

CITY OF SACRAMENTO

Permit No: 9807432

1231 I Street, Sacramento, CA 95814

Insp Area: 2

Site Address: 7944 REINDEER WY SAC

Sub-Type: RES

Parcel No: 1190293015

Housing (Y/N): N

CONTRACTOR

TUFF SHED INC
3202 ORANGE GROVE
NORTH HIGHLANDS CA

95660

OWNER

PLENDL LYLE E/DEBORAH A
7944 REINDEER WY
SACRAMENTO CA

95823

ARCHITECT

Nature of Work: CONSTRUCT DETACHED STORAGE BUILDING IN REAR YARD AREA - 280 SF

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 6601-6604 Date 8-4-98 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date Owner Signature

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 8-4-98 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

X I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

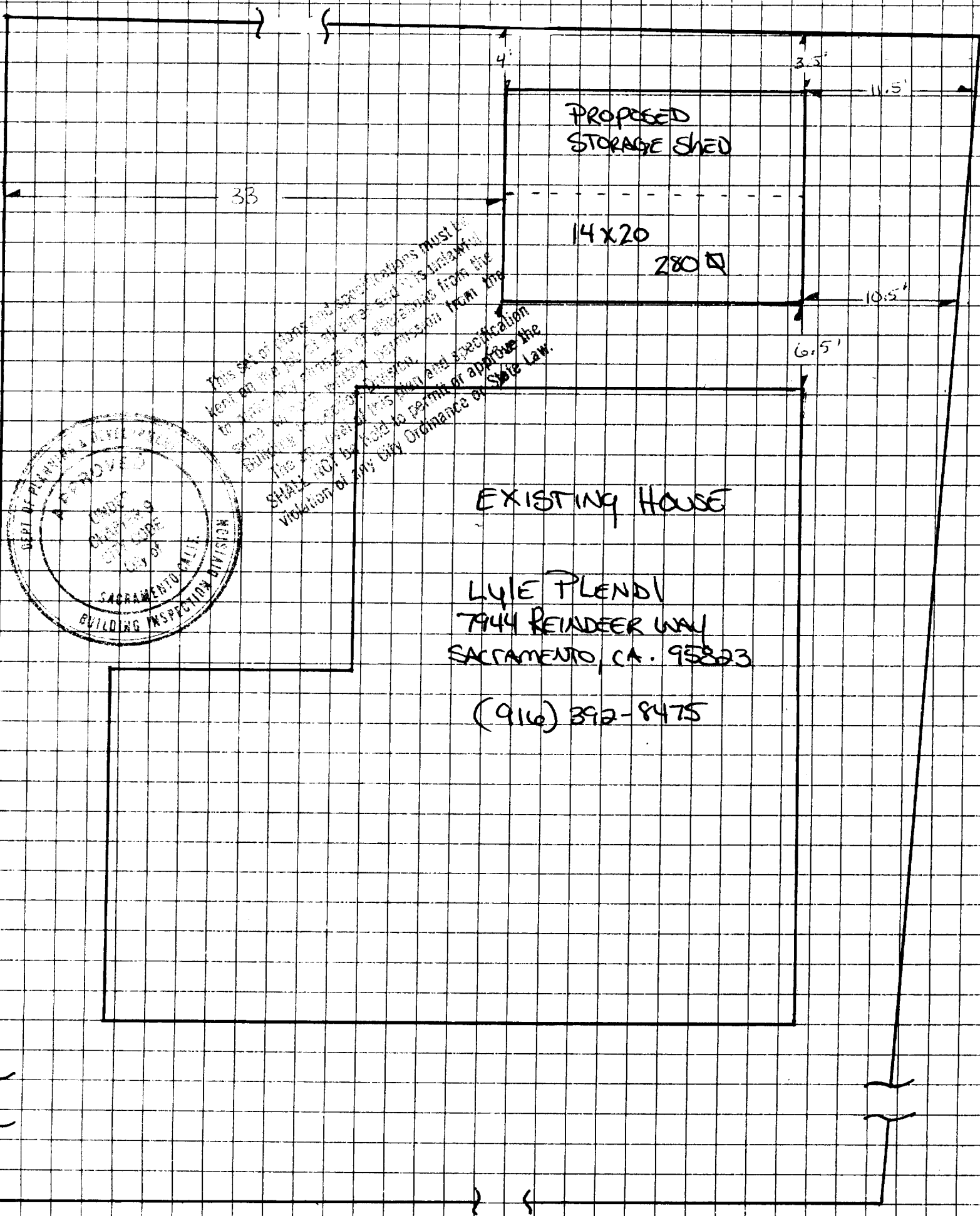
Carrier TRAVELERS INS. Policy Number UB-7546940 6-98 7.1.99

