parking stall. Use of prefabricated wheel stops is discouraged. Staff also noted that a handicapped parking space is required to be shown on the plan. All parking will be required to be shown on the plan. All parking will be required to meet the City Tree Shading Ordinance requirements. All parking and landscaped areas are to be bordered by a six inch, raised pour-in-place concrete curb.
5. Landscaping Along The West Property Line - Staff notes that the planter area along Balsam Street could be enhanced with tree and shrubbery planting to provide a visual screen and buffer for the residential zone and uses located to the west. Staff recommends that the detailed landscaping and irrigation plans show a minimum seven foot wide planter strip with at least four, 15 gallon street trees to be planted along the Balsam Street frontage. Street trees shall be approved by the City Arborist and so noted on the landscape plan.
6. Landscaping Plan - The applicant shall submit detailed landscaping and irrigation plans for review and approval by the Planning Director prior to issuance of building permits.

D. Building Elevation and Design

1. The proposed 920 sq. ft. mini-market building has windows on one side facing the pump islands. Staff recommends that the office elevation on the northeast side of the building have windows added to enhance security.

2. The rear elevation proposes to have a steel guard rail mounted on six inch by six inch posts on six foot centers. This rear elevation is most visible to the residential area across Balsam Street. Staff recommends that either the raised five foot wide sidewalk be extended around to the rear of the building or that a five foot wide landscape strip be added to the rear elevation.
3. The subject site is within the Del Paso Heights Design Review District and will require Design Review Board approval prior to building permit issuance. Final building design and treatment shall be approved by the Design Review Board.
4. The existing canopy will not be relocated or modified. The canopy will not be relocated or modified. The canopy will be repainted to match the new building.
5. The new building is proposed to have perimeter soffit lighting provided by florescent tubes. The City Sign Ordinance prohibits the use of building illumination where the outlines of a building extends its signage or color bands. The Shell logo and color accents circle the mini-mart building, thereby, making it a sign. Other forms of lighting shall be included subject to Design Review Board approval.

E. On-site Security Measures:

The City Police Department and staff have noted that several blind spots for surveillance by one operator existing on the site. Staff recommends that video cameras be installed on the rear elevation to monitor activities at the rear and southwest areas of the lot. Installation of cameras would increase night time security and provide the operator assistance in monitoring the site. The cameras should be installed so to be vandal proof and inaccessible.

The Police Department discussed the use of plants to discourage loitering, such as pyracantha or needle bush. Where possible, new landscaping bushes should be of a thorny variety. Most of the site will be replanted with flowers and grass accents. The site will be posted: "No Loitering, No Drinking - Customer Parking Only".

Other measures may be necessary based upon Police Department review and evaluation not received at the time of report preparation.

F. Signage:

All signage shall comply with the City Sign Ordinance. All existing flags; banners and pennants are to be removed. New signs shall have sign permits issued by the City. The existing pole sign is to remain. If it is to be replaced, staff recommends installation of a monument sign.

G. Del Paso Heights Redevelopment Area Committee:

The site is located in the Del Paso Heights Redevelopment Area. The proposed project was reviewed by the RAC at their July 9, 1987 meeting with no adverse comments (see correspondence). The applicant has filed for Design Review Board action and will be required to comply with additional conditions of the Board.

H. Agency Comments:

The proposed project was routed to the City Traffic Engineer, Police Department, Real Estate Division and Del Paso Heights RAC. Comments are attached or are previously stated.

I. Lot Line Adjustment:

The original station built in 1972, was constructed over five separate lots. At that time, the building code allowed construction over property lines. Under the current building code, all five lots are required to be merged so that no parcel lines divide the property. Staff supports the lot line merger subject to conditions of paying off 1915 Assessment District Bonds and establishing the corners along the north property line.

J. Telephone Booths:

Four, freestanding telephone booths are located at the southwest corner of the site at the intersection of Balsam Street and Grand Avenue. The location of telephone booths create an attractive nuisance for high school students and users of the gas station. Staff prefers that the telephone booths either be relocated to be near the mini-market or eliminated altogether. They do not enhance the extensive revegetation proposed at the site and are not architecturally compatible with the gas station remodeling program. These telephone booths were only added three months ago.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration, subject to the following mitigation measure:

In order to avoid any significant environmental impacts, the applicant shall provide letters approving the proposed project from the City Fire Chief, County Environmental Health Section (contact Jim Claypool, 366-2109) and the State Health Services (324-1826) for installation standards prior to issuance of any building permits.

RECOMMENDATIONS: Staff recommends the following action:

- A. Ratification of the Negative Declaration; and

- B. Approve the special permit subject to conditions and based upon findings of fact which follow; and
- C. Approve the lot line adjustment by adopting the attached resolution.

Conditions-Special Permit

1. Landscaping along the public right-of-way shall consist of living ground cover. No bark, mulch, rock or other similar material is allowed.
2. No portable wheel stops are allowed. Parking stalls shall incorporate a continuous pour, six inch concrete wheel stop with two feet of vehicle overhang into the planter. All landscaping in the vehicle overhang and irrigation shall be designed to allow car overhang.
3. All lighting shall be directed on-site and not reflect off-site onto residentially zoned property. Use of lighting shields may be appropriate along the western property line lights. Signs shall not glare onto residentially zoned property. No lighting shall be allowed in the cornice of the mini-market reflecting off the fascia or soffit.
4. If noise producing, the air and water dispenser unit should be relocated away from the residential use.
5. All revised parking lot layout and maneuvering areas shall comply with City Code.
6. One trash enclosure shall be designed to comply with the trash enclosure guidelines (Exhibit C).
7. No external loudspeaker system shall be utilized if audible from adjacent residential uses. The air compressor for the air supply shall be muffled so that it is not perceptible from adjacent residential uses. No external bell system shall be used to indicate drive-up clients which is audible outside the mini-market building.
8. Building permits shall not be issued until a Certificate of Compliance has been issued by the City for the merger of the lots.
9. The applicant shall prepare revised site plan, landscaping and irrigation plans for the review and approval by the Planning Director prior to issuance of building permits addressed in this report.
10. The site shall be posted with the following sign "Customer Parking Only, No Loitering or Drinking."
11. A revised site plan showing relocation of the new pumps northward on the islands shall be reviewed and approved by Planning Staff prior to issuance of building permits.

