

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 9912235
Insp Area: 2

Site Address: 30 ARUBA CR SAC
Parcel No: 117-1340-002

LOT2 REGENCY PLACE UNIT 2 Housing (Y/N): N

Sub-Type: NSFR

CONTRACTOR
BEATTIE CONSTRUCTION
P.O. BOX 77768
STOCKTON CA. 95267

OWNER

ARCHITECT

Nature of Work: MP 1500 1 STORY 7 ROOM SFR

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name A Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 232874 Date 10/27/99 Contractor Signature Charles W Beattie

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code, any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 10/27/99 Applicant/Agent Signature Charles W Beattie

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 10/27/99 Applicant Signature Charles W Beattie

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

InstallationData

LASCO Tub/Showers & Shower Stalls

[See Over For Bathtubs]

IMPORTANT! Before installation begins, make sure that: [a] framed-in alcove is of proper size, square and plumb; [b] walls and floors meet fire safety requirements of local building code and/or FHA/HUD Minimum Property Standards.

The wood blocks attached underneath the bottom of tub/shower units are for storing and shipping. These blocks need not touch the sub-floor and may be removed or shimmed. It is common in the industry to grout underneath the bottoms of tub and shower units with gypcrete plaster, or mortar mix. In manufactured housing grouting tends to shift during transit. Lasco accepts installations leaving a clear space under the bottom of their units, however, grouting and/or shimming is always recommended, but not mandatory.

Installation Procedures

- To avoid obstructions during installation, make sure water lines, spout pipes and valve plumbing do not project into alcove.
- From stable reference points [back wall studs, floor] measure the locations of spouts, valve and shower arm. Note measurements here:

Spout: _____ Valve/s: _____

Shower arm: _____

- Place the unit in the alcove with the front skirt firmly on the floor. Unit must be level to assure proper drainage. To check, use a level on top of both end walls and on top of dam. Shim if necessary.

4. NOTE: Pre-drilling nailing flanges is recommended. Using 1/2" (40mm) Galv. Steel Washers or Washers Head Screws:

- Fasten lower corners of vertical side nailing flanges.
- Fasten upper corners with inward bias from each front corner, fastening through horizontal flange, finishing at rear center. Complete fastening along vertical side flanges, 8" (200mm) to 12" (300mm) out [see diagram].

Manufactured Housing may fasten at 12", 16" and 24" oc. Some use three screws on the horizontal flanges and four screws on the vertical flanges. Others utilize a perimeter fastening strip with its own fasteners thereby fastening and finishing at the same.

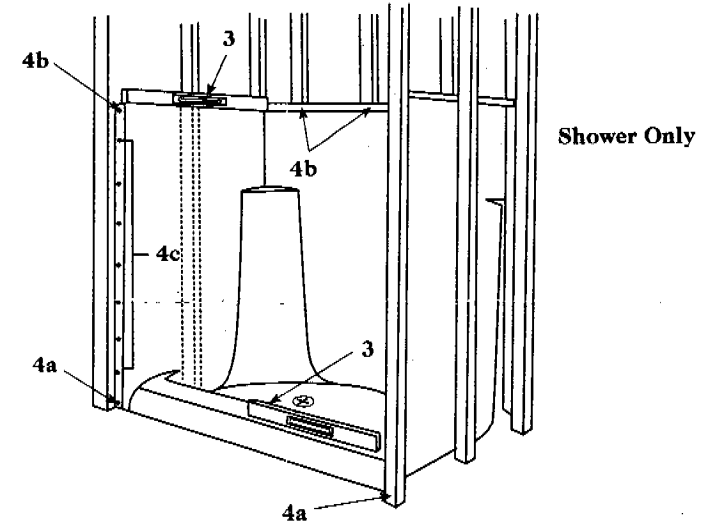
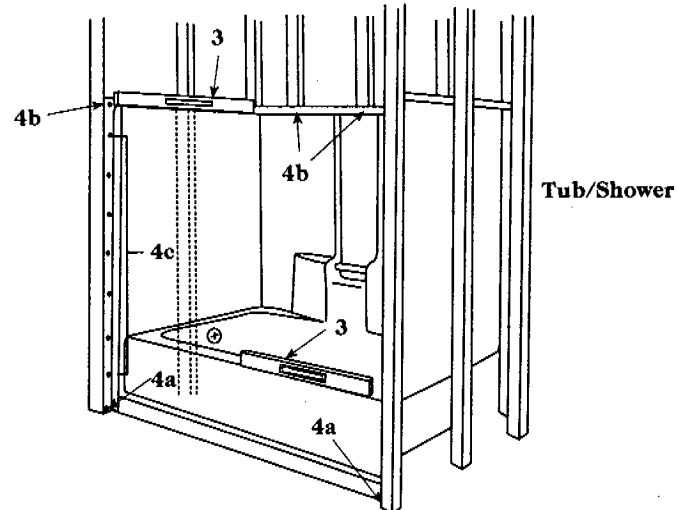
- Refer to dimensions noted in Step #2; mark fitting locations. Using a hole saw [fine tooth or abrasive grit cutting edge], make necessary openings for spout, valve and shower arm. Strap water lines and valves to studs.
- When using sheet rock, furring strips [1/8" (5mm) thick, as nailing flanges] are recommended for installation on studs above the installed LASCO unit to ensure walls will be flush to cover nailing flanges.
- Prevent Staining and/or Blistering:** Remove all debris before filling tub for plumbing inspection. **Drain and wipe clean** immediately afterward. **Clean-Up:** Use sponge with warm water and liquid detergent. Do not use abrasive cleaners, such as scouring powders or pads, steel wool, scrapers, sandpapers or anything else that may scratch, mar or dull the finish. Roofing tar or paints may be removed with turpentine or paint thinner [not lacquer thinner].
- Do not remove adhered label. Warranty/User Maintenance Label must be left for occupant. [Required by ANSI Z124].

