

CITY PLANNING COMMISSION
 1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Allied-Langdon Eng P O Box 2077, Citrus Heights, CA 95611		
OWNER	Duane M. McCarley, 8788 Greenback Lane, #1030, Orangevale, CA 95662		
PLANS BY	Applicant		
FILING DATE	1-13-89	ENVIR. DET. Neg. Dec.	REPORT BY DH:sg
ASSESSOR'S PCL. NO.	021-324-012		

- APPLICATION:
- A. Negative Declaration
 - B. Tentative Map to divide 1+ vacant acres into 12 townhouse lots and one common lot in the R-1A Zone.
 - C. Special Permit to develop 12 townhouse units in the R-1A Zone.

LOCATION: 4780 67th Street

PROPOSAL: The applicant is requesting the necessary entitlements to develop 12 townhouse units on 1.0+ vacant acres in the R-1A Zone.

PROJECT INFORMATION:

1988 General Plan Designation:	Low Density Residential (4-15 du/net acre)
Existing Zoning of Site:	R-1A
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
		North: Single Family; R1	Front:
South: Single Family; R1	Side(Int):	by	15'
East: Single Family; R1	Side(St):	Commission	15'
West: Single Family; R1	Rear:		

Parking Required:	18 spaces at 1 1/2 spaces per unit:
Parking Provided:	27 spaces
Property Dimensions:	Irregular
Property Area:	1+ acres
Density of Development:	12.5 d.u. per acre
Square Footage of Building:	Unit A-1,155 sq. ft.; Unit B-941 sq. ft.
Height of Building:	2 stories; 27 feet
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Exterior Plywood Panelling; wood trim, horizontal lap siding
Roof Material:	Composition Shingle

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On April 26, 1989 by a vote of 6 ayes and 3 absent, the Subdivision Review Committee Recommended approval of the tentative map subject to conditions which follow.

PROJECT BACKGROUND:

The subject site was previously approved for a 12 unit townhouse development and one common lot by the City Council on January 14, 1986. The Special Permit and Tentative Map have expired (P85-446). The applicant has revised the previous request to reflect most of the concerns identified by staff.

PROJECT EVALUATION: Staff has the following comments:

A. Land use and Zoning:

The subject site is designated for Low Density Residential (4-15 du/net acre) on the 1988 General Plan. The site is zoned Single-Family Alternative (R-1A) Zone. Surrounding land uses are single family to the north, south and east with the 65th Street Expressway lying to the west and forming the western property line. The site is an irregularly shaped flag lot 200± feet wide along 65th Street expressway by 185 feet in depth. The site is vacant with several large trees located near the property lines.

B. Project Description:

The applicant proposes to establish a 12 unit townhouse development in the R-1A Zone on 1± vacant acres. A common lot A is proposed for all common yard and driveway areas and is to be maintained by a homeowners association. The Planning Commission and City Council determined in 1985 that due to the shape and constraints posed to the site, that a 12 unit townhouse development was an appropriate land use for the site. Individually owned units are compatible with the character of the surrounding single-family development.

C. Layout and Design:

The site plan shows three structures, one-6 unit townhouse building located near the 65th Street Expressway and two-3 unit townhouse structures. Each unit is two stories and has a two car garage. Exterior building materials include a mix of 6 inch horizontal lap siding and T-1-11 siding with composition shingles and wood trim.

Setbacks reflect the 15 feet from all property lines previously required under P-85-446. Landscaping and adequate private yard areas appear to be provided for all units. A six foot high solid board fence is shown along the north and east property lines. Staff recommends replacement or installation of a similar fence along the south property line adjacent to the driveway and remaining property.

The prior approval required recreational facilities including a lap pool in the common area. With the redesign to increase building setbacks from the property lines, the amount of landscaped area was reduced for common area. Staff observes that adjacent to the 3 common parking spaces along the south property line on area for a gazebo or barbecue and sand lots or play area is available. Staff recommends that under the special permit, the site plan be revised to show a common recreational area with amenities provided to the satisfaction of the Planning Director.

D. Noise

The subject site is impacted by peak hour noise from 65th Expressway. The City/County Health Department has indicated that interior noise can be reduced to acceptable levels without excessive expense. A sound study was required. The study indicates a 8 foot high masonry wall along 65th Expressway is required. Staff requests that the design of the wall be reviewed and approved by the Planning Director prior to issuance of building permits. A decorative masonry wall would be appropriate.

Plans for the project were routed to Traffic Engineering, Public Works and Police Departments. The Traffic Engineer request the driveway be 24 feet wide at the property line.

Detailed landscaping/irrigation plans will be required with building permit approval which indicate compliance with the 50 percent shading requirements.

E. Parkland Dedication

The Planning and Community Services Divisions have determined that parkland dedication in-lieu fees are appropriate. Fees will be based upon 0.1344 acres of land multiplied by the per acre value established by the applicant's appraiser. Acreage is based upon 12 units.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project as proposed will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects would occur:

- A. Prior to obtaining a building permit, the applicant shall obtain the requirements of the City Arborist for protecting vegetation during construction. The applicant shall incorporate such requirements into the project construction plan. Such plan shall be approved by the Environmental Coordinator prior to the issuance of a building permit.
- B. All windows and sliding glass doors shall be weatherstripped or mounted in low air-infiltration design frames meeting ANSI air infiltration standards.

- C. Air conditioning or other suitable means of ventilation shall be provided to allow occupants to close doors and windows for the required acoustical isolation.
- D. A property line noise barrier at least 8 feet in height shall be provided for patios the units located along the 65th Street Expressway.
- E. Property line noise barrier materials must be airtight and massive, with no significant gaps in construction. Acceptable materials include masonry block, concrete panels, and 1-1/2" lumber with caulked overlapping joints.
- F. Exterior walls of the units along the 65th Street Expressway which face that roadway shall include stucco or brick siding. If wood siding is used, an underlayer of wood fiber board shall be applied, and the interior walls shall be mounted to the studs by means of resilient channels.

Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be reprocessed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact due to the development of the project, additional mitigation measures may be required, or the applicant may be requested to prepare an Environmental Impact Report if identified impacts cannot be reduced to less than a significant level through mitigation.

STAFF RECOMMENDATIONS: Staff recommends the Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval of the tentative map subject to conditions which follow;
- C. Approve the Special Permit, subject to conditions and based upon Findings of Fact which follow.

Conditions- Tentative Map: The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code; Reconstruct any deteriorated public improvements.
2. Prepare a sewer and drainage study for the review and approval of the City Engineer; Water main required on Lot A shall be private.

3. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City and appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
4. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
5. Meet all County Sanitation District requirements;
6. No trees shall be removed unless approved by the City Arborist;
7. Assure rerouting of utility line to the satisfaction of the utility company. Eliminate easement on final map;
8. Provide Covenants, Conditions and Restrictions (CC & R's) for Lot A in a form acceptable to the City Attorney and Planning Director;
9. Dedicate Lot A common area as a public utility easement for overhead and underground electrical and public utility facilities and appurtenances except for those areas where structures or pool are located;
10. Applicant shall comply with mitigation measure required for Negative Declaration for P-89-063, on file at the City Planning Department. A note referencing this shall be placed on the face of the Final Map and in the deeds to all lots;
11. A eight foot high decorative noise barrier shall be constructed along the 65th Street Expressway frontage.

Special-Permit-Conditions

1. Exterior building materials shall consist of a mix of horizontal lap siding and vertical T-1-11 siding as proposed. Roofing shall be a heavy grade, 25 year minimum life, composition shingle earhttone in color or wood shake shingles. Stucco or brick siding or wood siding described in the mitigation measures is required on structures adjacent to 65th Street Expressway.

2. All common areas are to be landscaped and automatically irrigated.
3. No unenclosed dumpster or trash facilities are to be allowed. The trash enclosure shall meet ordinance requirements for design placement and screening. A roof or trellis shall be placed over the enclosure to screen the view from second story units. Landscaping is to be provided to screen the enclosure.
4. Private rear yards shall be established for each unit and shown on the final site plan.
5. A 6 foot high solid board fence shall be constructed along the south property line and comply with the height requirements and visibility requirements in the front yard area off 67th Street.
6. The applicant shall comply with mitigation measures listed in the Negative Declaration P-89-063 on file at the City Planning Department. An 8 foot high solid decorative sound wall shall be reviewed prior to construction by the Planning Director for the 65th Street Expressway frontage.
7. The applicant shall provide recreational amenities such as a gazebo, or barbecue or sand lot for the approval of the Planning Director.
8. Flood Note - Condition: The property on which construction is authorized by this permit may be subject to flooding. It is the applicants and property owners responsibility to ascertain whether and to what extent such flooding may occur, and to review the applicable base flood elevations for the proposed project which are contained in the effective Flood Insurance Rate Map; the Department of the Sacramento District Corps of Engineers, Sacramento, California, Flood Insurance Study for the Sacramento City and County of California, FBFM and FIRM work map, dated January 1989; and, all preliminary flood maps available at the City of Sacramento's Planning Division.

The Federal Emergency Management Agency and the U.S. Army Corps of Engineers ("Corps") are studying portions of the City of Sacramento to determine what improvements and measures may be needed in order to deem the areas under study adequately protected from a 100 year flood. Until the needed improvements and measures are in place, the areas under study

may be subject to flooding by a 100 year or lesser flood. (A "100 year flood" refers to the area subject to inundation by flooding once during any given 100 year cycle; however, such flooding could occur in any given year.) The applicant and property owners should check with the local Corps to ascertain the status of its ongoing study and the projected completion date of any flood control project which might affect the proposed development. Flood insurance may be mandatory in all areas not protected from a 100 year flood, and the City of Sacramento recommends obtaining such insurance whether it is mandated or not.

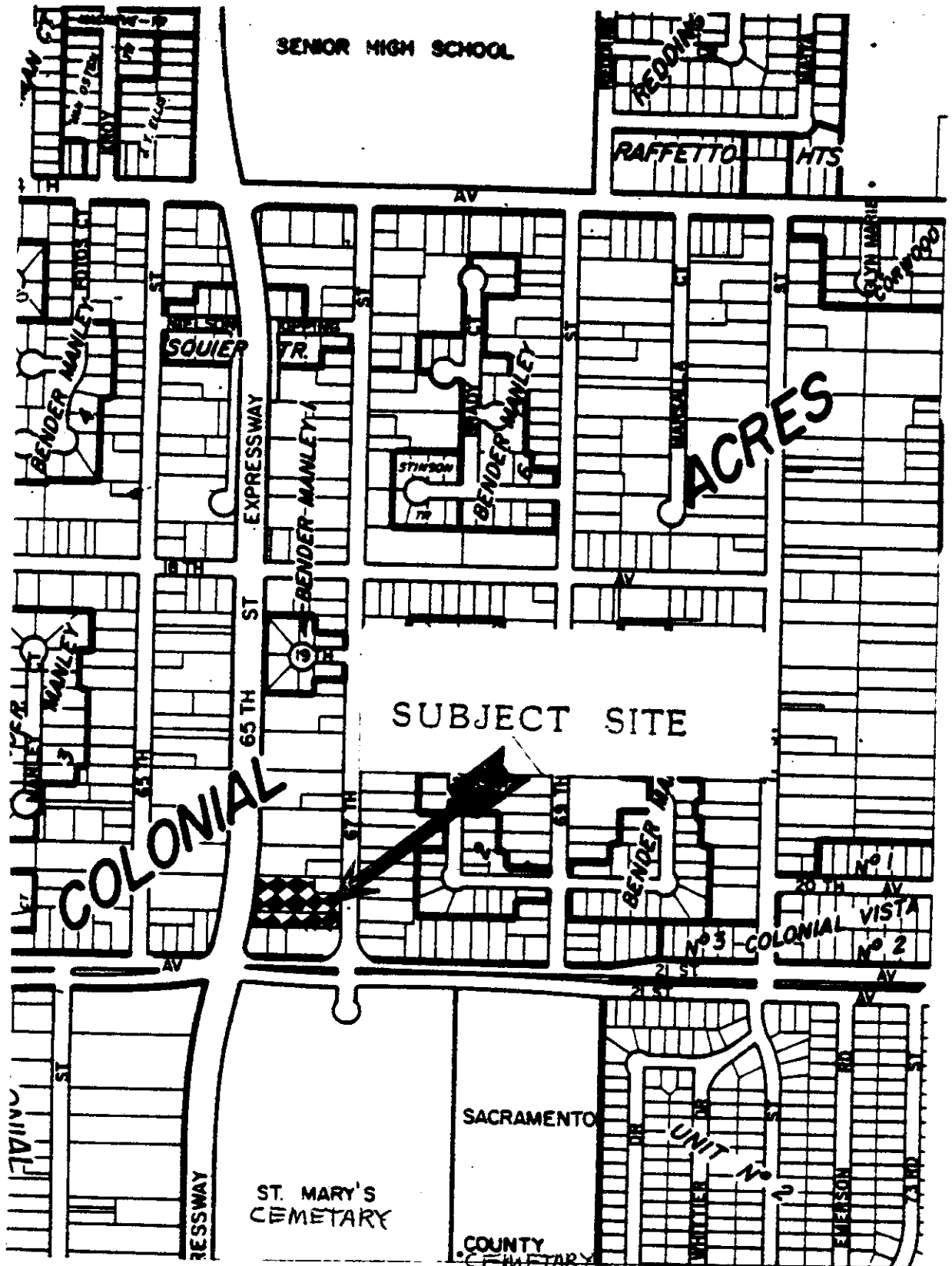
If the investigation of the nature of the flood hazard indicates that the property is at risk, it is the applicant and property owners' responsibility to ensure that all persons holding a record title interest in the property, and all subsequent owners, tenants, occupants and other interested parties receive notice, as required under applicable law, of the flooding risk to which the property may be subject.