12. The revised landscape plan shall show a minimum seven foot wide landscape planter along Balsam Street with four, 15 gallon street trees. Street trees are to be approved by the City Arborist prior to issuance of building permits.
13. The mini-market building shall be designed to comply with the requirements of the Design Review Board. An additional window shall be added to the northeast elevation in the office area to provide surveillance.
14. The rear elevation of the mini-market shall be revised to present an attractive facade as viewed from the residential uses across Balsam Street. Use of either a five foot wide sidewalk or landscaped area is recommended.
15. No soffit lighting shall be allowed on the mini-market building.
16. Video cameras shall be installed on the rear elevation to monitor rear and southwest areas of the lot. Cameras should be so located to not be subject to vandalism.
17. All signs shall comply with the City Sign Ordinance. All flags, banners and pennants shall be removed. All signs shall have sign permits where required.
18. The four telephone booths shall be removed or relocated to the satisfaction of the Design Review Board. If retained, landscaping should be used to buffer their location.
19. Prior to certificate of occupancy, the Planning Division shall inspect the site for compliance with conditions of approval.

Findings of Fact - Special Permit:

1. The proposal, as conditioned, is based upon sound principles of land use, in that:
 - a. The service station project will be compatible with the adjacent surrounding land uses which include residential and commercial uses;
 - b. The facility is located on two major streets.
2. The proposal, as conditioned, will not be detrimental to public health, safety or welfare or result in the creation of a nuisance, in that:
 - a. Adequate setback is provided;
 - b. Security will be provided;
 - c. Lighting will be directed on-site;
 - d. Noise will be limited and insulated.

3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for general retail commercial uses in the 1984 North Sacramento Community Plan and the 1985 Del Paso Heights Redevelopment Plan and the proposed service station/convenience store conforms with the plan designation.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION

ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO MERGE LOTS 10, 11, 12, AND 13
AND SOUTHERLY PORTION OF LOT 14 AND ALLEY ON BLOCK 15, AS SHOWN ON
"PLAT OF EAST DEL PASO HEIGHTS, RECORDED IN SACRAMENTO COUNTY BOOK OF

MAPS 13, MAP NO. 32

(P87-277)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located at 3801 Marysville Boulevard; and

WHEREAS, the lot line adjustment has been given a Negative Declaration by the Environmental Coordinator; and

WHEREAS, the proposed project is found to be consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for Commercial Retail Use by the 1985 Del Paso Heights Redevelopment Plan and the proposed merge for gas station expansion conforms with the Plan Designation.

NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of Sacramento:

that the lot line adjustment for property located at 3801 Marysville Boulevard, City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto:

1. Pay off 1915 Bonds.
2. Monument new corners.

CHAIRPERSON

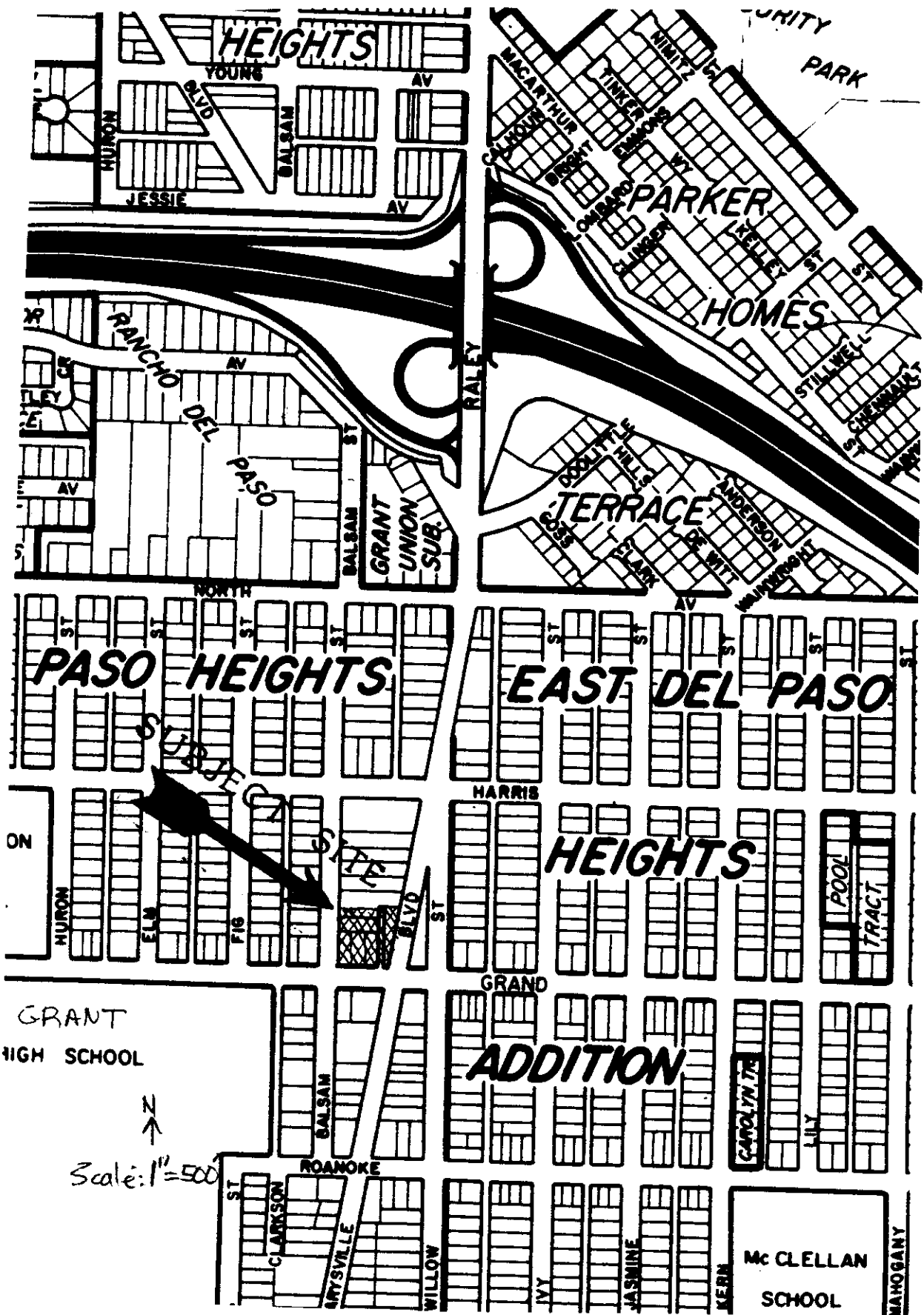
ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