Showers Models: 1303C, 1323C/CM/2P, 1343C/CM, 1543CTN/CTM and Shower Pan Models: 3232PAN/APAN are not UPC listed, however, they are IAPM-T listed for Manufactured Housing and Recreation Vehicles.

- Finish unit with a coat of good quality white automotive paste wax [or similar] and buff with a soft cloth.

Notwithstanding the above published installation data which is mostly applicable to stick construction, Lasco has accepted installation variations related to manufactured housing as described on reverse side, and maintains the Lasco Limited Warranty under such installation conditions.

ENCLOSURES: Measure installed unit before ordering. Pre-drill pilot holes for mounting screws: 3/16" (5mm) for #10, 1/8" (5mm) for #8.



LASCO®
BATHWARE
AMERICA'S
BATHTUB COMPANY

West Central
P.O. Box 310
Moapa, NV 89025
PH: 800/335-5151,
702/864-2100
FAX: 702/864-2130

North Central
888 W. Broadway
Three Rivers, MI 49093
PH: 800/444-1426,
616/279-7461
FAX: 616/279-9486

North East
40 Industrial Road
Conewago Ind'l Park
Elizabethtown, PA 17022
Sales Order PH:
800/444-0832
Sales Order Fax:
800/203-0382
PH: 800/444-0781
FAX: 717/367-9034

South West/
South Central
151 Industrial St.
Lancaster, TX 75134
PH: 800/876-3044,
972/227-6692
FAX: 972/227-9242

Mid-Atlantic
P.O. Box 1177
Halifax County Ind'l Pk.
So. Boston, VA 24592
PH: 800/444-0832,
804/572-1200
FAX: 804/572-2067

West
3261 E. Miraloma Ave.
Anaheim, CA 92806
PH: 800/877-0464,
714/993-1220
FAX: 800/775-2726

South East
210 S. Harris St.
Cordele, GA 31015
PH: 800/444-0926,
912/273-8515
FAX: 912/273-6838

North West/
Rocky Mtn.
801 Northern Pacific
Yelm, WA 98597
PH: 800/444-5126,
360/458-3900
FAX: 360/458-3375

San Joaquin Design Group

Architecture and Planning

7865 North Pershing Avenue * Suite B
Stockton, CA 95207 * (209) 478-4013

James M. Tibbens Architect/Civil Engineer	Project and Location Regency Plaza Unit 1122 Sacramento, Calif	Page # A	Date 1-28-00
Calif. Lic. # 22458 (Civil Eng.)	Design and Type		Rev.