This notice is intended to ensure that those persons choosing to develop property in an area subject to flooding have knowledge and the means of acquiring knowledge of the particular risks involved in such development.

This notice shall not create liability on the part of the City of Sacramento, or any of its officers, agents or employees for any damages to persons or property caused by flooding.

Findings of Fact Special Permit

1. The project, as conditioned, is based upon sound principles of land use, in that it is compatible in density and character with surrounding single family development.
2. The project, as conditioned, will not be detrimental to public health, safety or welfare or result in the creation of a nuisance, in that:
 - a. adequate on-site parking is provided;
 - b. adequate landscaping is provided;
 - c. adequate setbacks are provided.
3. The project, as conditioned, is consistent with the 1988 General Plan which designates the site for residential uses.



SUBJECT SITE

SENIOR HIGH SCHOOL

RAFFETTO HTS

COLONIAL

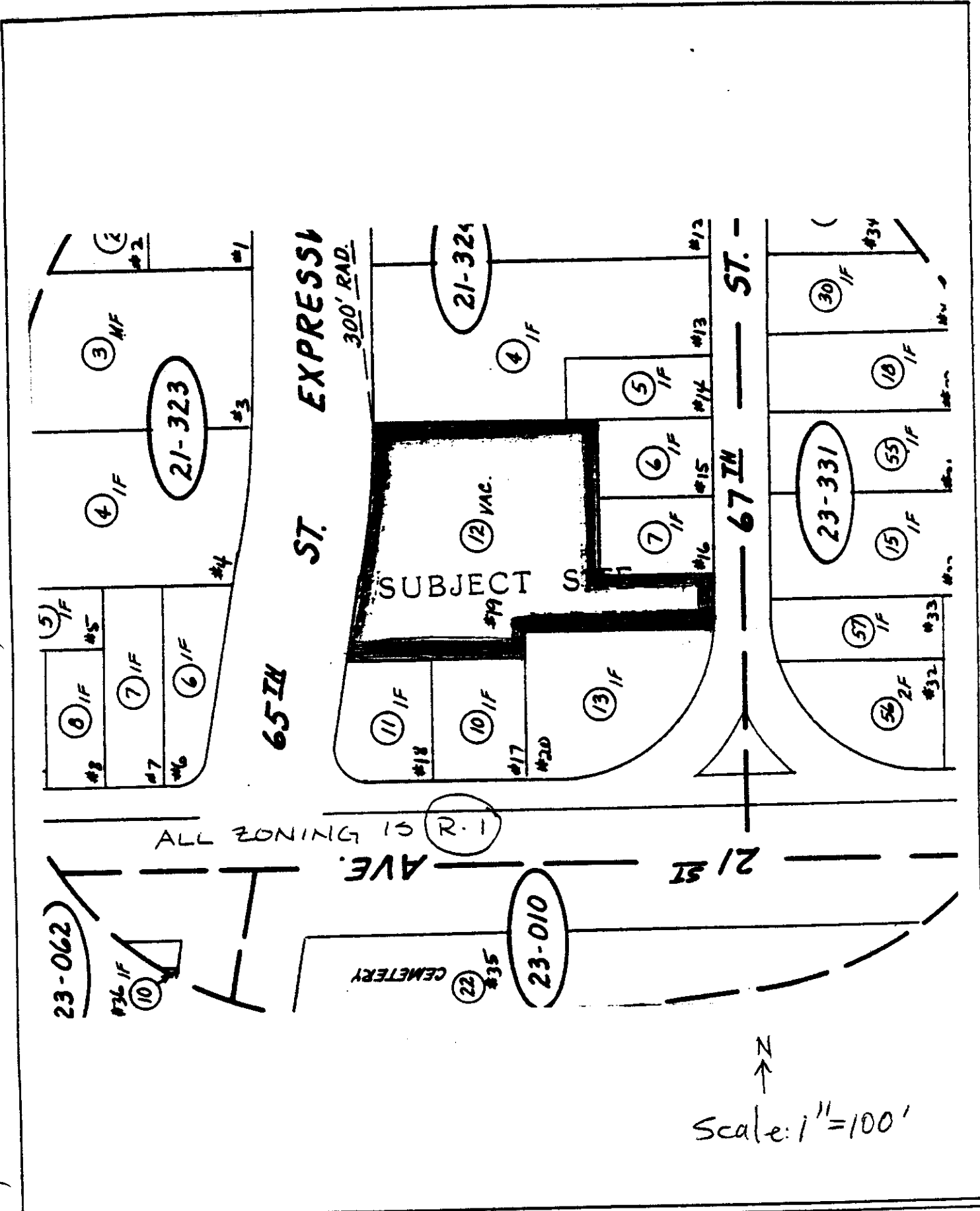
ACRES

ST. MARY'S CEMETARY

SACRAMENTO COUNTY CEMETARY

Scale: 1" = 500'

VICINITY MAP



ALL ZONING IS R-1
 1. R. 1. 51 77A

N
 Scale: 1" = 100'

LAND USE & ZONING MAP

LEGAL DESCRIPTION

PRELIMINARY MAP FILING REPORT

ORDER NO. 73775-AZ

The land referred to in this Report is situated in the State of California, County of Sacramento, City of Sacramento, and is described as follows:

All that portion of Lots 94 and 95, as shown on the "Plat of Colonial Acres", recorded in Book 13 of Maps, Map No. 17, records of said County, described as follows:

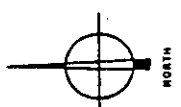
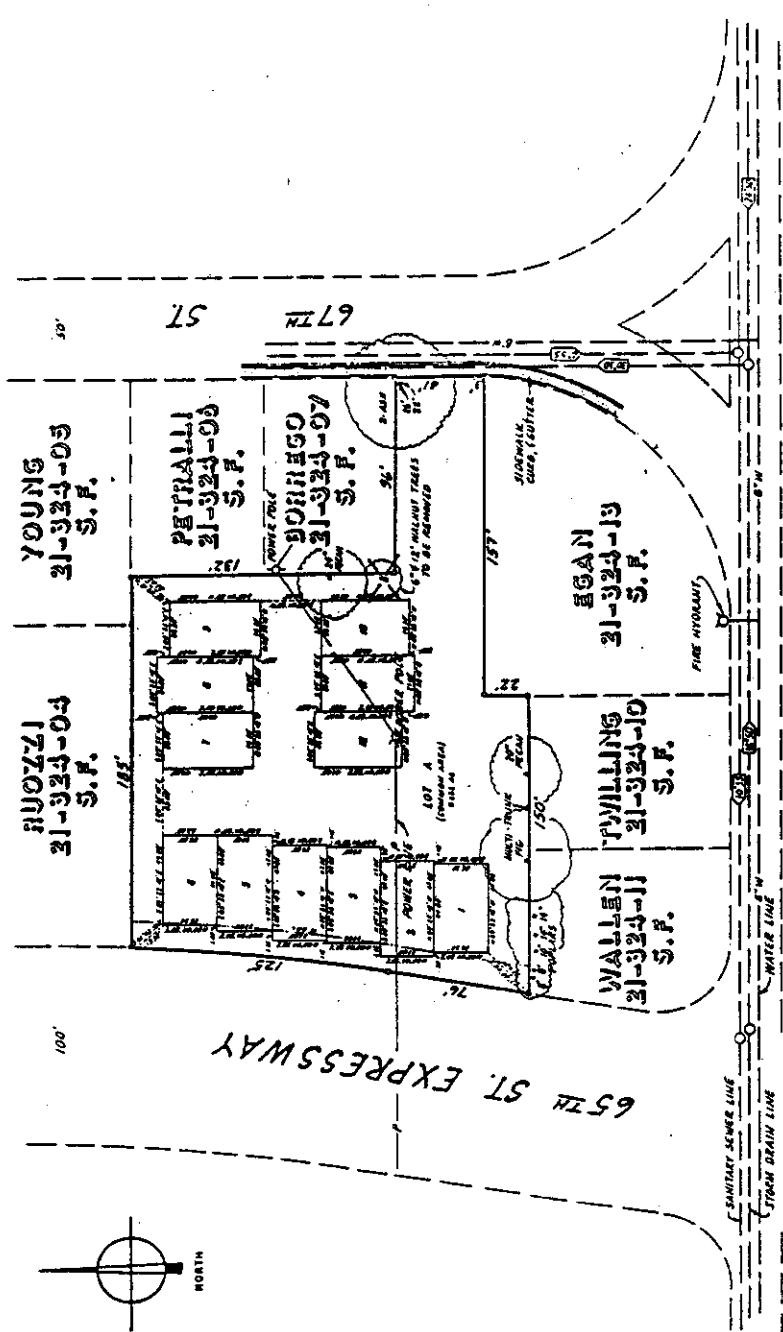
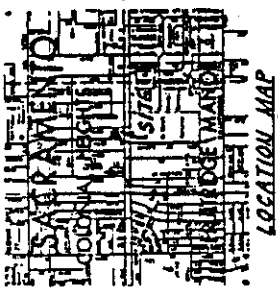
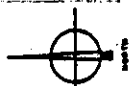
Beginning at a point in the North line of said Lot 94, from which the Northwest corner of said Lot 94 bears North 89° 55' 30" West 48.87 feet; thence from said point of beginning, along the North line of said Lot 94, South 89° 55' 30" East 185.13 feet; thence leaving said North line South 00° 05' 30" East 132.00 feet to the North line of said Lot 95; thence along the North line of said Lot 95 South 89° 55' 30" East 96.00 feet to the Northeast corner of said Lot 95; thence South 00° 05' 30" East 41.10 feet; thence curving to the right on an arc having a central angle of 01° 19' 45" and a radius of 125.00 feet, said arc is subtended by a chord bearing South 00° 34' 23" West 2.90 feet; thence North 89° 55' 30" West 156.97 feet; thence South 00° 05' 30" East 22.49 feet; thence North 89° 58' 00" West 149.68 feet; thence North 09° 21' 55" East 75.54 feet; thence curving to the left on an arc having central angle of 06° 48' 30" and a radius of 1050.00 feet, said arc is subtended by a chord bearing North 05° 57' 40" East 124.70 feet to the point of beginning. Being further described as Parcel 1 of the Certificate of Compliance Recorded August 24, 1979 in Book 79-08-24 of Official Records at Page 1206.

P 89063

P-89-063

5-11-89

item 10



OWNER & DEVELOPER : MCCARLEY CONSTRUCTION CO. 1300 COLONIAL VILLAGE SUITE 103 BRANFORDVILLE, CA 95822 (916) 918-5118

ENGINEER : ALLIED-LANGDON ENGINEERING P.O. BOX 10777 SACRAMENTO, CA 95811 (916) 959-7533

APN : 21-324-13

CLOSE AREA : 0.95 AC.

EXIST. ZONING : R-1-A

EXIST. USE : VACANT

PROP. USE : 12 UNIT CONDOMINIUM

WATER : CITY OF SACRAMENTO

SEWER : CITY OF SACRAMENTO

PARK DIST. : CITY OF SACRAMENTO

FIRE DIST. : CITY OF SACRAMENTO

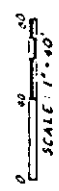
SCHOOL DIST. : SACRAMENTO CITY UNIFIED

PRIOR APPLIC. : P-85118

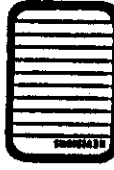
TENTATIVE SUBDIVISION MAP
"COLONIAL VILLAGE TOWNHOUSES"

PORTIONS OF LOT 94 & 95
 COLONIAL ACRES (13.8M 17)
 CITY OF SACRAMENTO, CALIFORNIA
 JANUARY, 1989 SCALE: 1"=40'

ALLIED-LANGDON ENGINEERING
 CITRUS HEIGHTS



7899001



LARRY J. ROSENBERG
ARCHITECT
800 GENEVIEVE WAY SUITE 10
ROSEVILLE CALIFORNIA 95747
916-782-9094
COLONIAL VILLAGE
PLANNING SERVICES