P87-277

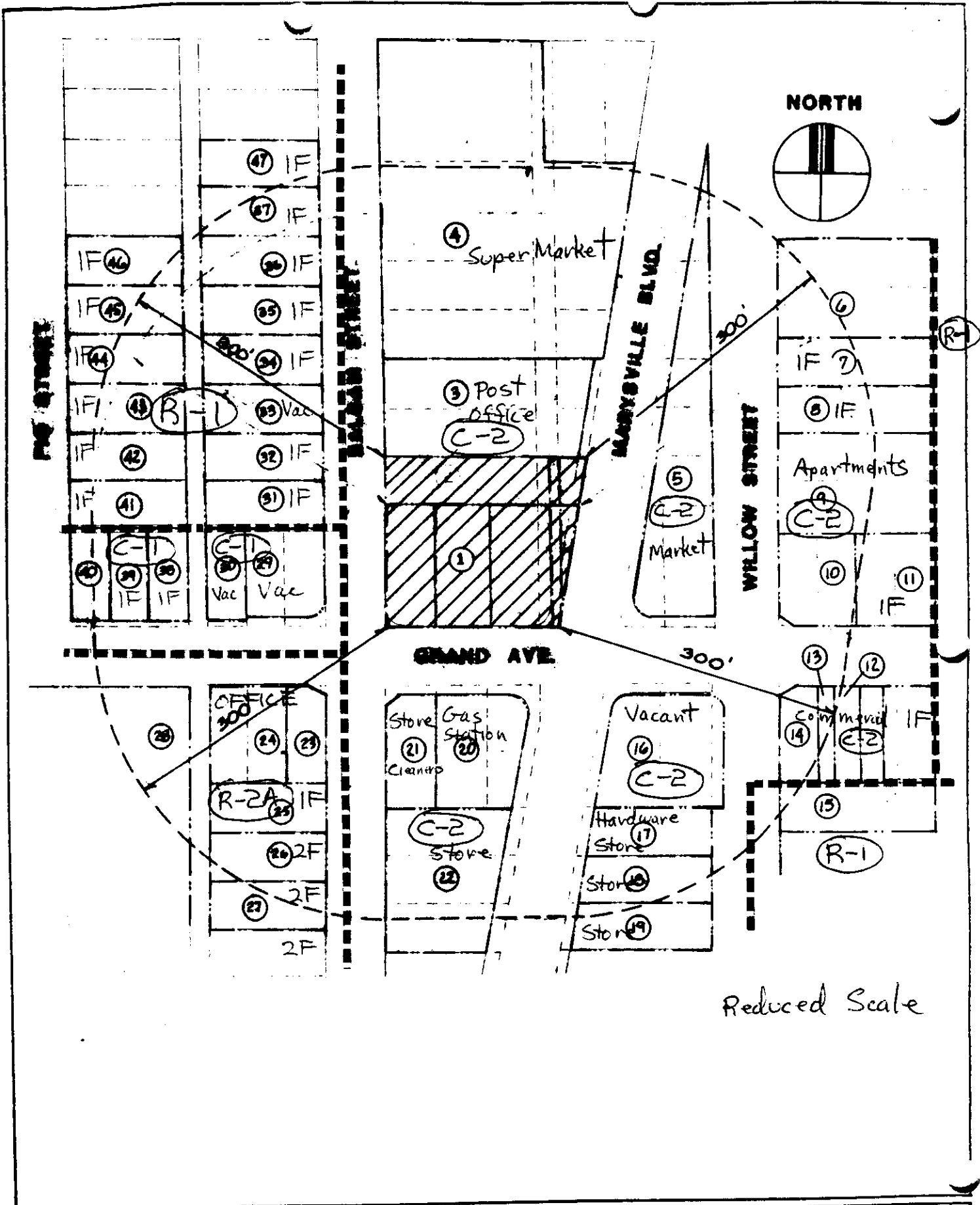
July 23, 1987

Item #12



Scale: 1" = 500'

VICINITY MAP



Reduced Scale


LAND USE & ZONING MAP

SITE PLAN

- 1. Shell Oil Company Building
- 2. Shell Oil Company Building
- 3. Shell Oil Company Building
- 4. Shell Oil Company Building
- 5. Shell Oil Company Building
- 6. Shell Oil Company Building
- 7. Shell Oil Company Building
- 8. Shell Oil Company Building
- 9. Shell Oil Company Building
- 10. Shell Oil Company Building

DATE	DESCRIPTION

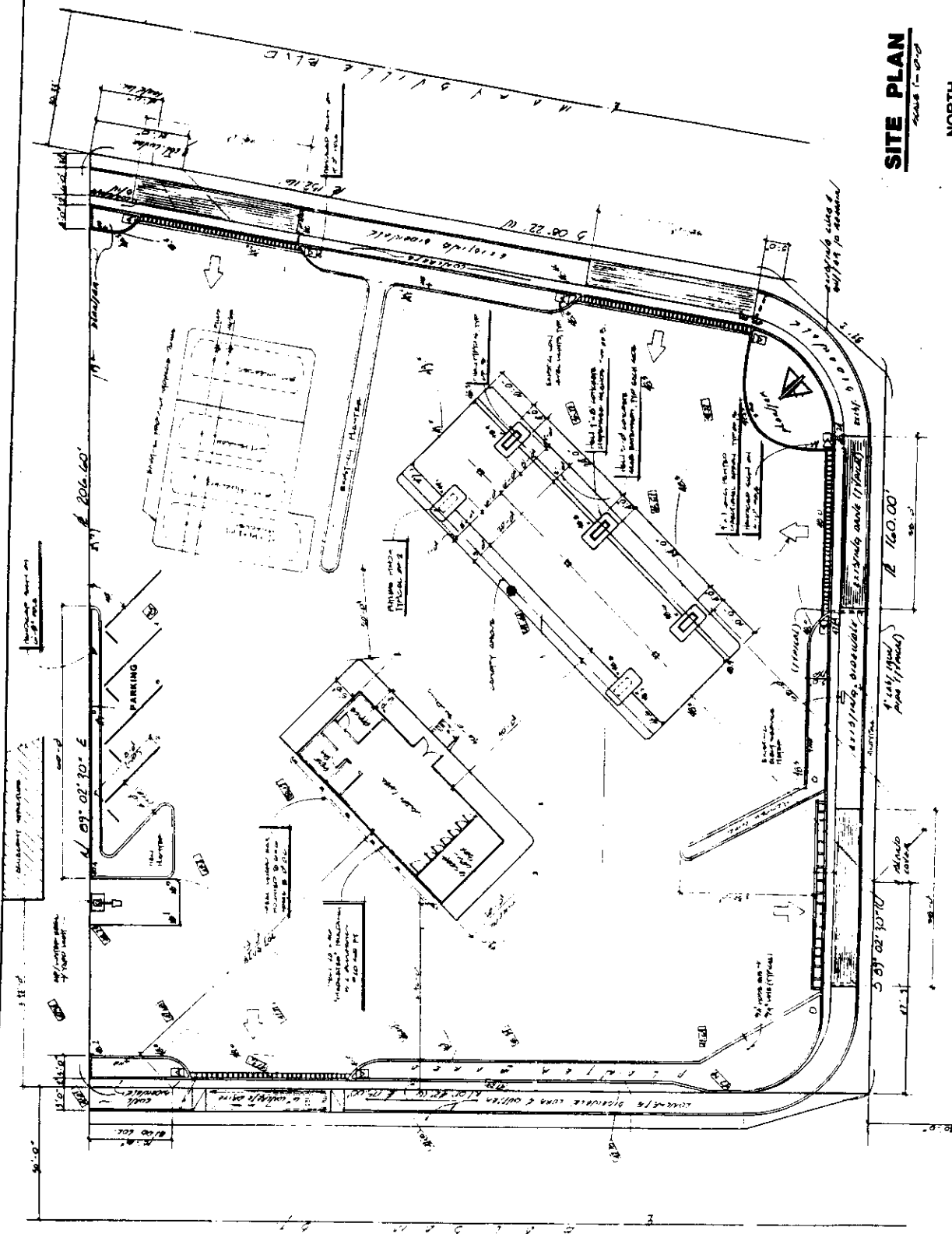
BUTTON & ASSOCIATES
 805 JAY STREET, SACRAMENTO, CA.