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

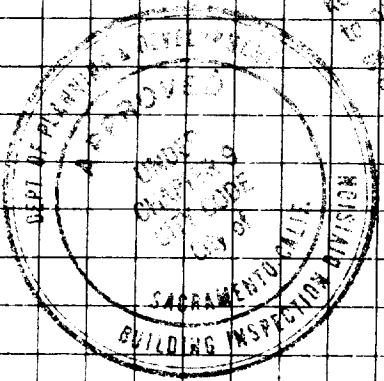
Date 8-4-98 Applicant Signature [Signature]

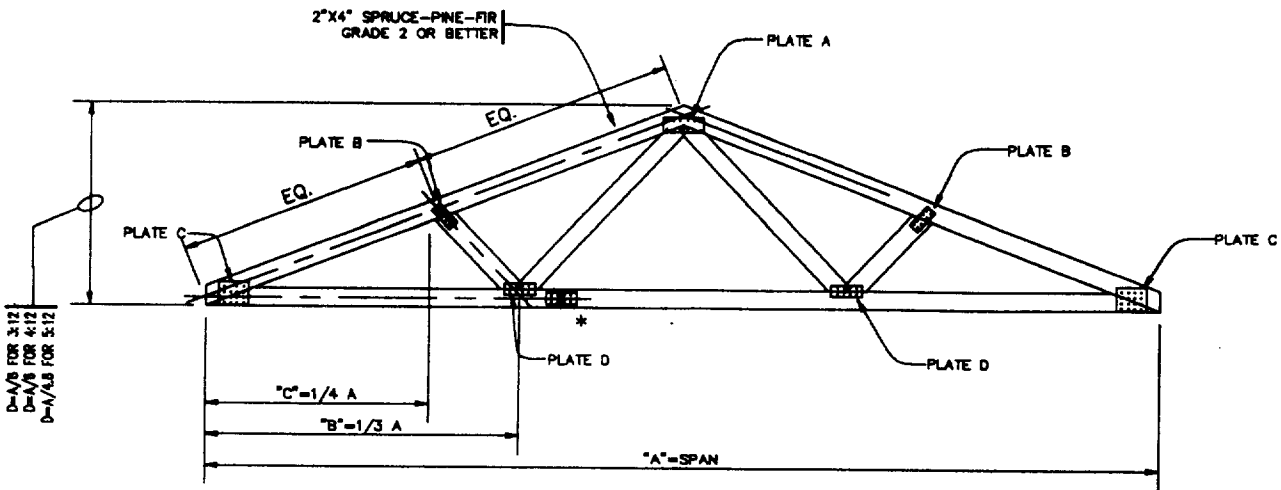
WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.



This set of plans and specifications must be kept on the job site until the building is completed. Building shall conform to the specifications and shall not be held to permit of approval. The contractor shall be held to the violation of any City Ordinance or State Law.





### 4 ROOF TRUSS SCHEDULE

N.T.S.

CONNECTION PLATE (NOMINAL) OR EQUIV.				
PLATE A	PLATE B	PLATE C	PLATE D	PLATE E
5X6	2X3	4X10	3X6	3X8

• SPLICE PLATES ALLOWED ● TRUSS JOINTS ONLY

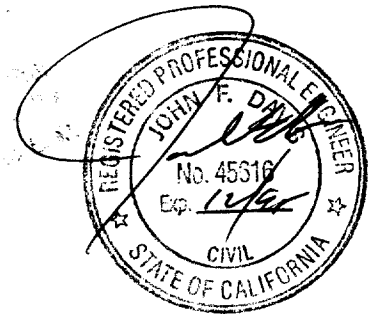
#### MAXIMUM ALLOWABLE ROOF LINE LOADS PER SPAN

PITCH	SPACING AT 24"									
	12'	14'	18'	18'	20'	22'	24'	28'	30'	
3:12	80	60	40	40	35	30	25	—	—	
4:12	100	85	70	60	50	45	40	35	30	
5:12	100	95	70	60	50	50	40	35	35	