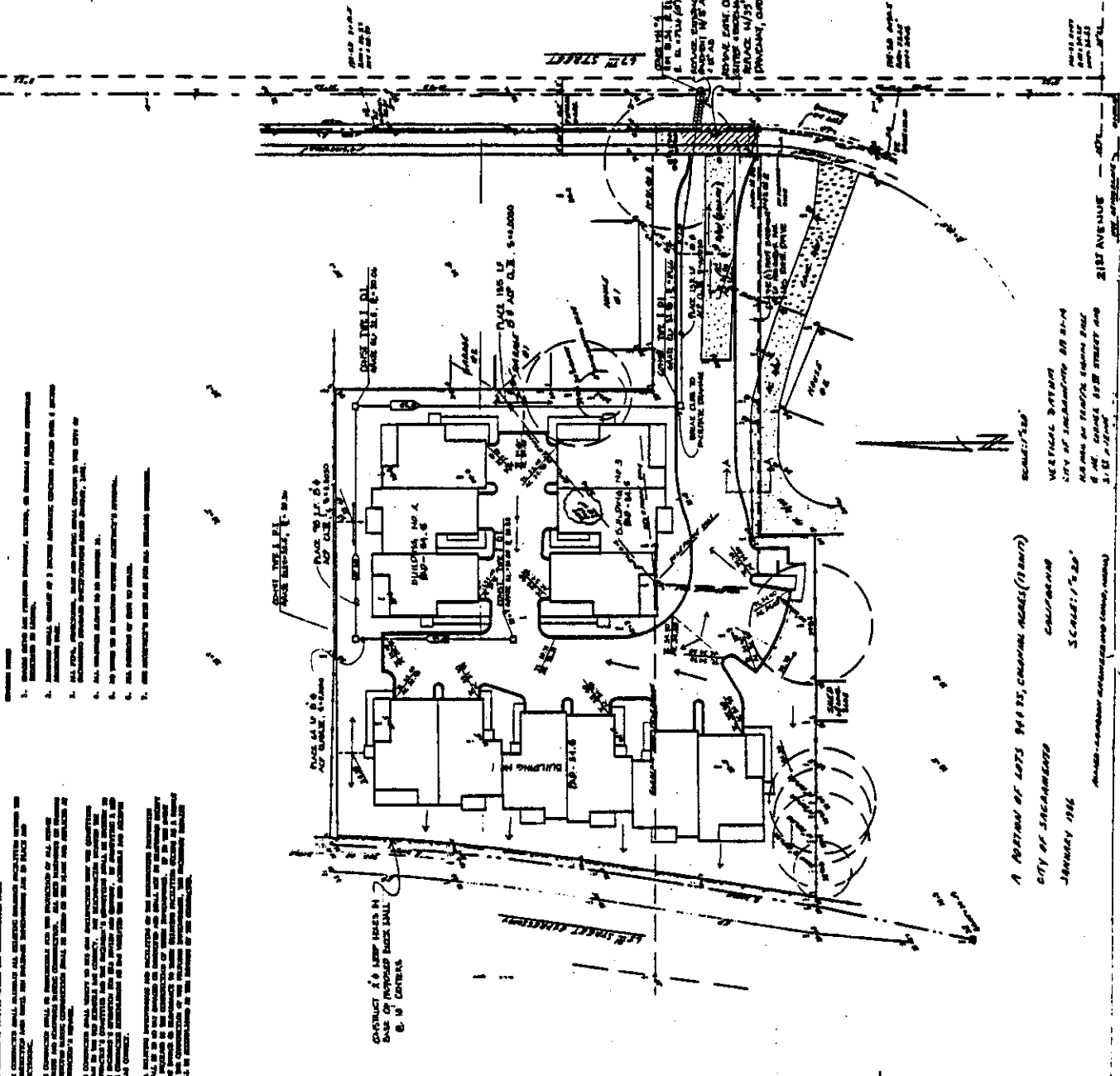


PHILLIP TODD ASSOCIATES
PLANNING SERVICES/ENVIRONMENTAL
2111 7th Street
San Francisco, CA 94115

5132
SITE GRADING & DRAINAGE PLAN
DATE: 11-11-89
BY: PHILLIP TODD

5132
SHEET NO. 12
DATE: 11-11-89

DATE: 11-11-89
BY: PHILLIP TODD



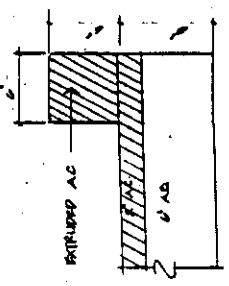
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VERTICAL DATUM
CITY OF SACRAMENTO
8.00' ABOVE TYPICAL FINISH GRADE
8.00' ABOVE 8TH STREET AND
3.15' ABOVE 1ST STREET

SCALES: 1" = 20'
1" = 40'

A PORTION OF LOTS 84 & 85, CHARNAL ACRES (PART)
CITY OF SACRAMENTO
JANUARY 1986



TYPICAL SECTION A-A
(NO SCALE)

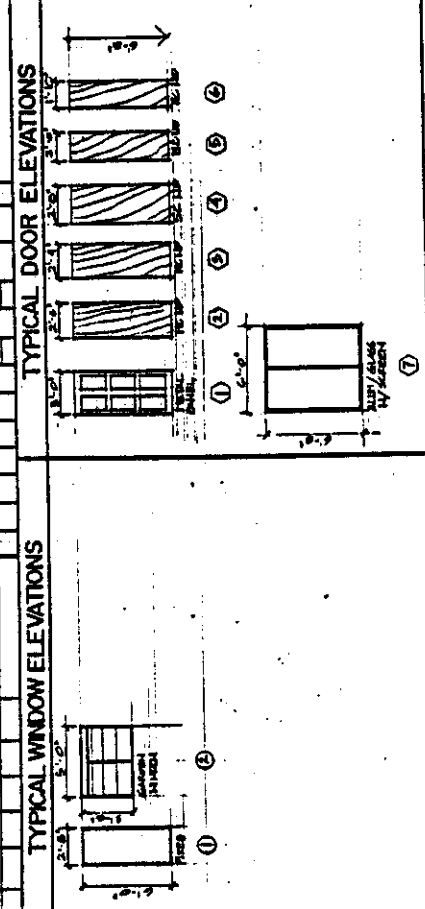
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, SAFETY, AND SECURITY OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES IN GOOD WORKING ORDER AND SHALL BE RESPONSIBLE FOR THE PROTECTION, SAFETY, AND SECURITY OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES IN GOOD WORKING ORDER AND SHALL BE RESPONSIBLE FOR THE PROTECTION, SAFETY, AND SECURITY OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE.

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ROOM FINISH SCHEDULE

NO.	PART SCHEDULE	FLOOR	WALLS	CEILING	DOOR & CASEWORK	REMARKS
1	PAINT SCHEDULE					
2	WOOD JOIST					
3	CEILING					
4	WALL & CASE					
5	WALL & CASE					
6	WALL & CASE					
7	WALL & CASE					
8	WALL & CASE					
9	WALL & CASE					
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11	WALL & CASE					
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14	WALL & CASE					
15	WALL & CASE					
16	WALL & CASE					
17	WALL & CASE					
18	WALL & CASE					
19	WALL & CASE					
20	WALL & CASE					

WINDOW SCHEDULE		DOOR SCHEDULE	
NO.	TYPE	NO.	TYPE
1	6" x 6"	1	6" x 6"
2	6" x 6"	2	6" x 6"
3	6" x 6"	3	6" x 6"
4	6" x 6"	4	6" x 6"
5	6" x 6"	5	6" x 6"
6	6" x 6"	6	6" x 6"
7	6" x 6"	7	6" x 6"
8	6" x 6"	8	6" x 6"
9	6" x 6"	9	6" x 6"
10	6" x 6"	10	6" x 6"
11	6" x 6"	11	6" x 6"
12	6" x 6"	12	6" x 6"
13	6" x 6"	13	6" x 6"
14	6" x 6"	14	6" x 6"
15	6" x 6"	15	6" x 6"
16	6" x 6"	16	6" x 6"
17	6" x 6"	17	6" x 6"
18	6" x 6"	18	6" x 6"
19	6" x 6"	19	6" x 6"
20	6" x 6"	20	6" x 6"



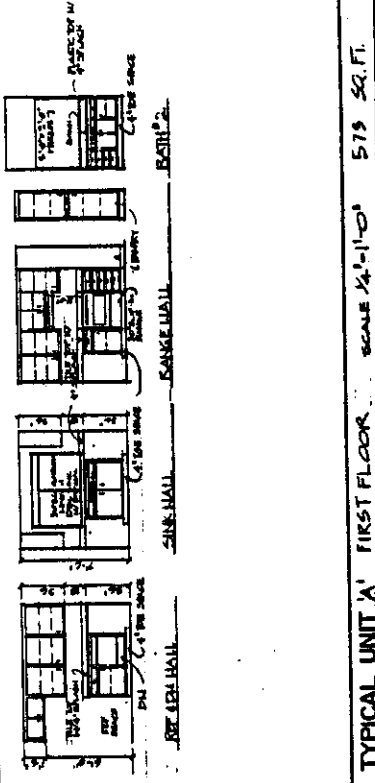
WINDOW NOTES

- 1) WINDOW DIMENSIONS ARE NOMINAL. GENERAL CONTRACTOR TO FIELD MEASURE ALL OPENINGS
- 2) ALL WINDOWS TO BE DUAL FRAME
- 3) SEE ELEVATIONS FOR PLACEMENT OF CAS

DOOR NOTES

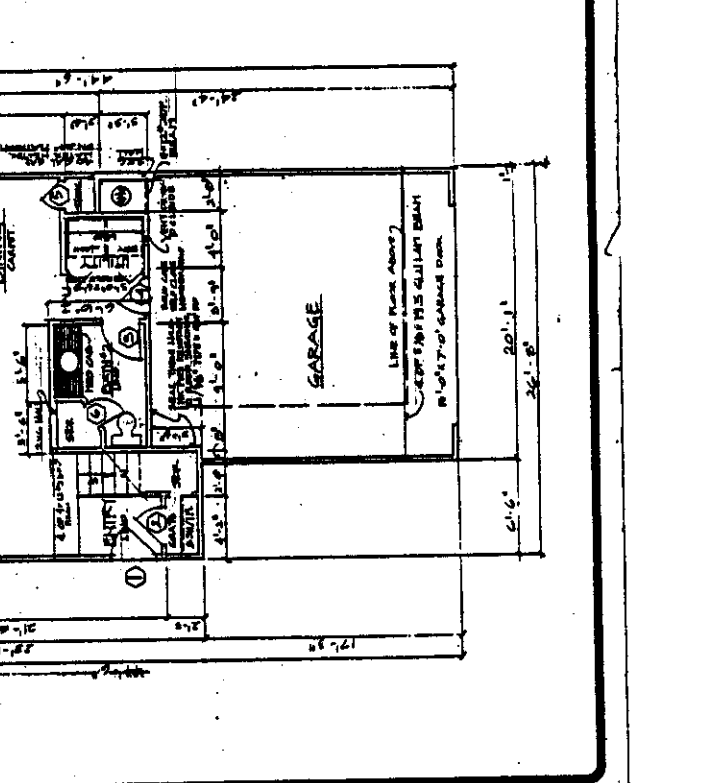
- 1) PROVIDE VENTS & WATERHEATER ROOF FOR CONTINUATION AIR AS PER THE IBC.
- 2) RECALL ALL PATIO DOORS PRIOR TO SHEAR PANEL INSTALLATION.

INTERIOR CABINET ELEVATIONS



SCALE 1/4" = 1'-0"

TYPICAL UNIT 'A' FIRST FLOOR SCALE 1/4" = 1'-0" 575 SQ. FT.



LABRY & CONSULTING

800 GREAT WALK SUITE D-0

ROSEVILLE CALIFORNIA

95678

(916) 788-9084

A-10 UNIT TOWNHOME

CONVINC VILLAGE

LABRY & CONSULTING

FRANK & LARRY FLOOR

FRANK & LARRY

FRANK & LARRY

FRANK & LARRY

DATE: APRIL 8, 1989

PROJECT: A-2

SCALE: AS SHOWN

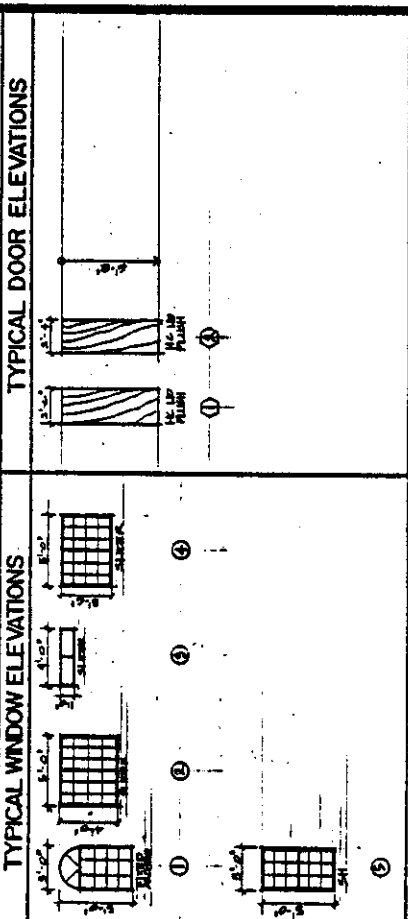
BY: [Signature]