SHELL OIL COMPANY
 PACIFIC NORTHWEST DISTRICT

SITE PLAN

3801 MARYVILLE BLVD., GRAND AVE.
 SACRAMENTO, CA.

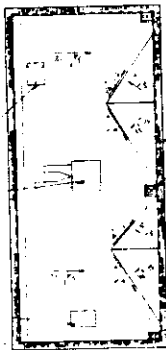
SHEET
A1



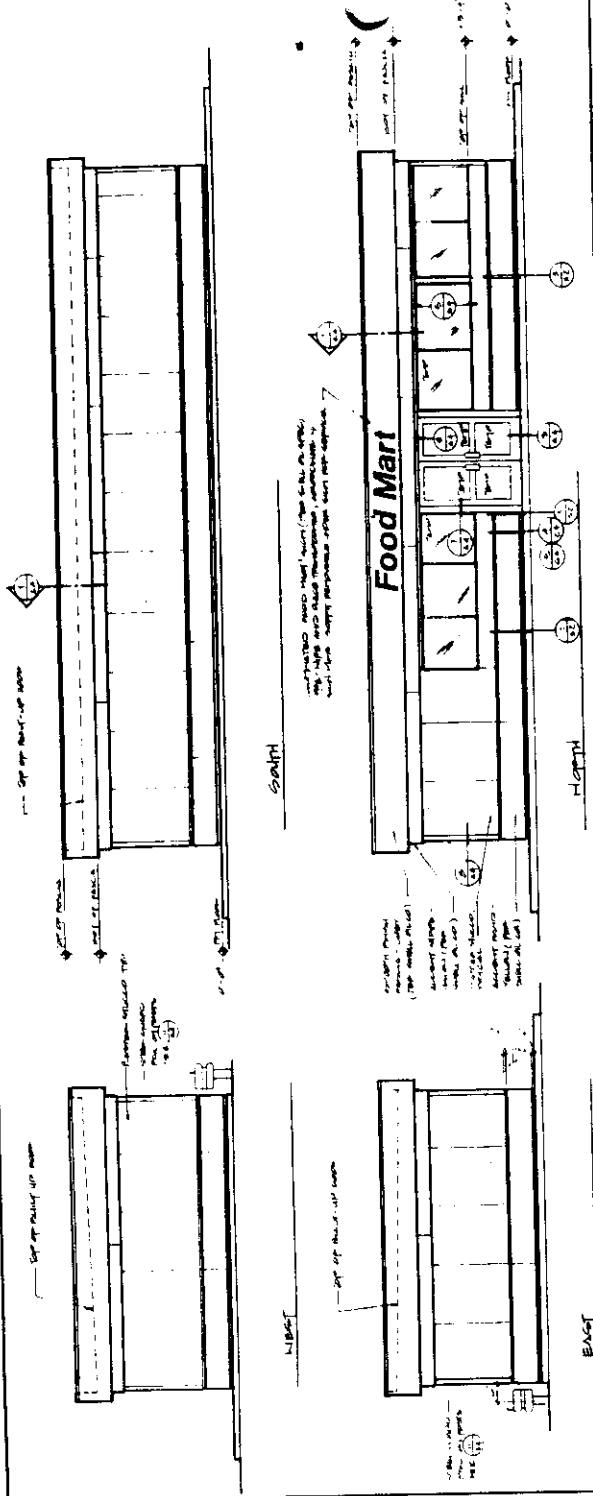
SITE PLAN



SHEET
A1

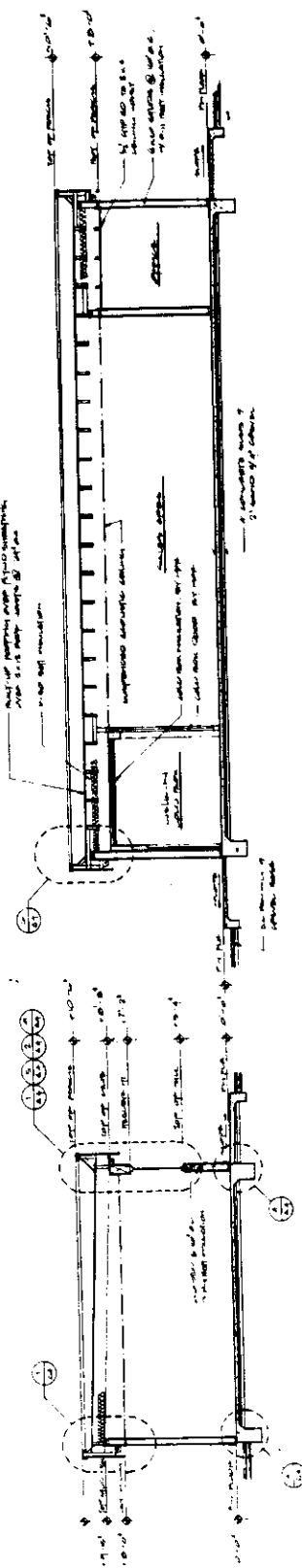


ROOF PLAN



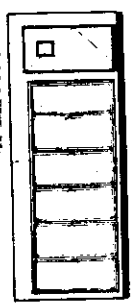
EXTERIOR ELEVATIONS

ELEVATIONS

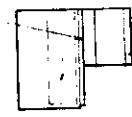


BUILDING SECTION 'A'

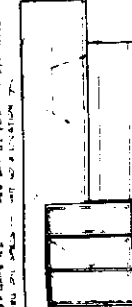
BUILDING SECTION 'B'