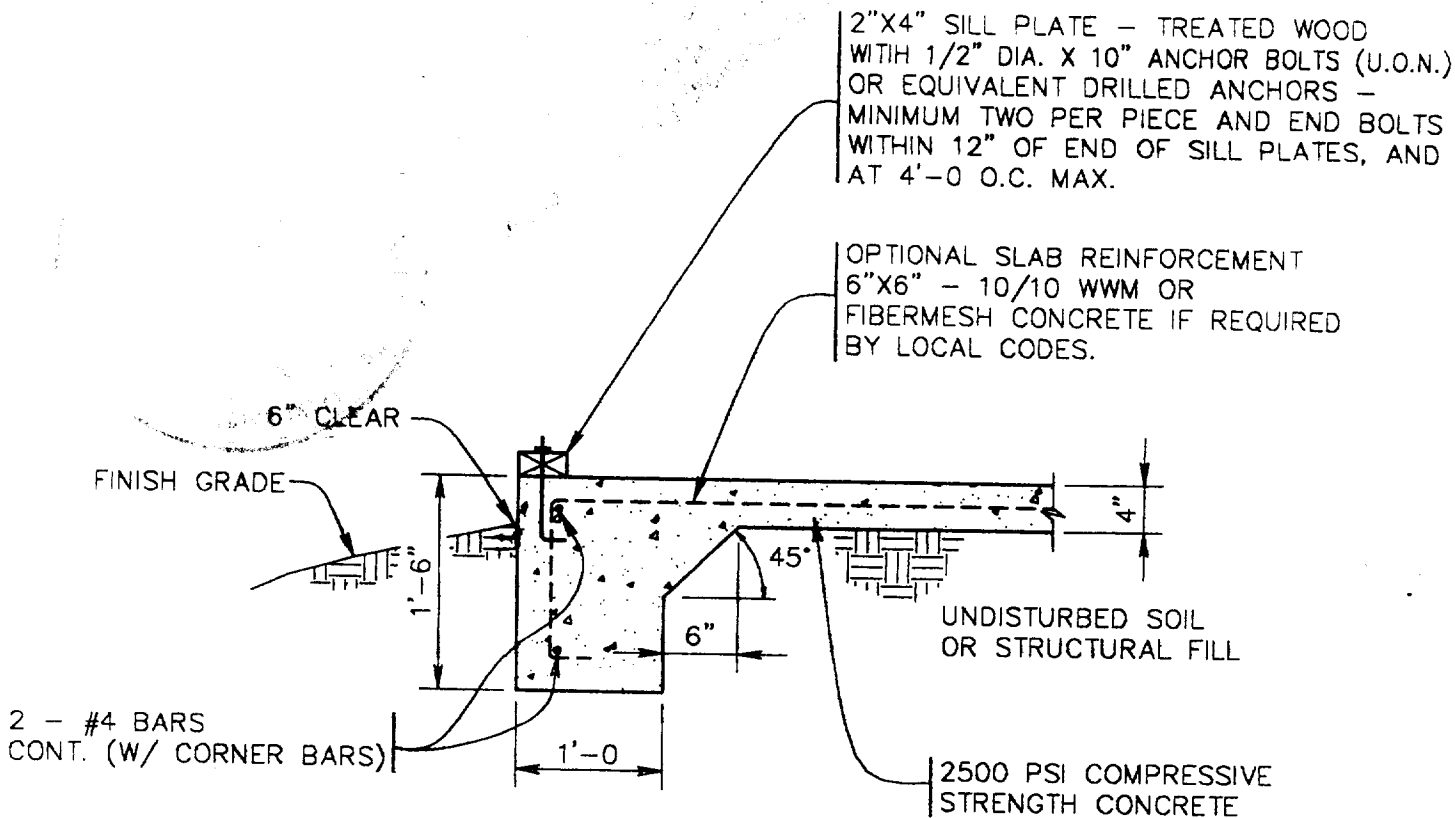
  

PITCH	SPACING AT 18"									
	12'	14'	18'	18'	20'	22'	24'	28'	30'	
3:12	100	100	60	55	50	45	40	35	30	
4:12	100	100	100	90	75	75	60	55	50	
5:12	100	100	100	90	75	75	65	55	50	