ROOM FINISH SCHEDULE

NO.	FINISH SCHEDULE	FLOOR	WALLS	CEILING	DOOR	CASEWORK	REMARKS
1	1/2" GYP BOARD						
2	1/2" GYP BOARD						
3	1/2" GYP BOARD						
4	1/2" GYP BOARD						
5	1/2" GYP BOARD						
6	1/2" GYP BOARD						
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21	1/2" GYP BOARD						
22	1/2" GYP BOARD						
23	1/2" GYP BOARD						
24	1/2" GYP BOARD						
25	1/2" GYP BOARD						
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27	1/2" GYP BOARD						
28	1/2" GYP BOARD						
29	1/2" GYP BOARD						
30	1/2" GYP BOARD						
31	1/2" GYP BOARD						
32	1/2" GYP BOARD						
33	1/2" GYP BOARD						
34	1/2" GYP BOARD						
35	1/2" GYP BOARD						
36	1/2" GYP BOARD						
37	1/2" GYP BOARD						
38	1/2" GYP BOARD						
39	1/2" GYP BOARD						
40	1/2" GYP BOARD						
41	1/2" GYP BOARD						
42	1/2" GYP BOARD						
43	1/2" GYP BOARD						
44	1/2" GYP BOARD						
45	1/2" GYP BOARD						
46	1/2" GYP BOARD						
47	1/2" GYP BOARD						
48	1/2" GYP BOARD						
49	1/2" GYP BOARD						
50	1/2" GYP BOARD						

DOOR SCHEDULE

NO.	TYPE	SIZE	FINISH	REMARKS	DOOR FRAME	MARK ON	REMARKS
1	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
2	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
3	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
4	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
5	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
6	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
7	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
8	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
9	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
10	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
11	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
12	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
13	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
14	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
15	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
16	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
17	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
18	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
19	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
20	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
21	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
22	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
23	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
24	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
25	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
26	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
27	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
28	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
29	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
30	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
31	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
32	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
33	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
34	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
35	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
36	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
37	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
38	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
39	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
40	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
41	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
42	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
43	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
44	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
45	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
46	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
47	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
48	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
49	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	
50	1/2" GYP BOARD	3'0" x 7'0"	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	1/2" GYP BOARD	

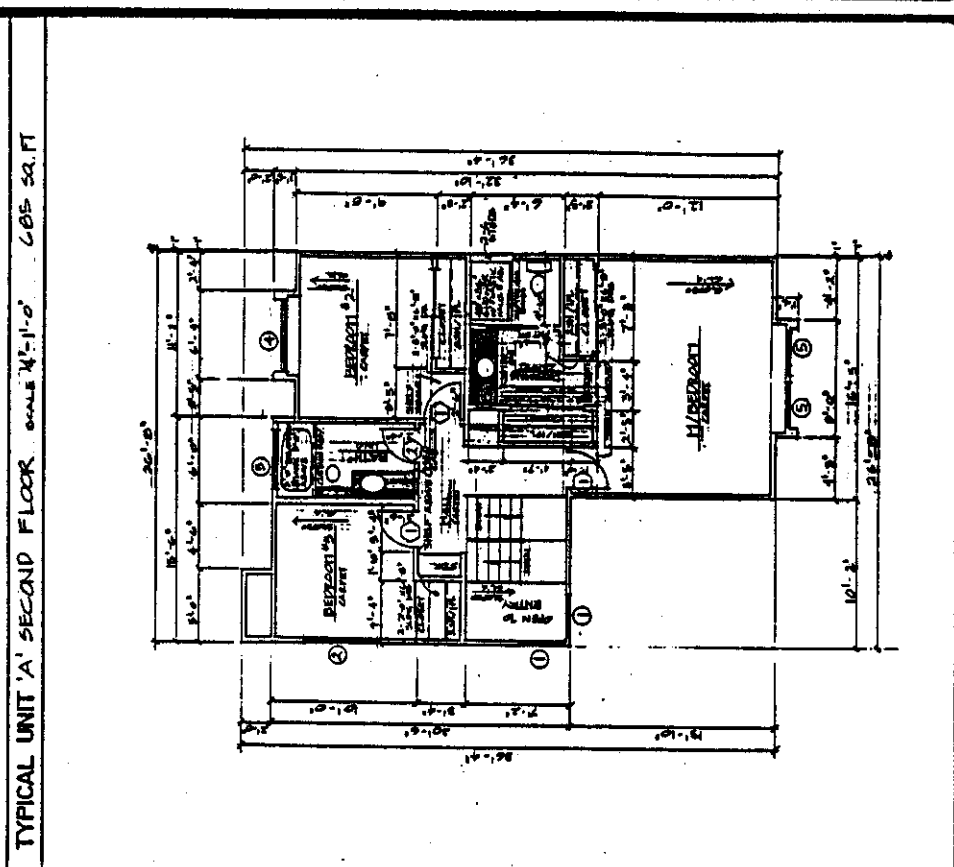
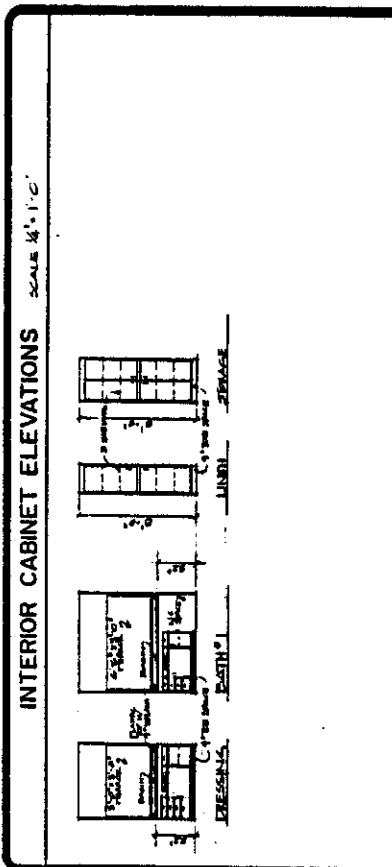


TYPICAL DOOR ELEVATIONS

WINDOW NOTES...

- 1) WINDOW DIMENSIONS ARE NOMINAL. GENERAL CONTRACTOR TO FIELD PERFORM ALL OPENINGS.
- 2) ALL WINDOWS TO BE DUAL PANE.
- 3) SEE ELEVATIONS FOR PLACEMENT OF GRIDS.

DOOR NOTES...



ARCHITECT

LARRY F. GONZALES

300 CREEK WAY SUITE 200

ROSEVILLE CALIFORNIA 95678

(916) 788-9084

CORNELL VILLAGE

A 15 UNIT TOWNHOUSE

REMODEL

NIGHT-TRAVEL

THE PLAN 'A' UPPER FLOOR PLAN

DATE: 5/11/89

BY: L.F.G.

SCALE: 3/4" = 1'-0"

SHEET NO. 10 OF 10

DATE: 5/11/89

PROJECT: A-3

P-89-063

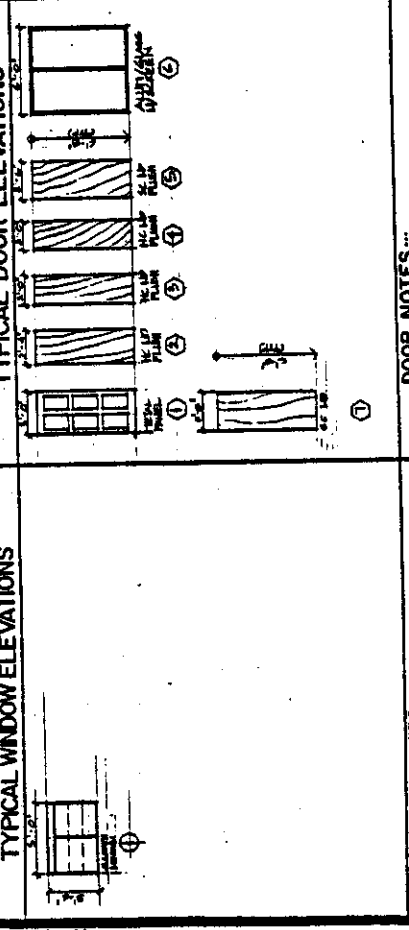
5-11-89

stem 10

ROOM FINISH SCHEDULE

NO.	PART DESCRIPTION	FLOOR				WALLS	CEILING	DOOR & CASING		REMARKS
		WOOD	PAINT	GLASS	CASING					
1	WOOD JOIST FINISH									
2	WOOD JOIST FINISH									
3	LAMINATE									
4	BRICK-FLAME EXTERMINAL									
5	BRICK-FLAME EXTERMINAL									
6	BRICK-FLAME EXTERMINAL									
7	BRICK-FLAME EXTERMINAL									
8	BRICK-FLAME EXTERMINAL									
9	BRICK-FLAME EXTERMINAL									
10	BRICK-FLAME EXTERMINAL									
11	BRICK-FLAME EXTERMINAL									
12	BRICK-FLAME EXTERMINAL									
13	BRICK-FLAME EXTERMINAL									
14	BRICK-FLAME EXTERMINAL									
15	BRICK-FLAME EXTERMINAL									
16	BRICK-FLAME EXTERMINAL									
17	BRICK-FLAME EXTERMINAL									
18	BRICK-FLAME EXTERMINAL									
19	BRICK-FLAME EXTERMINAL									
20	BRICK-FLAME EXTERMINAL									
21	BRICK-FLAME EXTERMINAL									
22	BRICK-FLAME EXTERMINAL									
23	BRICK-FLAME EXTERMINAL									
24	BRICK-FLAME EXTERMINAL									
25	BRICK-FLAME EXTERMINAL									
26	BRICK-FLAME EXTERMINAL									
27	BRICK-FLAME EXTERMINAL									
28	BRICK-FLAME EXTERMINAL									
29	BRICK-FLAME EXTERMINAL									
30	BRICK-FLAME EXTERMINAL									
31	BRICK-FLAME EXTERMINAL									
32	BRICK-FLAME EXTERMINAL									
33	BRICK-FLAME EXTERMINAL									
34	BRICK-FLAME EXTERMINAL									
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36	BRICK-FLAME EXTERMINAL									
37	BRICK-FLAME EXTERMINAL									
38	BRICK-FLAME EXTERMINAL									
39	BRICK-FLAME EXTERMINAL									
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42	BRICK-FLAME EXTERMINAL									
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52	BRICK-FLAME EXTERMINAL									
53	BRICK-FLAME EXTERMINAL									
54	BRICK-FLAME EXTERMINAL									
55	BRICK-FLAME EXTERMINAL									
56	BRICK-FLAME EXTERMINAL									
57	BRICK-FLAME EXTERMINAL									
58	BRICK-FLAME EXTERMINAL									
59	BRICK-FLAME EXTERMINAL									
60	BRICK-FLAME EXTERMINAL									

NO.	TYPE	SCHEDULE	SCHEDULE	DOOR SCHEDULE			REMARKS
				NO.	TYPE	REMARKS	
1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4
5	5	5	5	5	5	5	5
6	6	6	6	6	6	6	6
7	7	7	7	7	7	7	7
8	8	8	8	8	8	8	8
9	9	9	9	9	9	9	9
10	10	10	10	10	10	10	10
11	11	11	11	11	11	11	11
12	12	12	12	12	12	12	12
13	13	13	13	13	13	13	13
14	14	14	14	14	14	14	14
15	15	15	15	15	15	15	15
16	16	16	16	16	16	16	16
17	17	17	17	17	17	17	17
18	18	18	18	18	18	18	18
19	19	19	19	19	19	19	19
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46	46	46	46	46	46	46	46
47	47	47	47	47	47	47	47
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50	50	50	50	50	50	50	50



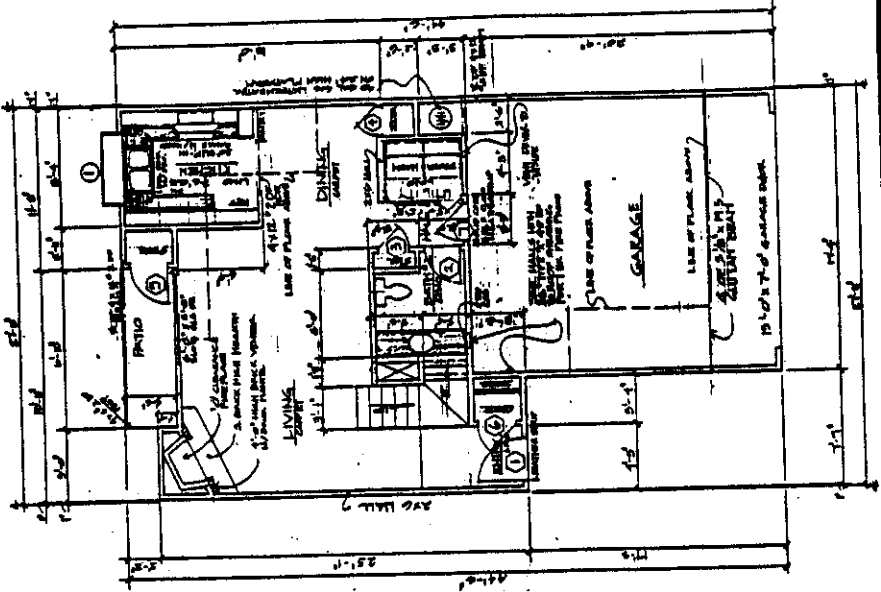
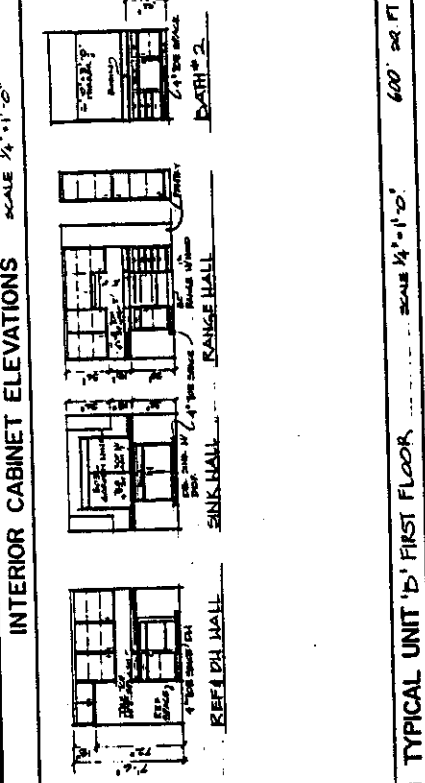
WINDOW NOTES...