COLD BOX



FAST FOOD



FAST FOOD AREA

INTERIOR ELEVATIONS

BUTTON & ASSOCIATES
800 Jay Street Sacramento, Ca

SHELL OIL COMPANY
PACIFIC NORTHWEST DISTRICT

EXTERIOR ELEVATIONS

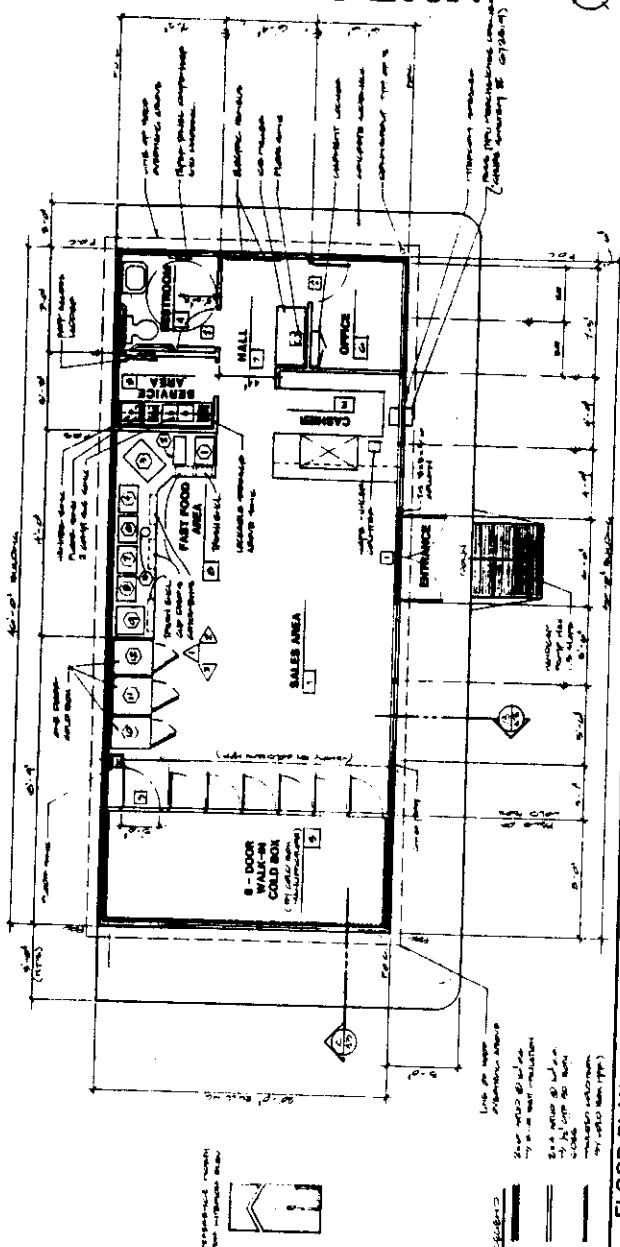
3801 MARYSVILLE BLVD / GRAND AVE
SACRAMENTO, CA

DATE: 11-22-77
DRAWN BY: JAC
CHECKED BY: JAC

SHEET A3

item 3

FLOOR PLAN



DESCRIPTION

1. ADD FINISHES TO ALL WALLS (1) FINISHES
 2. FINISHES TO ALL WALLS
 3. FINISHES TO ALL WALLS
 4. FINISHES TO ALL WALLS
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 10. FINISHES TO ALL WALLS

EQUIPMENT SCHEDULE

SUTTON & ASSOCIATES
 905 Jay Street
 Sacramento, Ca

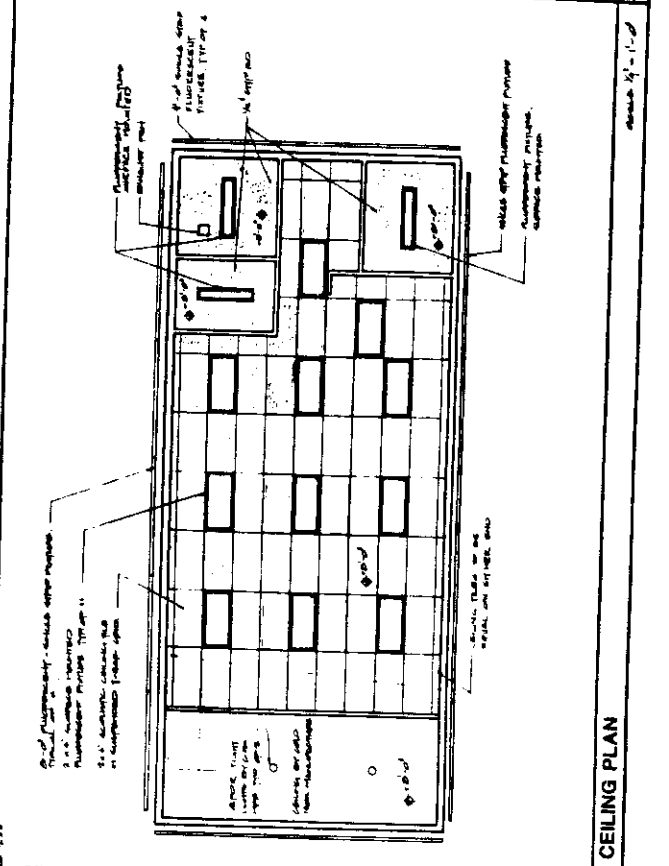
SHELL OIL COMPANY
 PACIFIC NORTHWEST DISTRICT

FLOOR PLAN

3601 MARVELLE BLVD / GRAND AVE.
 SACRAMENTO, CA

DATE: 12-1-77
 SHEET: 1 OF 2
 DRAWN BY: JTB
 CHECKED BY: JTB

904-0675-6304



FLOOR PLAN

REFLECTED CEILING PLAN

DOOR SCHEDULE

1. 1/2" x 6" x 2" ALUMINUM DOOR
 2. 1/2" x 6" x 2" ALUMINUM DOOR
 3. 1/2" x 6" x 2" ALUMINUM DOOR
 4. 1/2" x 6" x 2" ALUMINUM DOOR
 5. 1/2" x 6" x 2" ALUMINUM DOOR
 6. 1/2" x 6" x 2" ALUMINUM DOOR
 7. 1/2" x 6" x 2" ALUMINUM DOOR
 8. 1/2" x 6" x 2" ALUMINUM DOOR
 9. 1/2" x 6" x 2" ALUMINUM DOOR
 10. 1/2" x 6" x 2" ALUMINUM DOOR