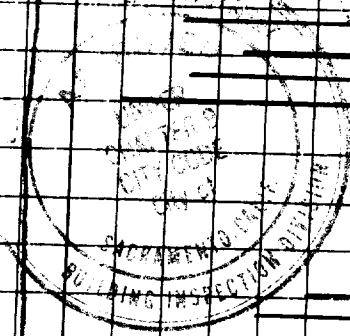
- NOTES:
- FOR 30 PSF LL PROVIDE TRUSS SPACING @ 18.2" O.C. FOR 24' SPAN ONLY
  - NOTED SPAN IS NOMINAL
  - LIVE LOAD IS NON-REDUCED SNOW
  - PROVIDE SIMPSON H5 TIE-DOWN CLIPS AT EACH TRUSS BRG. OR APPROVED EQUAL FOR 450 LB UPLIFT.
  - TRUSS FRAMING TO BE SPRUCE-PINE-FIR GRADE 2 OR BETTER  
 $F_b = 875$  PSI (SINGLE MEMBER)  
 $F_t = 425$  PSI  
 $F_v = 70$  PSI  
 $F_c = 1100$  PSI PARALLEL  
 $E = 1,400,000$  PSI



<b>TITLE:</b> <b>STANDARD TRUSS</b>	<b>RICHARD WEINGARTD CONSULTANTS</b>	PROJECT NO: 2585
		DATE: 8/28/96
<b>TUFF SHED, INC.</b> 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: TRUSS-1



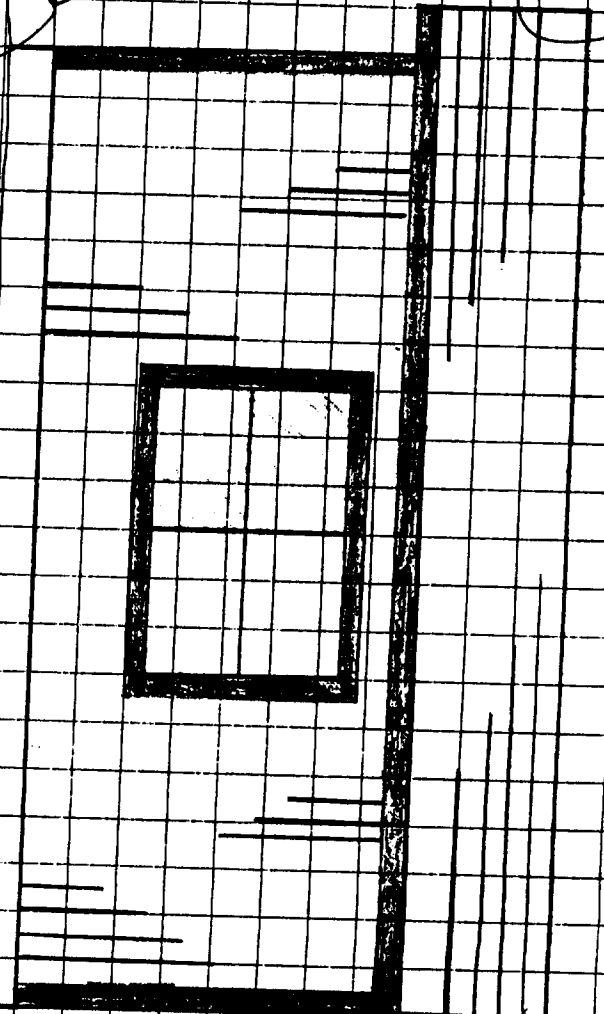
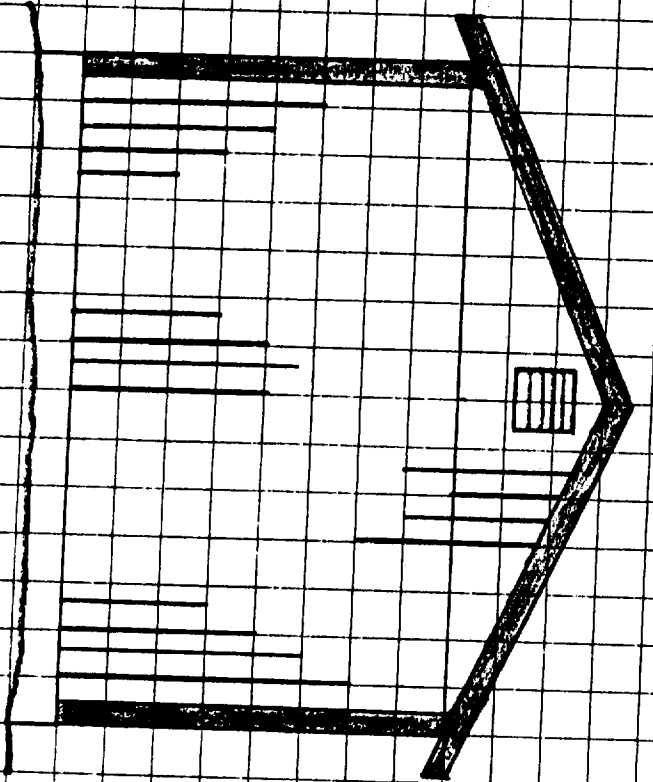
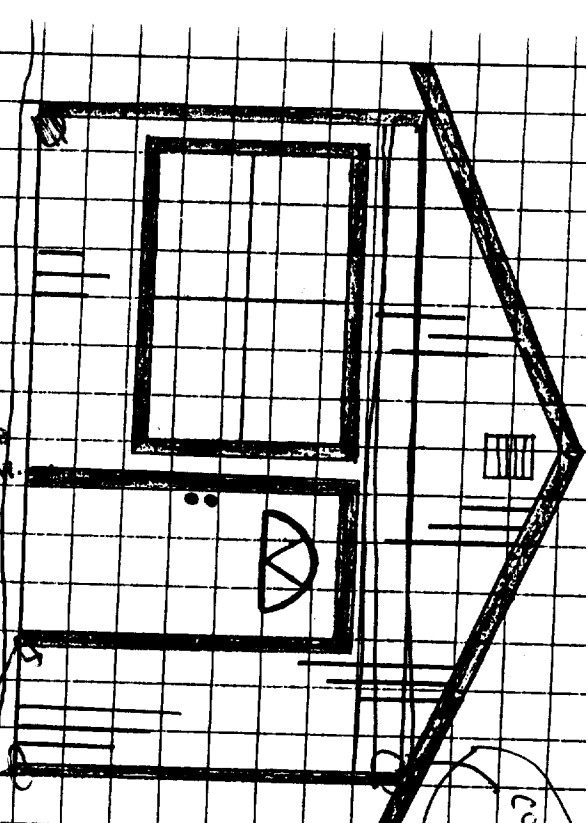
TITLE: <b>FOUNDATION DETAIL</b>		PROJECT NO: 2585
<b>TUFF SHED, INC.</b> 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DATE: 4/11/96
		DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: F-2
<b>RICHARD WEINGART</b> <b>CONSULTANTS</b>		