- 1) WINDOW OPERATIONS AS PER MANUFACTURER'S GENERAL CONTRACTOR.
- 2) ALL WINDOWS TO BE DUAL PANE.
- 3) SEE ELEVATIONS FOR PLACEMENT OF GRIPS.

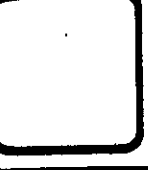
DOOR NOTES...

- 1) PROVIDE VENTS & WATER-RESISTANT ROOF FOR CONSTRUCTION AS PER THE UDC.
- 2) INSTALL ALL PATIO DOORS FROM TO SHEAR PANEL INSTALLATION.

INTERIOR CABINET ELEVATIONS



LANT & BOUTHERN
ARCHITECTS
800 CHERRY WAY SUITE 0
ROSEVILLE CALIFORNIA 95678
(916) 798-9084
2525 BAYVIEW BLVD SUITE 100
ROSEVILLE CALIFORNIA 95678



PHILLIP TROO & ASSOC.
1000 S. MAIN ST. SUITE 100
ROSEVILLE CALIFORNIA 95678
(916) 798-9084

DATE: APRIL 11, 1989
PROJECT: TYPICAL UNIT B, LOWER FLOOR PLAN
SHEET: 47-6
SCALE: AS NOTED
DRAWN BY: [Signature]

2-89-063

68-11-5

10

ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR	WALLS	CEILING	DOOR	CASEWORK	REMARKS
1	HALL	1	1	1	1	1	
2	HALL	2	1	1	1	1	
3	HALL	3	1	1	1	1	
4	HALL	4	1	1	1	1	
5	HALL	5	1	1	1	1	
6	HALL	6	1	1	1	1	
7	HALL	7	1	1	1	1	
8	HALL	8	1	1	1	1	
9	HALL	9	1	1	1	1	
10	HALL	10	1	1	1	1	
11	HALL	11	1	1	1	1	
12	HALL	12	1	1	1	1	
13	HALL	13	1	1	1	1	
14	HALL	14	1	1	1	1	
15	HALL	15	1	1	1	1	
16	HALL	16	1	1	1	1	
17	HALL	17	1	1	1	1	
18	HALL	18	1	1	1	1	
19	HALL	19	1	1	1	1	
20	HALL	20	1	1	1	1	

WINDOW SCHEDULE

NO.	TYPE	SIZE	LOCATION	REMARKS
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5

DOOR SCHEDULE

NO.	TYPE	SIZE	LOCATION	REMARKS
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5

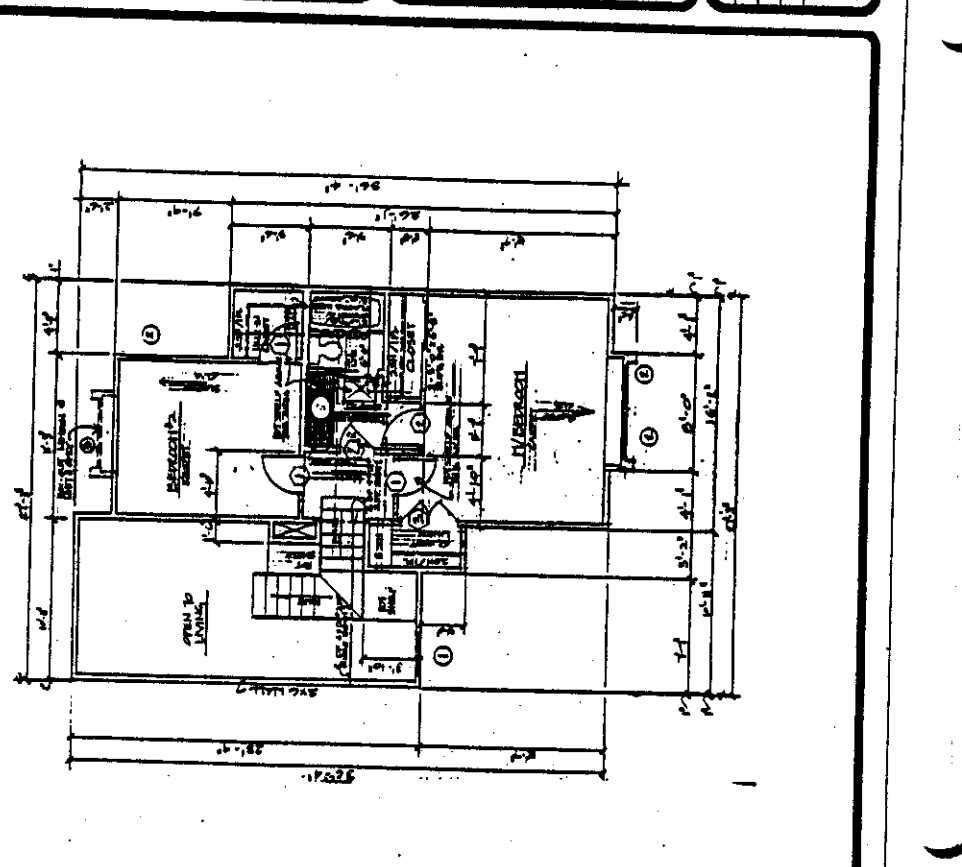
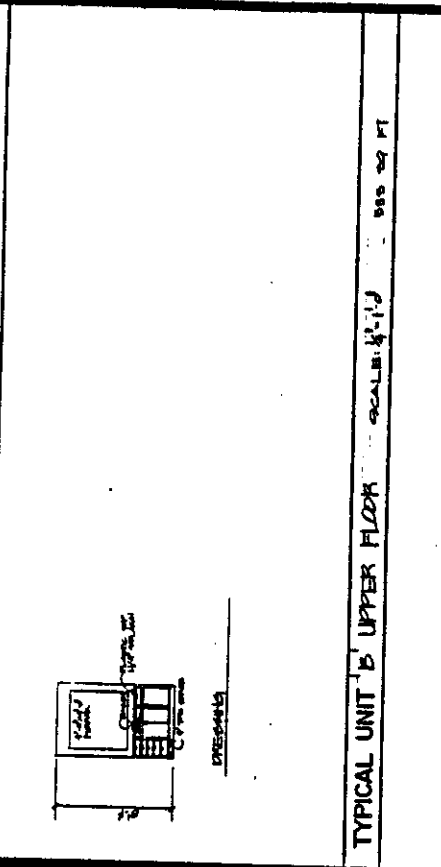
WINDOW NOTES

1. LOCAL REQUIREMENTS AND MATERIALS SHALL BE OBTAINED FROM THE ARCHITECT.
2. ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.
3. ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.

DOOR NOTES

1. LOCAL REQUIREMENTS AND MATERIALS SHALL BE OBTAINED FROM THE ARCHITECT.
2. ALL DOORS TO BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.
3. ALL DOORS TO BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.

INTERIOR CABINET ELEVATIONS



LARRY & SONS
ARCHITECTS
300 CREEK WAY SUITE 10
ROSELLE CALIFORNIA 90084
(909) 798-0044
C/O VILLAGE DEVELOPMENT



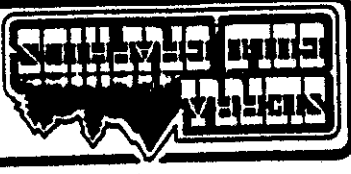
TR UNIT 'B' UPPER FLOOR PLAN
DATE: 11-11-88
SCALE: 1/8" = 1'-0"

DATE: 11-11-88
SCALE: 1/8" = 1'-0"

DATE: 11-11-88
SCALE: 1/8" = 1'-0"

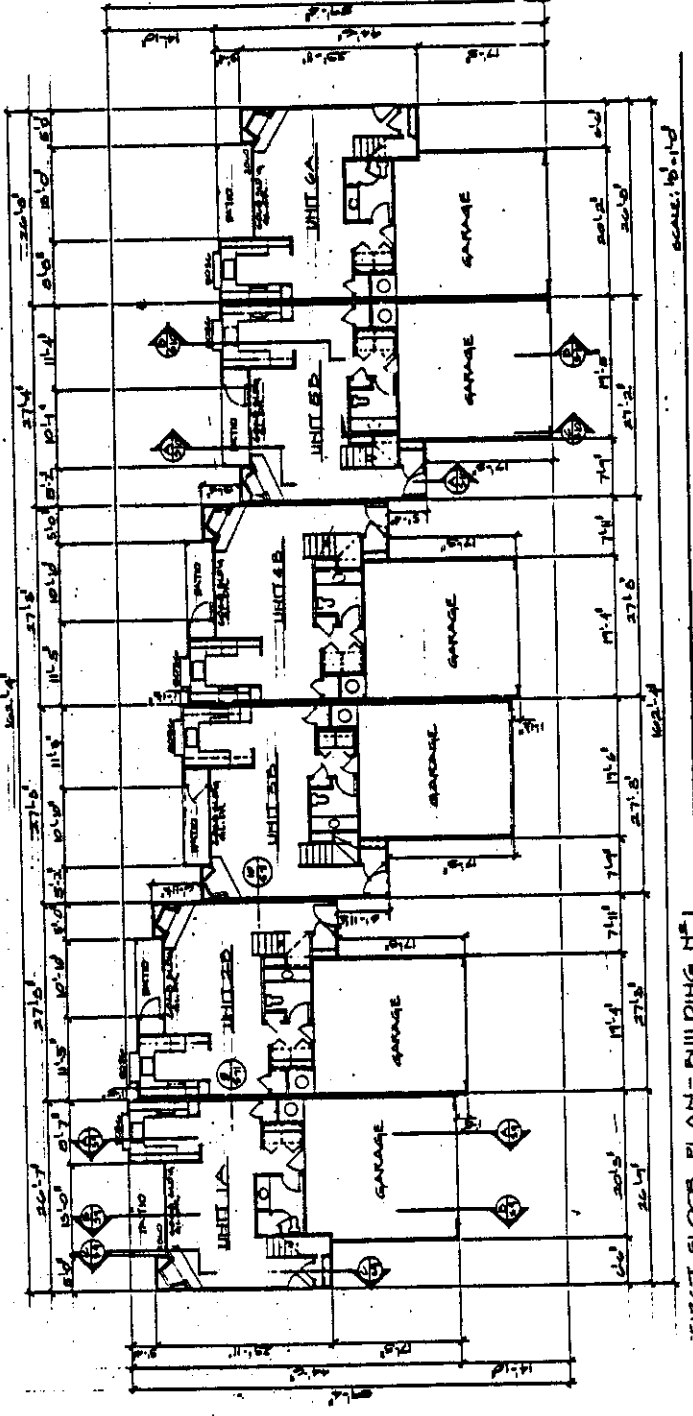
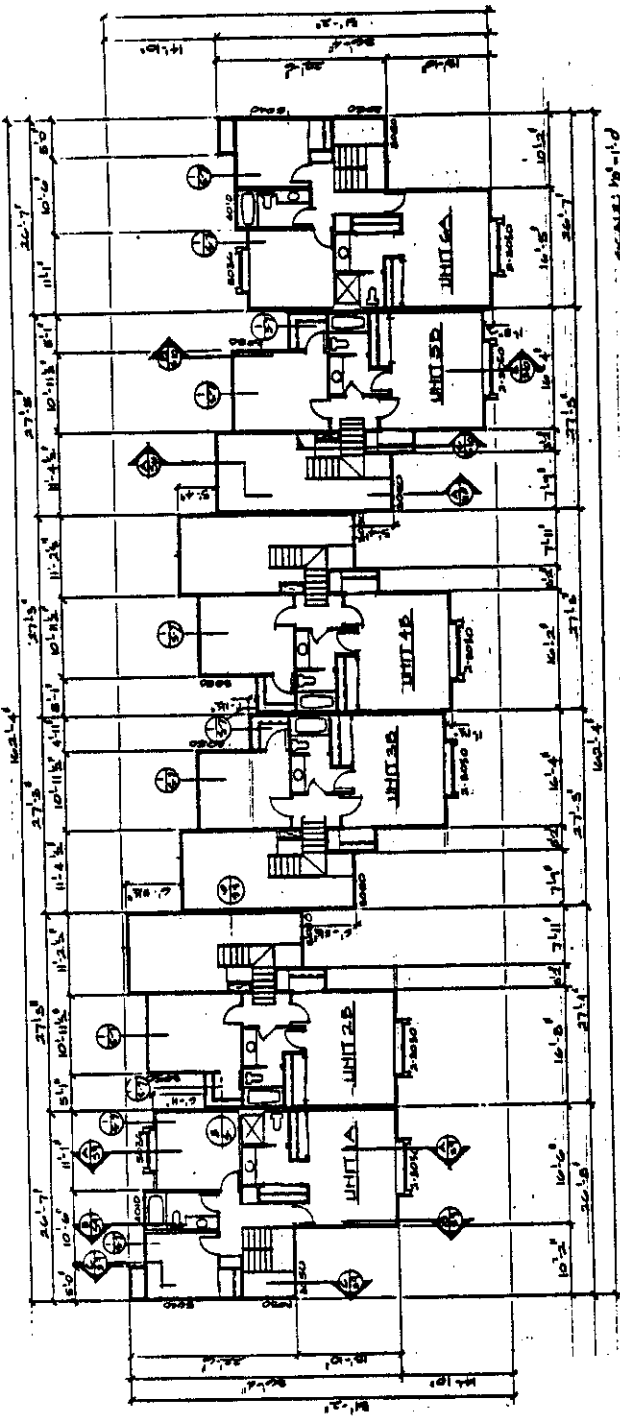