FIRE NOTES

1. ALL WALLS TO BE FIRE RATED
 2. ALL WALLS TO BE FIRE RATED
 3. ALL WALLS TO BE FIRE RATED
 4. ALL WALLS TO BE FIRE RATED
 5. ALL WALLS TO BE FIRE RATED
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 9. ALL WALLS TO BE FIRE RATED
 10. ALL WALLS TO BE FIRE RATED

HEALTH NOTES

1. ALL WALLS TO BE FIRE RATED
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 5. ALL WALLS TO BE FIRE RATED
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 9. ALL WALLS TO BE FIRE RATED
 10. ALL WALLS TO BE FIRE RATED

INTERIOR ELEVATIONS

1. 1/2" x 6" x 2" ALUMINUM DOOR
 2. 1/2" x 6" x 2" ALUMINUM DOOR
 3. 1/2" x 6" x 2" ALUMINUM DOOR
 4. 1/2" x 6" x 2" ALUMINUM DOOR
 5. 1/2" x 6" x 2" ALUMINUM DOOR
 6. 1/2" x 6" x 2" ALUMINUM DOOR
 7. 1/2" x 6" x 2" ALUMINUM DOOR
 8. 1/2" x 6" x 2" ALUMINUM DOOR
 9. 1/2" x 6" x 2" ALUMINUM DOOR
 10. 1/2" x 6" x 2" ALUMINUM DOOR

FINISHES	FLOOR	WALL	CEILING	REMARKS
1	1	1	1	
2	1	1	1	
3	1	1	1	
4	1	1	1	
5	1	1	1	
6	1	1	1	
7	1	1	1	
8	1	1	1	
9	1	1	1	
10	1	1	1	

P-87-277

7-23-87

item 13

LEGAL DESCRIPTION:

ALL OF LOTS 10, 11, 12, AND 13, THE SOUTHERLY PORTION OF LOT 14 AND ALL THAT PORTION OF THE ABANDONED ALLEY LYING BETWEEN SAID LOTS 13 AND 14, BLOCK 15, AS SHOWN ON THE "PLAT OF EAST DEL PASO HEIGHTS", RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SACRAMENTO COUNTY, AUGUST 8, 1912 IN BOOK 13 OF MAPS, MAP NO. 32, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 13, SAID CORNER BEING THE POINT OF INTERSECTION OF THE NORTHERLY LINE OF GRAND AVENUE AND THE WESTERLY LINE OF SAID ABANDONED ALLEY; THENCE, ALONG THE NORTHERLY LINE OF SAID GRAND AVENUE, SOUTH 89 02' 30" WEST 160 FEET TO THE SOUTHWEST CORNER OF SAID LOT 11; THENCE, ALONG THE WEST LINE OF SAID LOTS 11 AND 10, NORTH 01 42' WEST 175 FEET TO THE NORTHWEST CORNER OF SAID LOT 10; THENCE, ALONG THE NORTH LINE OF SAID LOT 10, NORTH 89 02' 30" EAST 160 FEET TO THE NORTHEAST CORNER THEREOF AND A POINT IN THE WESTERLY LINE OF SAID ABANDONED ALLEY; THENCE CONTINUING NORTH 89 02' 30" EAST 46.60 FEET ALONG THE NORTH LINE OF SAID LOT 10 PROJECTED AND ACROSS LOT 14 TO A POINT IN THE WESTERLY LINE OF MARYSVILLE ROAD; THENCE, ALONG THE WESTERLY LINE OF MARYSVILLE ROAD, SOUTH 08 22' WEST 152.16 TO A POINT COMMON TO THE SOUTHERLY CORNER OF SAID LOT 14 AND THE INTERSECTION OF MARYSVILLE ROAD AND THE ABOVE MENTIONED ALLEY; THENCE ACROSS SAID ALLEY SOUTH 37 26' WEST 31.69 FEET TO THE POINT OF BEGINNING.

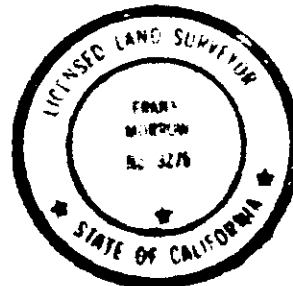
CITY PLANNING DIVISION

JUL 14 1987

RECEIVED

I HEREBY CERTIFY THAT THIS IS A CORRECT REPRESENTATION OF A SURVEY MADE BY ME IN JULY, 1987

Frank Morrow
FRANK MORROW L.S. 3275



TOM O. MORROW, INC.
1420 MERKLEY AVE., SUITE 3
WEST SACRAMENTO, CALIFORNIA 95691

D-27-277

7-23-87

item 12

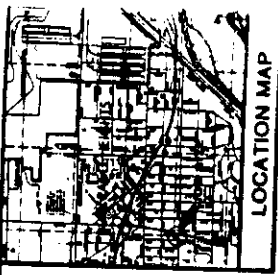
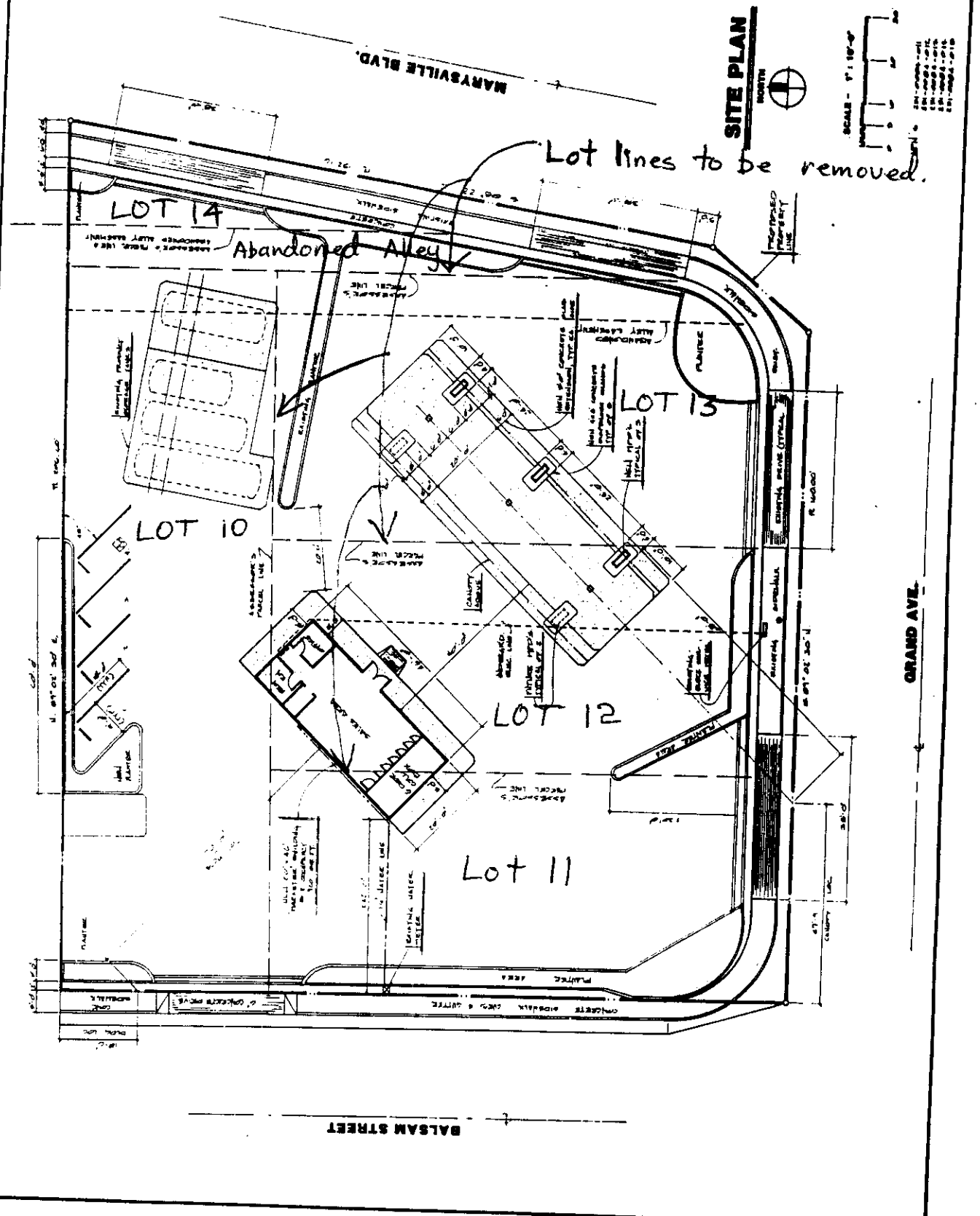