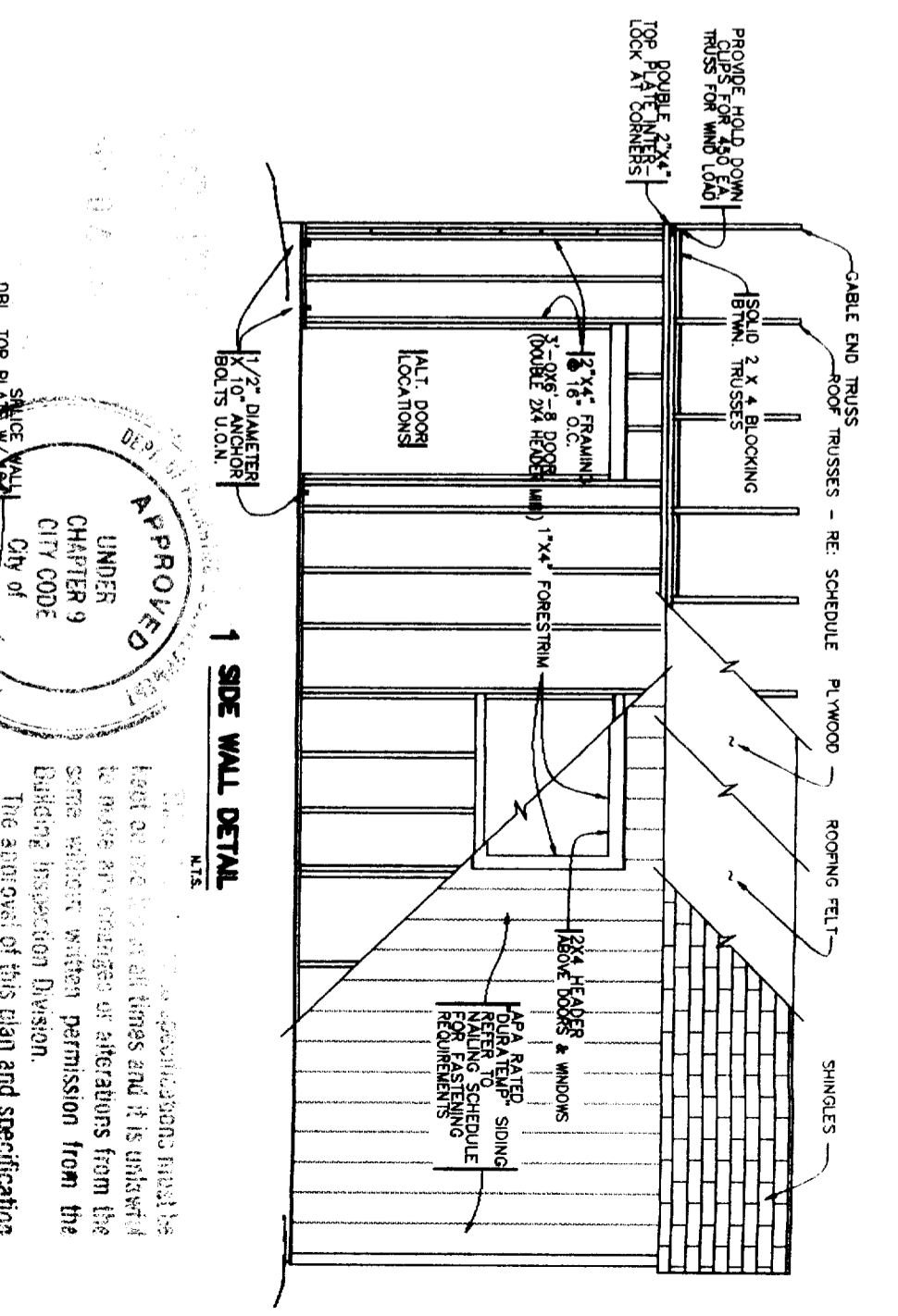