LARRY J. ROBERTSON
 ARCHITECT
 800 CRYSTAL WAY SUITE 10
 ROSHARON CALIFORNIA 91370
 (818) 782-0984



5th FLOOR PLAN
 DULCITA #1
 PHILIP TODD HALL
 BALL BEANS / BEANERS
 (62) 44-2000
 (62) 44-2000

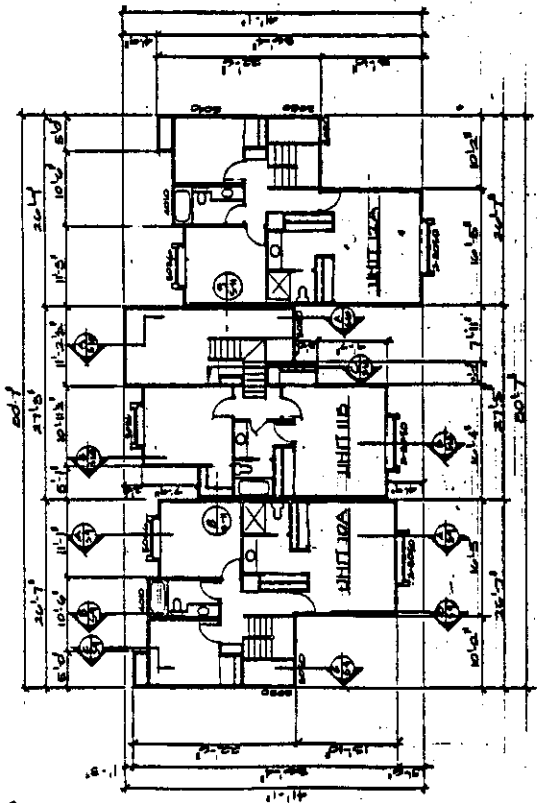
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P-89-063

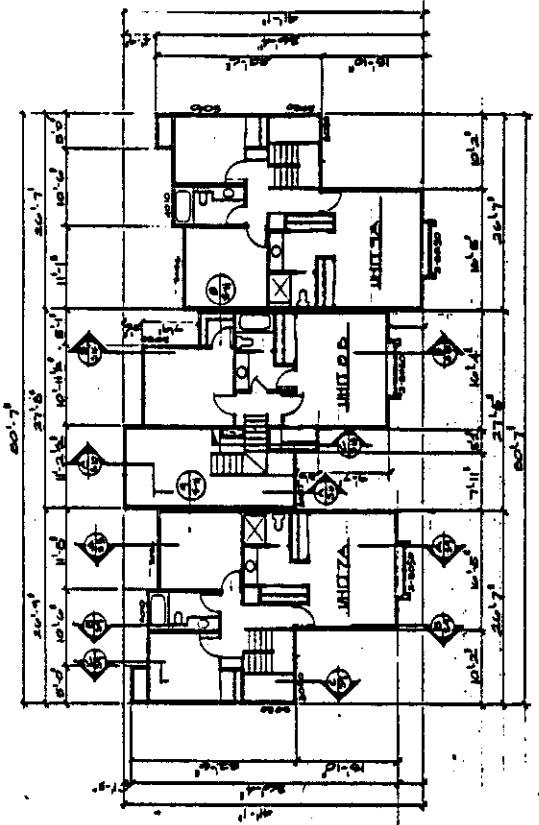
5-11-89

item 10



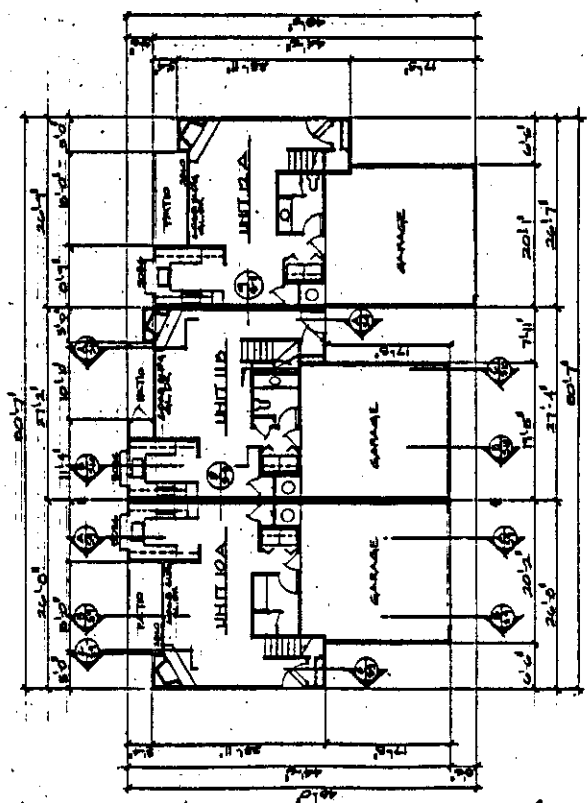
SECOND FLOOR PLAN - BUILDING # 3

SCALE: 1/8" = 1'-0"



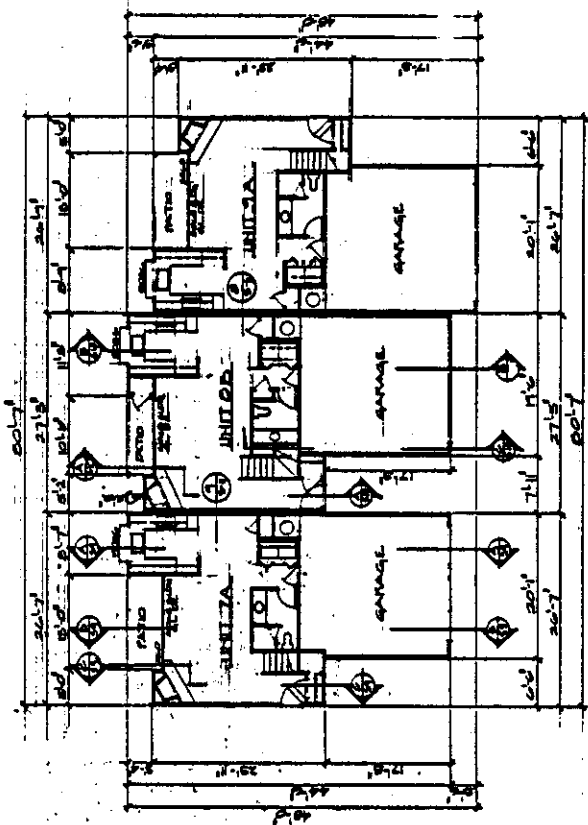
SECOND FLOOR PLAN - BUILDING # 2

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING # 3

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING # 2

SCALE: 1/8" = 1'-0"



LARRY & SON
ARCHITECTS
800 CRYSTAL WAY SUITE - D
ROSEVILLE CALIFORNIA 95678-9004
TELEPHONE (916) 780-9004
FAX (916) 780-9004
A FULL SERVICE ARCHITECTURAL FIRM
SERVING THE COMMUNITY



PHILIP TODD ASSOCIATES
BUILDING # 1 & 2
NO. 574
1400 17th Street
San Francisco, CA 94103
Tel: 415.774.1000
Fax: 415.774.1000

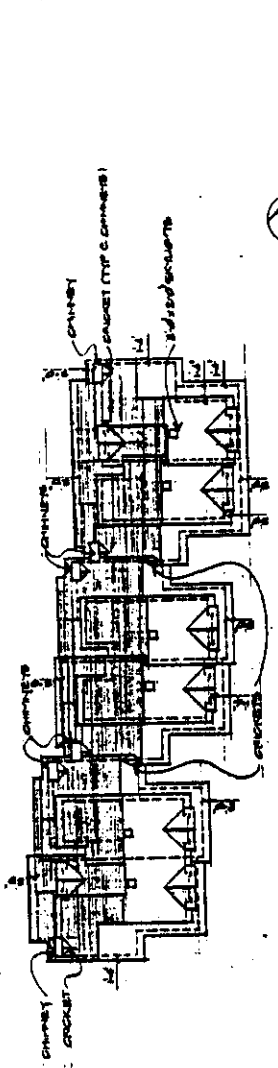
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BY: PHILIP TODD
CHECKED: PHILIP TODD
SCALE: AS SHOWN
PROJECT: BUILDING # 1 & 2
SHEET: A-7

DATE: APRIL 15, 1989
BY: PHILIP TODD
CHECKED: PHILIP TODD
SCALE: AS SHOWN
PROJECT: BUILDING # 1 & 2
SHEET: A-7

P-89-063

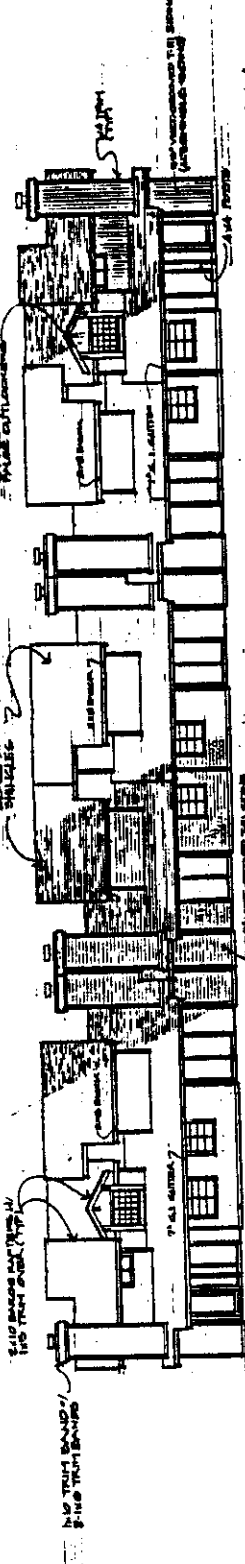
5-11-89

item 10



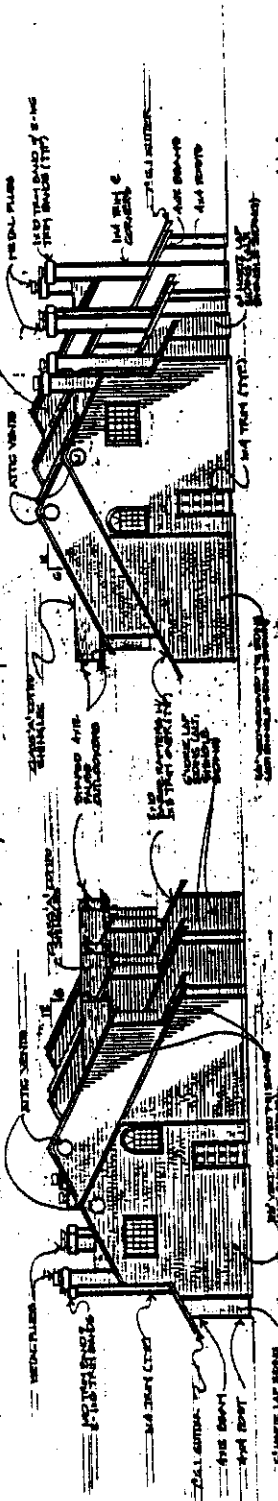
ROOF PLAN BUILDING NO. 1

SCALE 1/8" = 1'-0"



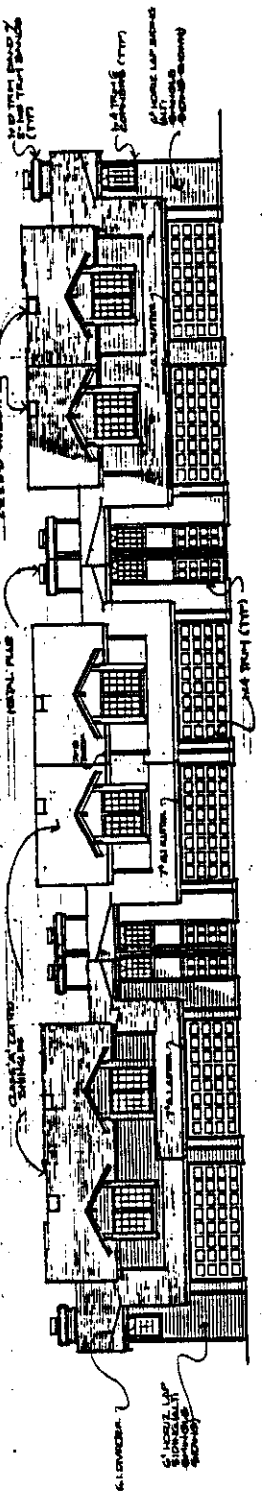
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SCALE 1/8" = 1'-0"