EXHIBIT B

SUTTON & ASSOCIATES
 800 Jay Street Sacramento, CA
 SHELL OIL COMPANY
 PACIFIC NORTHWEST DISTRICT
 3901 MARYSVILLE BLVD
 GRAND AVE.
 SACRAMENTO, CA
 SHELL OIL COMPANY
 10000
 SHELL OIL COMPANY
 10000
 SHELL OIL COMPANY
 10000
 SHELL OIL COMPANY
 10000



TRASH ENCLOSURE GUIDELINES

The walls of the trash enclosure structure shall be constructed of solid masonry material and the exterior surface finished in a manner compatible with the main structure(s).

The trash enclosure structure shall have heavy gauge metal gates and designed with cane bolts on the doors to secure the gates when in the open position. The hinges shall be sufficient in size, strength and number to adequately support the metal gates.

~~The trash enclosure facility shall be designed to allow walk-in access by janitors without having to open the main enclosure gates;~~

The walls shall be a minimum six feet in height, more if necessary for adequate screening.

The perimeter of the trash enclosure structure shall be screened with landscaping, including a combination of shrubs and/or climbing ever-green vines.

A concrete apron shall be constructed in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at the point of dumpster pickup;

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10 feet or width of enclosure facility; length 20 feet. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technician (Plan Checker);

Paving material shall consist of 5" aggregate base rock and 6" portland cement paving.

~~A trellis structure covering the trash facility shall be constructed to screen these units from view from the upper floors of the office building.~~

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

EXHIBIT D

M E M O R A N D U M

CITY PLANNING DIVISION

June 26, 1987

JUN 30 1987

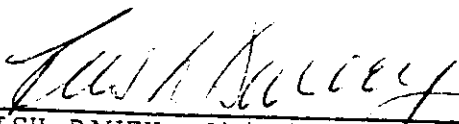
RECEIVED

TO : DAWN HOLM, PLANNING DIVISION
FROM : TRISH DAVEY, CHIEF, NEIGHBORHOOD DEVELOPMENT
SUBJECT: SPECIAL PERMIT, LOT LINE ADJUSTMENT FOR FOOD MART AND GAS STATION (APPLICATION NO. P87-277)

The Agency has reviewed the request for a special permit for a Food Mart and Gas Station at Marysville Boulevard and Grand Avenue and has the following comments:

1. The proposed commercial use is in conformance with the Redevelopment Plan which designates the site and surrounding frontage on Marysville Boulevard for commercial use.
2. The Agency does however have some concerns with the expansion of a 24 hour operation and the potential for increased loitering and littering which could cause the site to become a nuisance.
3. The Agency would be interested in the application of the additional review criteria provided for in the recently adopted emergency ordinance to require special permits for bars and for sale of alcoholic beverages for off-premises consumption.
4. Given the controversial nature of the proposed Circle K Market, the Agency would recommend sending public notices to all interested individuals who attended the public hearing at Hagginwood Community Center on June 18, 1987. A copy of the sign-in sheet is attached.