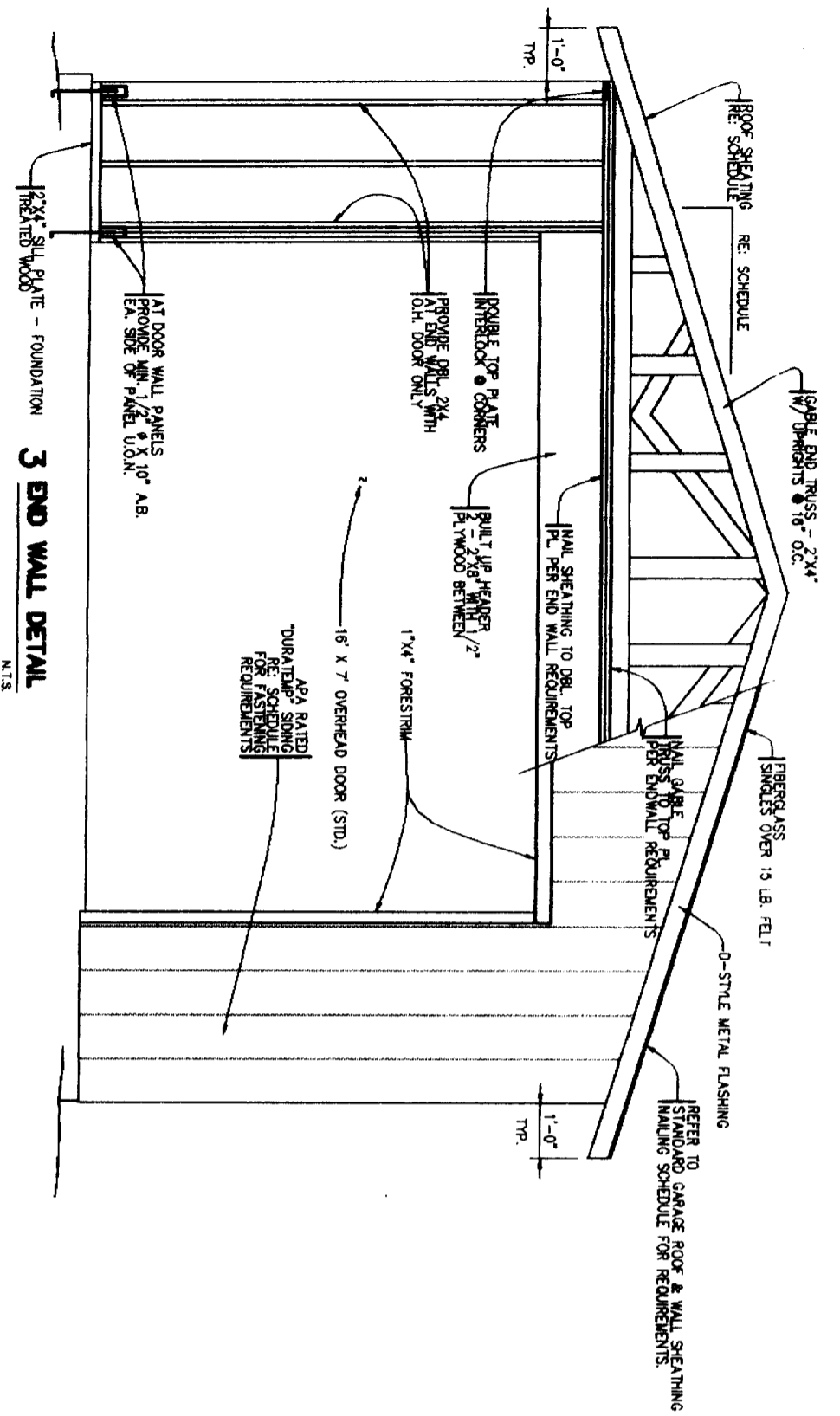