1060 Plan

Line a

i) stitch nailing min. 6" o.c. (inspection item N23)
from each 2x, stagger nails

For typical
Missing holdown install Simpson LTT 20 B

Use 1/2" ϕ Simpson epoxy-tie adhesive anchor
w/ min. 4 1/4" embedment, 2" from edge

2595 & 2/3/4 - 1997 & 1566 *

(inspection item N27)

For this condition:
Missing PH02 not
required

Line b

(inspection item N24)

(inspection item N25)

3/4" fill: ok
nailing ok

re install plywood, with
minimum 2" o" from outside
Edge to plywood panel edge
on wall

Line c

o entry/den
2 rows @ 6" o.c. ok

- 1 row @ 6" o.c.; need to install another row @ 6" o.c.
stagger

e dining/kitchen:

ok

Line e

ok

Line F

(inspection item N21)

install Simpson LTT 20 w/ 1/2" ϕ Simpson epoxy-tie, same as line a item(2)

Use typical at all improper place HPAH022's

Line d

ok

Line 2 - same as Line F

Inspection item N26, maximum allowed notching 1" :. ok



San Joaquin Design Group

Architecture and Planning

7865 North Pershing Avenue * Suite B
Stockton, CA 95207 * (209) 478-4013

James M. Tibbens Architect/Civil Engineer	Project and Location Regency Plaza Unit 1702 Sacramento, Calif	Page # A	Date 1-26-00
Calif. Lic. # 22458 (Civil Eng.)	Design and Type		Rev.

1200 Plan

Line B

Bolt spacing ok
dbl 2x nailing for holdown. min. 6" o.c.
from each 2x, stagger

1000 plan

Line a

nail 2x to 4x4 w/ 16d @ 4" o.c. or dbl row 8" o.c., staggered

Line b

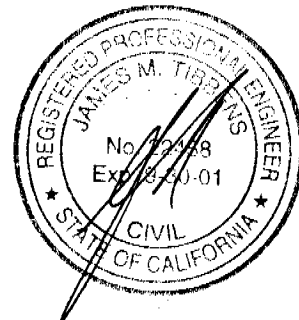
stitch nail min 6" o.c. from 2x, stagger
noted condition @ Date: ok

Line c

ok

Line d

ok



Certification of Compliance School District Development Fees

(Print or Type) If Printing, press hard for four copies

PART I To be completed by the APPLICANT

OWNER'S NAME Regency Place Partners, LP
 OWNER'S ADDRESS P.O. Box 77768, STOCKTON CA.
 PROJECT ADDRESS 30 ARUBA CIR, SACRAMENTO CA
 PARCEL NUMBER 117 134 002 LOT NO. 2
 SUBDIVISION NAME Regency Place Unit #2
 NUMBER OF UNITS 1

Upon payment of the fees listed below, a 90-day approval period commences upon which the applicant paying the fees may protest such fees. Any failure to file such protest within the 90-day period shall result in forfeiture of any rights to challenge such fees, through litigation or otherwise.

APPLICANT'S SIGNATURE Charles W Beattie
 TITLE OF APPLICANT Pres., Western Retirement Communities Inc, Gen Part,
 DATE October 12, 1999 PHONE NUMBER (209) 952-4984
(916) 601-3367

PART II To be completed by BUILDING DEPARTMENT

PLAN IDENTIFICATION NUMBER # 1500
 BUILDING TYPE
 RESIDENTIAL () APARTMENT/CONDOMINIUM () COMMERCIAL/INDUSTRIAL ()
 SQUARE FEET OF CHARGEABLE BUILDING AREA 1545
 SIGNATURE [Signature]
 TITLE BE III DATE 10-12-99

PART III To be completed by SCHOOL DISTRICT

SCHOOL DISTRICT F 611 SD
 DISTRICT CERTIFICATION NO. 24259

EXEMPT	COMMENTS
RESIDENTIAL/APT/CONDO <input checked="" type="checkbox"/>	1545 SQ FT X \$ 7.50 = \$ 11587.50
COMMERCIAL/INDUSTRIAL <input checked="" type="checkbox"/>	<u>1545</u> SQ FT X \$ <u>.31</u> = \$ <u>478.75</u>
OTHER FEE <u>Other</u> TYPE <input checked="" type="checkbox"/>	1545 SQ FT X \$ 7.50 = \$ 11587.50
TOTAL FEES COLLECTED <input checked="" type="checkbox"/>	<u>1545</u> <u>.31</u> = \$ <u>478.75</u>

This Certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.

As the authorized school district official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.