SOUTH ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION BUILDING NO. 1

SCALE 1/8" = 1'-0"



LARRY J. BROWNING
ARCHITECT
800 CROSBY WAY SUITE - D
ROSEVILLE CALIFORNIA 95678
(916) 786-8094



PHILLIP TORO & ASSOCIATES
REAL ESTATE / DEVELOPMENT
800 CROSBY WAY SUITE 101
ROSEVILLE, CA 95678

DATE APPROVED: _____
BY: _____
DATE: _____
SHEET NO. 10

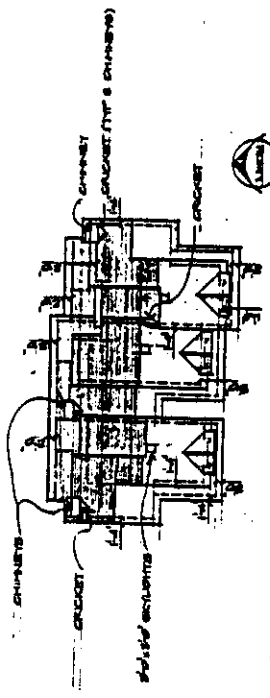


LARRY J. BERNSTEIN
 800 CHERRY WAY SUITE 10
 ROSEVILLE CALIFORNIA 95678
 (916) 788-9094
 222 CHINA VILLAGE
 A FULL SERVICE
 ARCHITECTURAL
 DEVELOPMENT

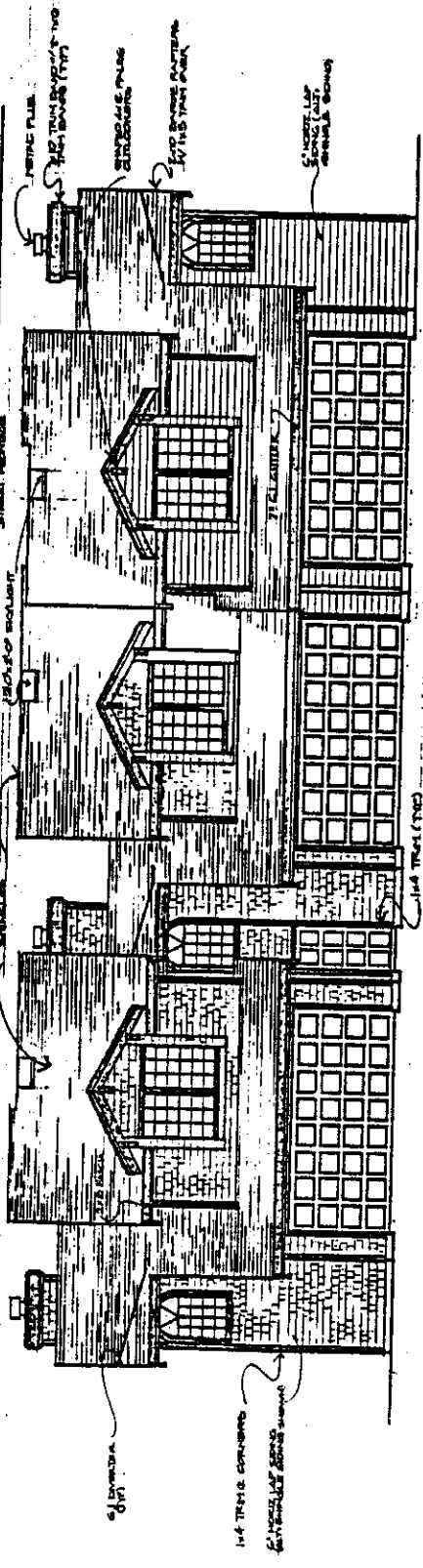
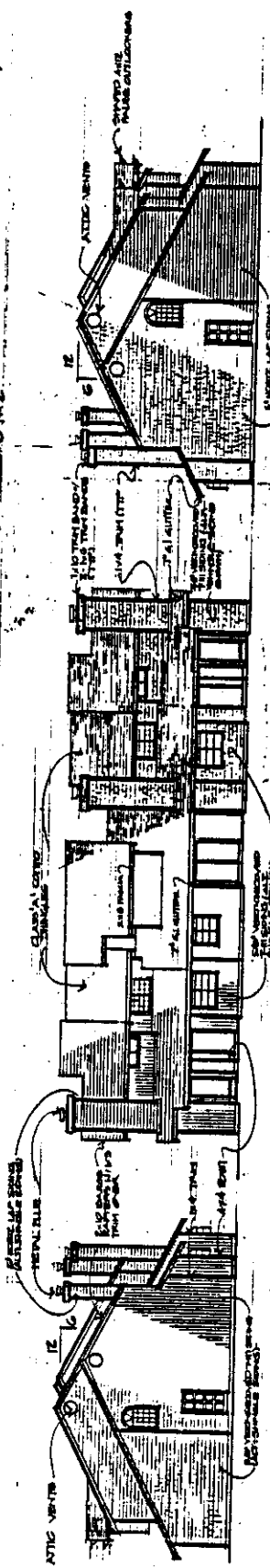


ENGINEERING ELEVATIONS No. 2
 1010 N. 10th St. # 2
 (916) 878-8800
 PHILIP TORO & ASSOCIATES
 REAL ESTATE / DEVELOPMENT

DATE: APRIL 11, 1989
 DRAWN BY: [Name]
 IN CHARGE: [Name]
 SHEET NO. 10
 SCALE: 1/4" = 1'-0"
 PROJECT: SOUTH ELEVATION BUILDING NE 2



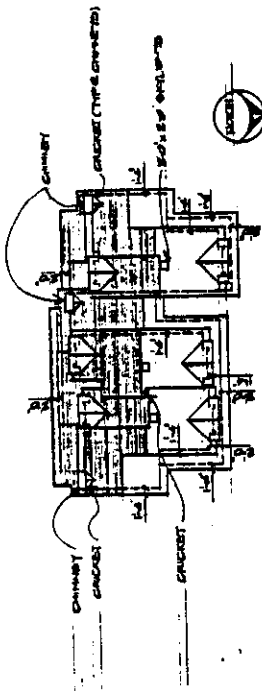
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 BUILDING NE 2
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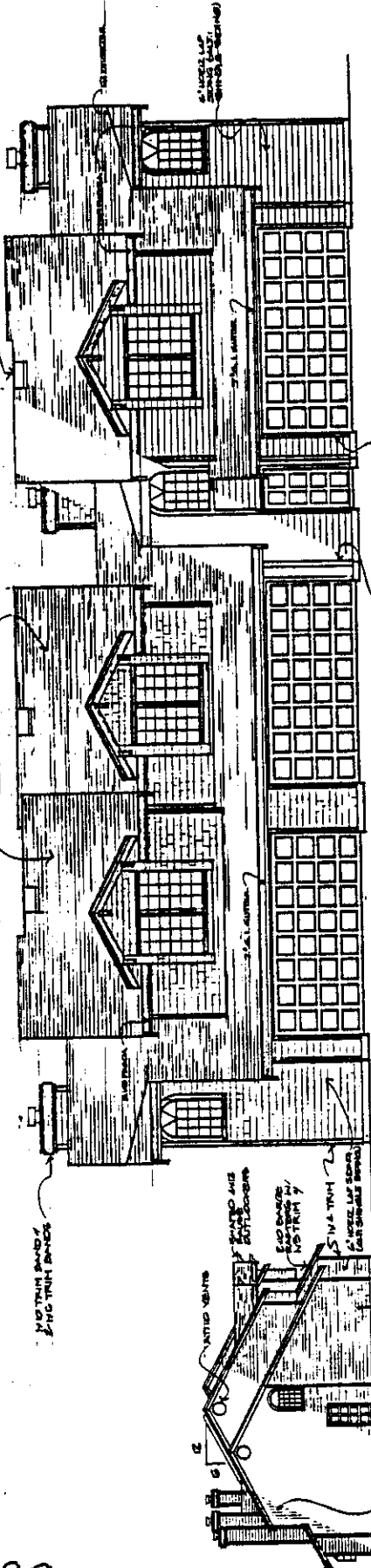
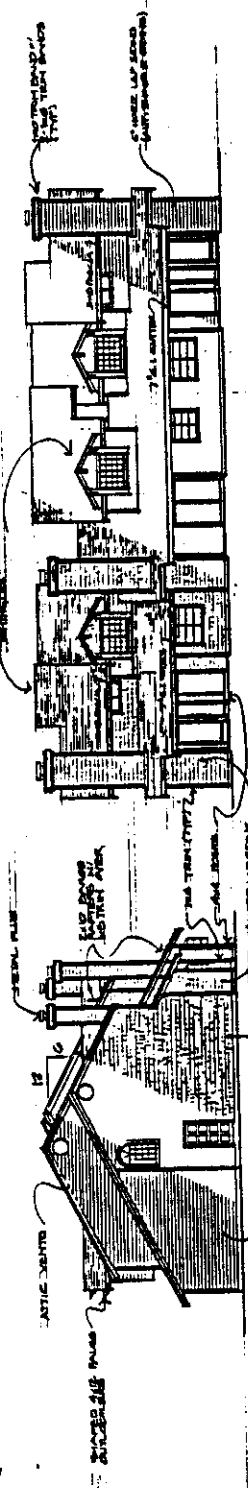
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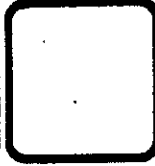


ROOF PLAN BUILDING N# 8
SCALE 1/8"=1'-0"



LARRY & ASSOCIATES
 500 CANY WAY SUITE D
 ROSELAND CALIFORNIA
 90878 (909) 798-9084

CALIFORNIA VILLAGE
 A CITY OF ROSSELAND
 REVENUE



EYE-BLOCK ELEVATION DRAWINGS
 PHIL TODD & ASSOCIATES
 (619) 941-3300
 P.O. BOX 974
 RIO Linda, CA 94378

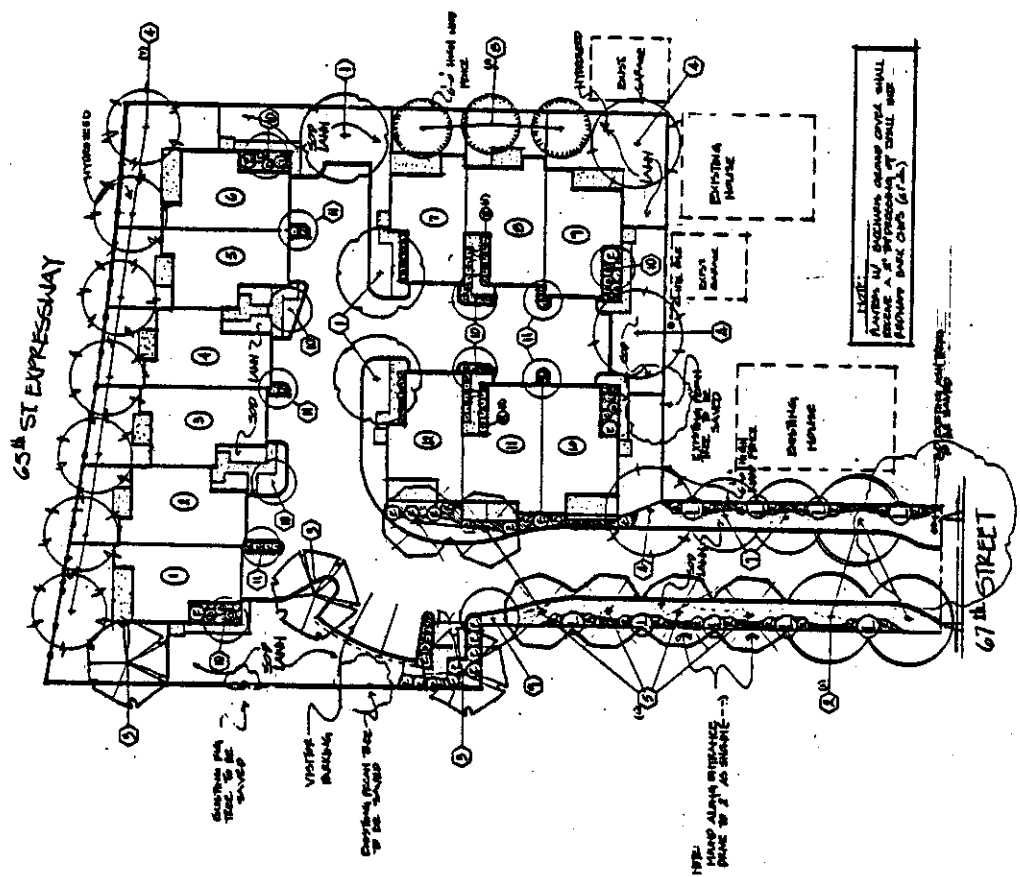
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 CHECKED BY
 SCALE AS NOTED
 SHEET A-10
 OF 12 SHEETS

34
 1-1
 SHEET
 DATE: 11/11/89
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]

LANDSCAPE PLAN
 PHILIP TODD ASSOC.
 PAUL HERRICK/DEVELOPER
 (714) 791-1888
 12000 BAY
 12000 BAY

LANDSCAPE ARCHITECT
 12000 BAY
 12000 BAY

PHILIP TODD ASSOCIATES
 LANDSCAPE ARCHITECTS
 800 GRIFFIN WAY SUITE 2
 ROSSELLE CALIFORNIA 90678
 (714) 791-1888
 GENERAL OFFICE
 12000 BAY



NOTE:
 ALL PLANTINGS SHOWN ON THIS PLAN SHALL BE A 1/2"

LANDSCAPE PLAN

ATTACHMENT A

EXPLANATION OF INITIAL STUDY

COLONIAL VILLAGE TOWNHOUSES (P89-063)

PROJECT DESCRIPTION

The project applicants propose to develop a 12 unit residential condominium project on 0.96+ vacant acres at 4780 67th Street in the East Broadway community of Sacramento. The proposed dwellings will be 2 and 3 bedroom units, for sale. The site is zoned Single Family-Alternative (R-1A) and is designated for low density residential uses (4-15 du/ac) on the 1986-2006 General Plan.