and specification  
control or approve the  
ordinance or State law.  
Specification of any City

PHD 2

CONTRACT





**DESIGN SCHEDULE**  
 BUILDING ADDRESS: Lyle Blvd  
7747 S. HAWKES CANY  
WATERLOO, CO 80533

BUILDING SIZE: 14' WIDTH;  
20' LENGTH;  
11' HEIGHT;

ROOF LIVE LOAD: 85 MAX. EXP. B

DESIGN WINDLOAD: 85 MAX. EXP. B

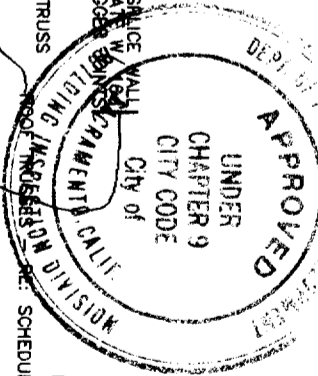
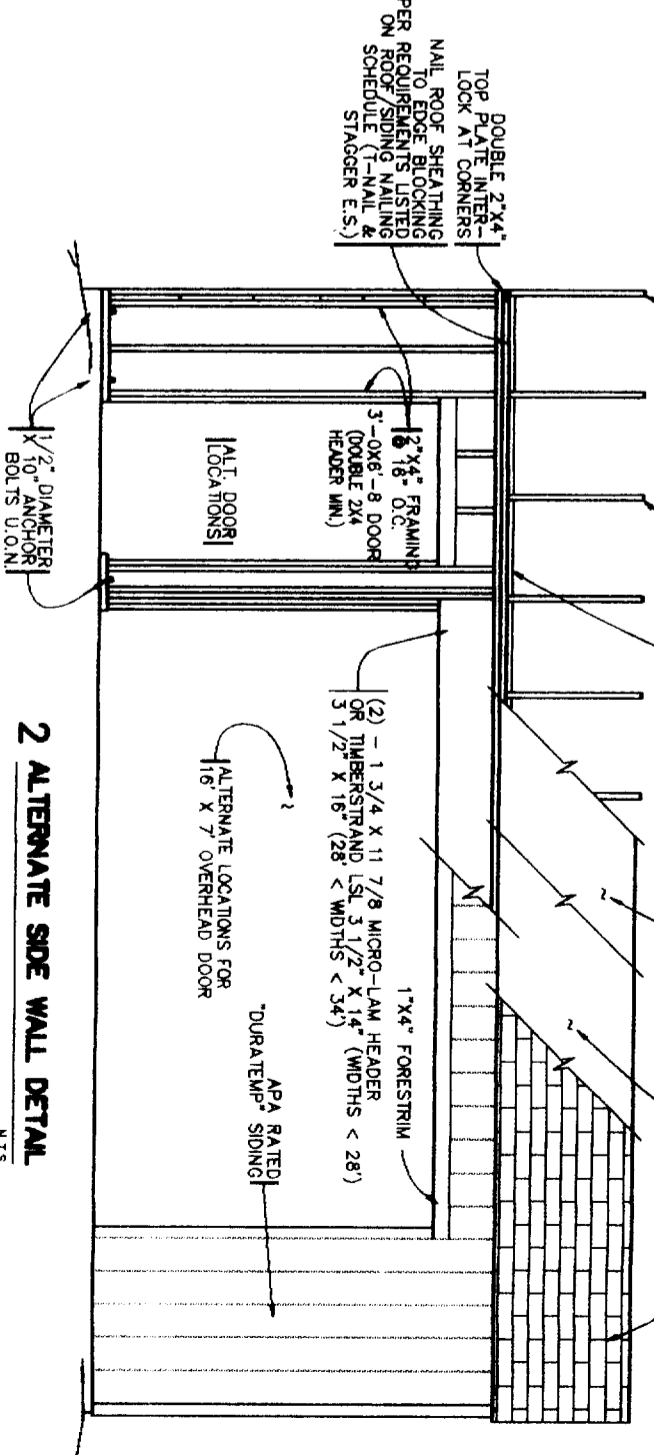
ROOF TRUSS TYPE: 4/12