AUTHORIZED SCHOOL DISTRICT OFFICIAL **PAID**

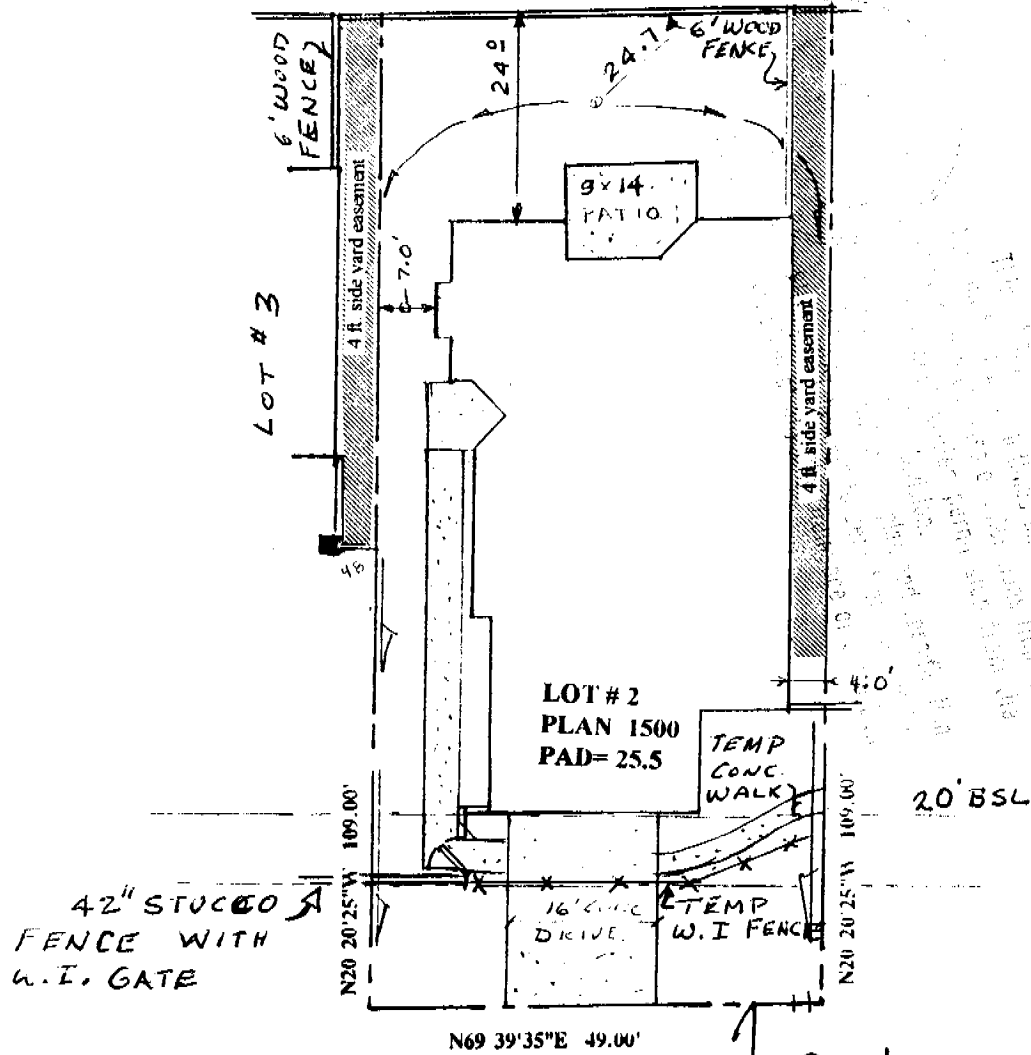
SIGNATURE [Signature] DATE OCT 26 1999
 TITLE [Signature] DATE Facilities Planning
Eik Grove Unified School District

Original: School District 1st copy: School District 2nd copy: Building Department 3rd copy: Applicant

Revised 12/12/96 CR # 128 AMIE - 1387.25

REGENCU PLACE
UNIT #2

N69 39'35"E 49.00'



42" STUCCO
FENCE WITH
W.I. GATE

N69 39'35"E 49.00'

30 ARUBA CIRCLE

SCALE 1" = 3/64"

22' TO C/L
OF
STREET

WESTERN RETIREMENT COMMUNITIES
P.O. BOX 7768
STOCKTON, CA 95267
PHONE (916) 952-4984