Development of the project will require the following City of Sacramento entitlements:

1. Tentative Subdivision Map;
2. Special Permit to construct a townhouse development in the R-1A zone.

ENVIRONMENTAL EFFECTS

3. Water

The proposed project is identified as being outside the 100-year Floodplain as defined on the City-adopted Flood Insurance Rate Map, dated February 1988. Based on this adopted map, no significant impacts are expected to occur.

4. Plant Life

Seven mature trees exist on the project site. Project development has the potential to adversely impact these trees. The applicant has agreed to incorporate five of the trees (identified on Sheet L-1) into the project landscaping. The applicant further agrees to the following mitigation measure to reduce potential impacts to plant life to less than a significant level:

- A. Prior to obtaining a building permit, the applicant shall obtain the requirements of the City Arborist for protecting vegetation during construction. The applicant shall incorporate such requirements into the project construction plan. Such plan shall be approved by the Environmental Coordinator prior to the issuance of a building permit.

6. Noise

The City of Sacramento Noise Element establishes a normally acceptable land use compatibility criterion of 60 dB Ldn for exterior noise levels in the outdoor use areas of multi-family dwellings, which is intended to provide an acceptable noise environment for outdoor activities. An exterior noise level exceeding 60 dB Ldn is allowed only after detailed acoustical

analysis of construction requirements is made and noise abatement features are included in the design to the maximum extent feasible. In addition, an interior noise level criterion of 45 dB Ldn is applied to residential land uses. The intent of this standard is to provide a suitable environment for indoor communication and sleep.

Title 23 of the California Administrative Code (CAC) requires an acoustical analysis for multi-family dwellings located within the 60 dB Ldn contours identified in the local noise element. A maximum allowable interior noise level of 45 dB Ldn is specified for habitable rooms by Section 2-3501 of this code, and the requirements for an acoustical analysis are outlined.

Evaluation of Existing and Future Noise Environments

The City of Sacramento requires that continuous noise monitoring be performed over a 24-hour period at proposed residential developments to quantify the project area noise environment. Continuous noise measurements were conducted on the project site about 55 feet from the centerline of the 65th Street Expressway on March 15-16, 1989. The results of these measurements are also useful in verifying the accuracy of the FHWA traffic noise prediction model and in determining the day/night distribution of traffic on area roadways.

The observed Ldn at the measurement site was 73.7 dB. The data reflect periods of rainfall (6-10 am) and an unusual decrease in background noise levels at 10 am, possibly due to a traffic accident requiring vehicles to be re-routed or to slow down. The estimated Ldn without the influence of the hours of 6 am to 11 am was 68.1 dB.

The acoustic analysis employed the Federal Highway Administration (FHWA) Highway Traffic Noise Prediction Model (FHWA RD-77-108) for the prediction of traffic noise levels. The FHWA model is the analytical method currently favored for traffic noise prediction by most state and local agencies, including the California Department of Transportation (Caltrans). The model is based upon reference energy emission levels for automobiles, medium trucks and heavy trucks, with consideration given to vehicle volume, speed, roadway configuration, distance to the receiver, and the acoustical characteristics of the site.

The FHWA model was developed to predict hourly Leq values for free-flowing traffic conditions, and is considered to be accurate within 1.5 dB. To predict Ldn values, it is necessary to determine the day/night distribution of traffic and adjust the traffic volume input data to yield an equivalent hourly traffic volume.

Traffic data were obtained from the City of Sacramento to estimate traffic volumes for the 65th Street Expressway. Day/night traffic distribution was assumed to be 90% /10% based upon field observation, and truck mix was estimated at 3.0% medium trucks and 2.5% heavy trucks from traffic counts. The Average Daily Traffic (ADT) for the 65th Street Expressway for future conditions (Year 2016) is assumed to be 33,605 vehicles, based upon the City of Sacramento General Plan Update projections. Vehicle speed was assumed to be 45 mph to match the FHWA model to the noise measurement results. The FHWA model was then used to calculate predicted noise levels

for the year 2016. The noise levels for future traffic conditions at the nearest receiver locations are estimated to be 71.4 dB Ldn.

Analysis

The worst-case exterior noise exposure of the Colonial Village townhouses would occur at the buildings along the 65th Street Expressway, located at a distance of about 60 feet from the centerline of the roadway. The Ldn predicted for future traffic conditions at these locations is 71.4 dB. Due to the orientation of the buildings to the roadway, the noise exposure is reduced by varying amounts at the nearest facades. This analysis will address the objective of achieving an exterior noise level of at least 60 dB Ldn at the patios of these units, and the need to achieve an interior noise level standard of 45 dB Ldn. The following calculations are based upon the design and development plans provided to the City of Sacramento in January 1989.

Exterior Noise Levels

The outdoor activity areas for the noise-impacted units in this development are individual patios. The patios of the units about 60 feet from the 65th Street Expressway centerline are exposed to an estimated future traffic noise level of 71.4 dB Ldn. The use of either the property line noise barrier as proposed by the developer or a patio privacy wall will reduce 65th Street noise levels at the ground floor patios of these units. There are no balconies.

The noise analysis used FHWA methodology to determine the insertion loss and resulting noise level provided by different barrier heights at the property line and patios of the units nearest the roadways. Profiles from the roadway to the closest patios were prepared to illustrate source and receiver heights and locations. All assumptions were per usual FHWA practice. Pad elevation was assumed to be at roadway grade.

The results of the above analyses indicate that future exterior noise levels could be reduced to approximately 63 dB Ldn by providing a property line noise barrier 8 feet high. For this project, construction of the proposed property line barrier would be preferred for aesthetic reasons. The proposed property line barrier would provide visual continuity and would also result in larger outdoor activity areas. Although an 11-foot high barrier would be required to achieve an exterior noise level of 60 dB Ldn, an 8-foot barrier would be more feasible in terms of cost per residences shielded and would provide exterior noise levels of less than 63 dB Ldn.

Interior Noise Levels

To judge compliance with the interior noise requirements of the City of Sacramento Noise Element and the California Administrative Code, it is necessary to determine the noise reduction provided by the building facade. This may be calculated by assuming a generalized A-weighted traffic noise

frequency spectrum, determining the composite transmission loss and resulting noise level in the receiving room, then correcting for room absorption and calculating the overall noise level in the room.

In these examples, it is assumed that the exterior wall construction is standard wood or stucco siding. Window glazing was assumed to be standard single- or double-pane 1/8" glass. Solid-core wood and sliding glass doors were assumed to be fully weatherstripped. The resulting interior noise levels are 38.5 to 44.3 dB Ldn, accounting for the noise exposure of all affected facades.

These noise exposures are representative of worst-case conditions for the entire development. The calculated interior noise levels satisfy the standards of the City of Sacramento and CAC Title 24. To ensure that variations in materials quality do not compromise satisfaction of the interior noise level, stucco siding is required for the units nearest the roadway.

The applicant has agreed to incorporate the following mitigation measures into the project to comply with the requirements of the California Administrative Code and the City of Sacramento, and reduce noise impacts to less than a significant level:

- B. All windows and sliding glass doors shall be weatherstripped or mounted in low air-infiltration design frames meeting ANSI air infiltration standards.
- C. Air conditioning or other suitable means of ventilation shall be provided to allow occupants to close doors and windows for the required acoustical isolation.
- D. A property line noise barrier at least 8 feet in height shall be provided for patios the units located along the 65th Street Expressway as shown by Figure 1.
- E. Property line noise barrier materials must be airtight and massive, with no significant gaps in construction. Acceptable materials include masonry block, concrete panels, and 1-1/2" lumber with caulked overlapping joints.
- F. Exterior walls of the units along the 65th Street Expressway which face that roadway shall include stucco or brick siding. If wood siding is used, an underlayer of wood fiber board shall be applied, and the interior walls shall be mounted to the studs by means of resilient channels.

REFERENCES

Brown-Buntin Associates. Environmental Noise Analysis - Colonial Village Townhomes. March 1989.

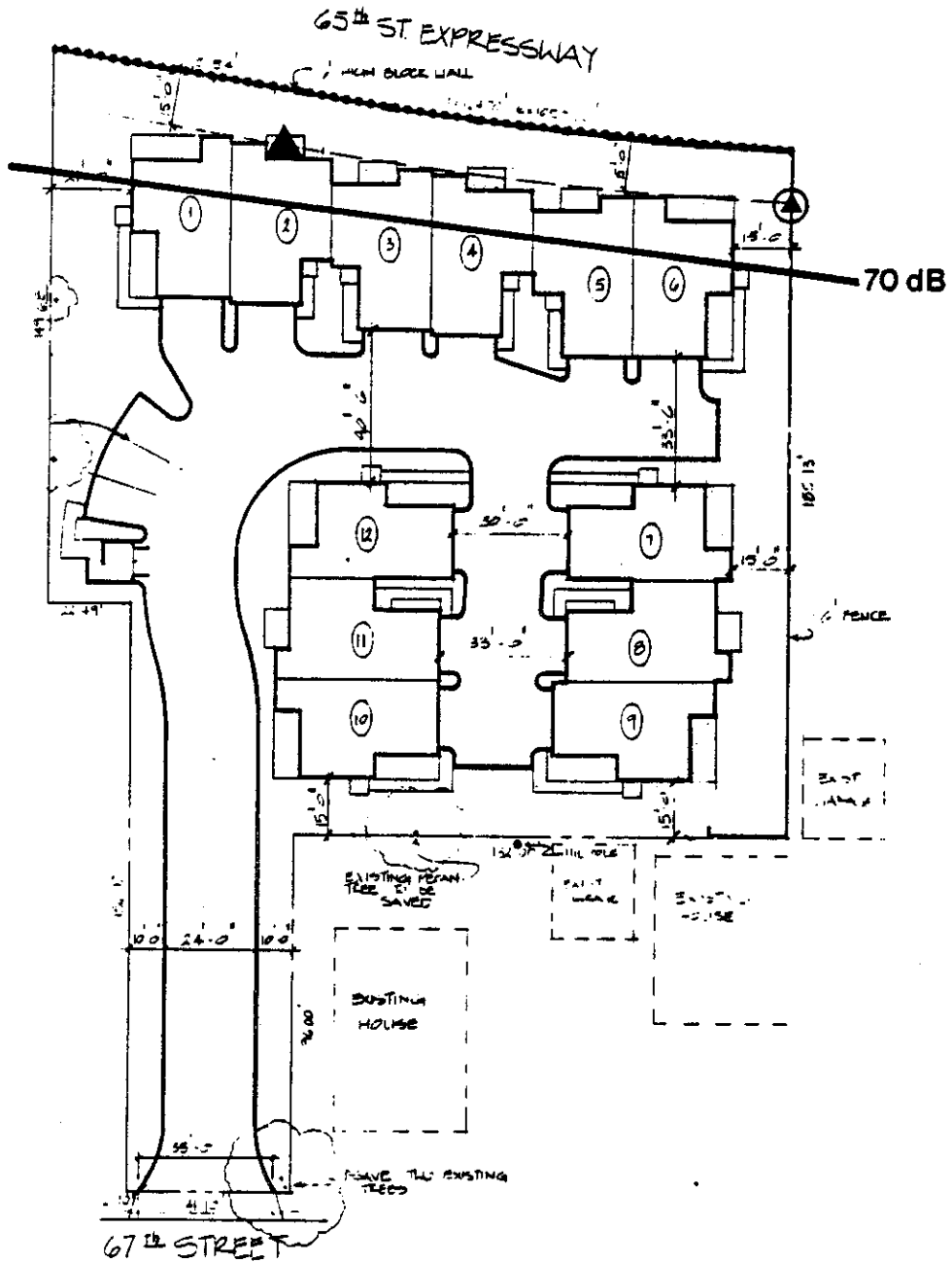
City of Sacramento. 1986-2006 General Plan. 1988.

.....Draft Environmental Impact Report for General Plan Update. 1987

United States, Federal Emergency Management Agency. Flood Insurance Rate Map-City of Sacramento. February 1988.

FIGURE 1

SITE PLAN - COLONIAL VILLAGE



- : Ldn Contour
- ▲ : Short-term Monitoring Location
- ⊙ : 24-hour Monitoring Location
- : Proposed Barrier