ROOF PITCH: 4/12

DETAIL SHEETS REQUIRED: Plot  
FOUNDATION  
TRUSS

1. LIVE LOADS, RE. SCHEDULE
  2. ALL CONSTRUCTION TO BE PER 1997 U.B.C. UNLESS OTHERWISE NOTED
  3. WOOD FRAMING
    - A. RE. TRUSS DETAIL FOR FRAMING
    - B. ALL FRAMING MEMBERS SHALL BE SPRUCE-PINE-FUR STUD GRADE OR BETTER WITH THE FOLLOWING DESIGN VALUES
      - F<sub>b</sub> = 675 PSI
      - F<sub>v</sub> = 325 PSI
      - F<sub>c</sub> = 70 PSI
      - E<sub>c</sub> = 675 PSI PARALLEL
      - E<sub>c</sub> = 1,200,000 PSI
  - C. ROOF SHEATHING SHALL BE PER SCHEDULE, STAGGER LAYOUT (APA COND. 1).
  - D. EXTERIOR WALL SHEATHING SHALL BE "DURATEMP" FASTENED TO FRAMING PER STANDARD GARAGE ROOF & WALL SHEATHING NAILING SCHEDULE.
  - E. NAILING SCHEDULE
- STUD TO TOP PLATE 2-16d AT 16"  
 DEL. PLATE SPRUCE 16d AT 16"  
 DEL. HEADER 16d AT 16"  
 HEADER TO STUD 6-8d
4. ROOFING
    - A. 20 YEAR ASPHALT/FLYSHING SHINGLES
    - B. 15 M. ROOFING FELT
    - C. TYPE D METAL FLASHING AND DRIP EDGES REQUIRED ALL SIDES (ROOF GUTTERS AND DOWNSPOUTS REQUIRED FOR UNITS LARGER THAN 400 S.F.)
  5. GENERAL
    - A. ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, STREETS, UTILITIES, ETC.
    - B. BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.

**ROOF SHEATHING SCHEDULE**  
 APA STRUCTURAL I OR II  
 PANEL THICKNESS = 15/32"  
 SPAN RATING 24/18  
 LONG DIM. PERPENDICULAR TO TRUSSES  
 FOR L<sub>1</sub> > 55 PSF @ 24" SPAN  
 USE 3/4" P.W. WITH 8d @ 6"  
 SUPPORT NAILING SPAN RATING 48/24



NOTICE: All specifications must be read on each sheet at all times and it is understood to be subject to change or alterations from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



TITLE: <b>TS-3 STANDARD 'GARAGE' UNIT</b>		PROJECT NO. 2585	
DRAWN BY: <b>DB</b>		DATE: 5/4/98	
CHECKED BY: <b>JD</b>		DRAWN BY: <b>DB</b>	
REF. DWG: SHED-1		DATE: 5/4/98	

1777 S. HARRISON STREET SUITE 600  
 DENVER, CO 80210  
 (303) 753-8833

**TUFF SHED, INC.**  
 RICHARD WEINGARTD  
 CONSULTANTS