Sincerely



TRISH DAVEY, Chief
Neighborhood Development

TD:jr

Attachment

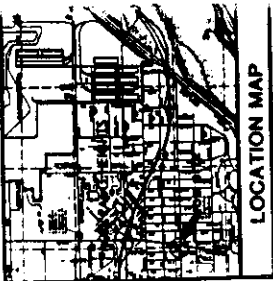
0230Q

P-87-277

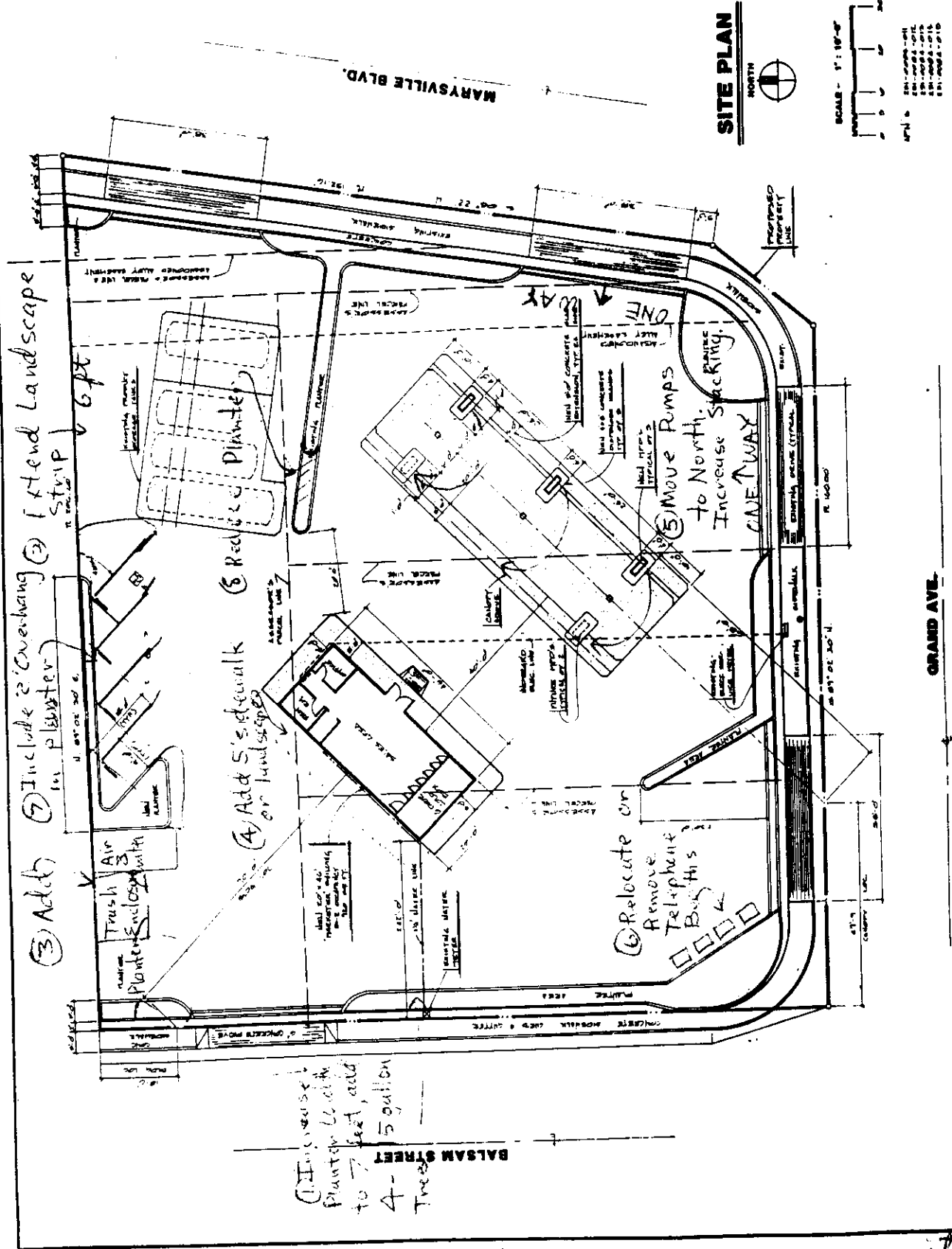
7-23-87



EXHIBIT STAFF MODIFIED SITE PLAN



SUTTON & ASSOCIATES 200 Jay Street San Francisco, Ca.	
SHELL OIL COMPANY PACIFIC NORTHWEST DISTRICT 3801 MARYSVILLE BLVD. GRAND AVE. SACRAMENTO, CA.	
DATE: 7-23-87	SCALE: 1" = 10'-0"
DRAWN BY: [unclear]	CHECKED BY: [unclear]
DATE: [unclear]	DATE: [unclear]
DATE: [unclear]	DATE: [unclear]





CITY OF SACRAMENTO

CITY PLANNING DIVISION

JUL 16 1987

RECEIVED

DEPARTMENT OF POLICE

HALL OF JUSTICE
813 6TH STREET

SACRAMENTO, CALIFORNIA 95814
TELEPHONE (916) 449-5121

JOHN P. KEARNS
CHIEF OF POLICE

July 13, 1987

Ref: 7-9

MEMORANDUM

TO: WILL WEITMAN, SENIOR PLANNER
DEPARTMENT OF PLANNING AND DEVELOPMENT

FROM: JERRY V. FINNEY, ASSISTANT CHIEF OF POLICE
DEPARTMENT OF POLICE

SUBJECT: PROPOSED EXPANSION - 3801 MARYSVILLE BOULEVARD

This letter is in response to your request dated June 30, 1987. The following questions were asked:

1. Have there been problems associated with activities of the existing 24-hour Shell Station?
2. Would the expansion from 300 square feet to 1,000 square feet of retail sales area promote a neighborhood impact regarding the sales of alcohol?
3. Due to the proximity to Grant High School, have there been problems with crime or loitering?
4. Do the neighbors have any problems with the expansion of the existing station?

According to the Patrol Division, there haven't been any problems directly related to the operation of the existing Shell Station. Also, because there are already two other retail outlets for alcohol sales, they feel that the increased retail space will not have any negative effect on the neighborhood.

Grant High School presently has a closed campus. The principal stated that there are no problems with this policy and doesn't feel there will be any because of the expansion of the Shell Station. The president of the Grant High School Parents Club was also contacted. She concurred with Grant's principal.

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MEMORANDUM

Will Weitman, Senior Planner
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There was also a neighborhood survey conducted. The response to the proposed expansion was favorable. There was some concern about loitering around the telephones. One possible solution is to post the area, "No Loitering" and "No Drinking". If other, more serious, problems arise, a private security service should be considered.

Overall, the mood of those who would most likely be affected by this expansion is favorable. We, at the Police Department, do not have any objections.

Sincerely,



JERRY V. FINNEY
ASSISTANT CHIEF OF POLICE
DEPARTMENT OF POLICE

JVF:lm

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

DEL PASO HEIGHTS REDEVELOPMENT ADVISORY COMMITTEE (RAC)

July 10, 1987

CITY PLANNING DIVISION

JUL 14 1987

Dan Hendricks
City Planning Division
1231 I Street
Sacramento, CA 95814

RECEIVED

Dear Mr. Hendricks:

SUBJECT: Special Permit, Lot Line Adjustment for Food Mart and Gas Station Application No. P87-277

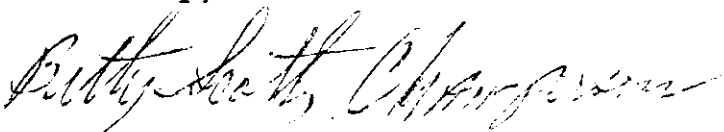
The Del Paso Heights Redevelopment Advisory Committee (RAC) reviewed the subject project with representatives from Shell Oil Company at their July 9, 1987 meeting.

The RAC would like to express their appreciation to the project representatives who attended their meeting and took the time to explain the proposed development. The RAC has the following comments on the project.

1. The RAC has no objections to the proposed development.
2. The RAC would like to suggest that Shell Oil Company have an attendant on duty to assist elderly or handicapped individuals pump gas.

If you have any questions on this matter feel free to contact me at 927-1342 or Nadine Ford at 440-1315.

Sincerely,



BETTY SCOTT, Chairperson
Del Paso Heights Redevelopment
Advisory Committee

cc: Paul Begley
Sutton and Associates
805 J Street
Sacramento, CA 95814

0255Q

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