

REPORT AMENDED BY STAFF 1-9-91
CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT: <u>Eong, Eatough & Borges, Architects, 7777 Greenback Ln, #200, Citrus Heights, CA 95610</u>		
OWNER: <u>Paul Snider, 5150 Madison Av, Sacramento, CA 95841</u>		
PLANS BY: <u>Eong, Eatough & Borges, Architects, 7777 Greenback Ln, #200, Citrus Heights, CA 95610</u>		
FILING DATE: <u>Sept. 14, 1990</u>	ENVIR. DET.: <u>Neg. Dec.</u>	REPORT BY: <u>Doug</u>
ASSESSOR'S PCL. NO. <u>041-0073-010</u>		

APPLICATION: A. Negative Declaration

B. Plan Review of a proposed 20, 850 sq. ft. automobile service shop facility on 8.2 \pm developed acres in the General Commercial- Review (C-2-R) zone.

LOCATION: 2401 Florin Road

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 20,850 sq. ft. automobile services shop facility.

PROJECT INFORMATION:

General Plan Designation:	Community/ Neighborhood Commercial and Offices
Airport Meadowview Community Plan Designation:	Commercial
Existing Zoning of Site:	General Commercial- Review (C-2-R) zone
Existing Land Use of Site:	Automobile sales and service facility

Surrounding Land Use and Zoning:

North:	Residential, R-1, R-3
South:	Commercial, C-2-R
East:	Commercial and Residential, C-2-R, R2A
West:	Commercial, C-2-R

Parking Required:	110 parking spaces
Parking Provided:	520 parking spaces
Property Dimensions:	516.81' x 829.55'
Property Area:	428,720 gross sq. ft. (357,995 net sq. ft.) 8.2 \pm acres
Square feet of Building:	20,850 sq. ft.
Height of Building:	18.83 feet
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Grey split faced masonry block
Roof Material:	Built-up roof

PROJECT INFORMATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 8.21 ± developed acres in the General Commercial- Review (C2-R) zone. The site is presently developed with a 19,500 square foot auto sales and service facility (Florin Road Pontiac). The General Plan designates the site Community/ Neighborhood Commercial and Offices. The Airport Meadowview Community Plan designates the site Commercial. The surrounding land use and zoning consists of Commercial uses within the C-2 zone to the west and south. There are auto dealerships to the southeast in the C2-R zone. There is multifamily residential (R-3) to the north at 24th St. and Yreka Ave., single family residential (R-1) directly to the north along Yreka Ave. and multifamily residential uses (R-2A zone) to the northeast of the site.

B. Applicant's Proposal

The applicant is requesting a plan review of a 20,850 sq. ft. automobile service shop facility. Other uses on the site are sales and automobile display and service building and outdoor storage of new and used automobiles. A portion of the site on which the proposed facility would be built is surrounded by a grey masonry concrete block wall which matches the sales building and would also match the proposed service facility.

C. Site Plan and Building Design

The site plan indicates that the proposed service facility would be situated approximately 40 feet behind the existing showroom and service building. The facility would be located in the center portion of the site. The existing south six foot high grey masonry concrete wall would be replaced by the south wall of the service facility. The building material would be the same and match the remaining grey masonry block wall which surrounds the site. There are no signs associated with the proposed facility. Staff has no objection to the building design. The use of similar materials as in the existing service and showroom building and surrounding wall is appropriate.

D. Agency Comments

The proposed project was reviewed by Traffic Engineering, and Engineering Development Services. There were no comments.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B) 1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects will occur:

- A. All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses.

Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be reprocessed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact due to the development of the project, additional mitigation measures may be required, or the applicant may be requested to prepare an Environmental Impact Report if identified impacts cannot be reduced to less than a significant level through mitigation.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration
- B. Approve the Plan Review of a 20,850 sq. ft. automobile service facility subject to conditions and based upon findings of fact which follow.

Conditions

1. All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses.
2. On site grading, paving and drainage shall be approved by Public Works prior to issuance of a Building Permit.
3. *An elevation plan showing the continuance of the blue accent on the existing sales and service facility to the proposed service facility shall be submitted and approved by the Planning Director prior to issuance of a building permit. (Amended by staff)*
4. *A landscaping plan showing landscaping along the new building wall shall be submitted and approved by the Planning Director prior to issuance of a building permit. (Amended by staff)*

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the automobile service facility is allowed in a General Commercial zone and is compatible with the surrounding commercial uses.
2. The project, as conditioned, will not be detrimental to the public safety, nor result in the creation of a public nuisance in that adequate parking and landscaping is provided onsite and the design is compatible with the surrounding structures.
3. The project is consistent with the General Plan which designates the site Community/ Neighborhood Commercial and Offices, and the Airport Meadowview Community Plan which designates the site Commercial.

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see amended report

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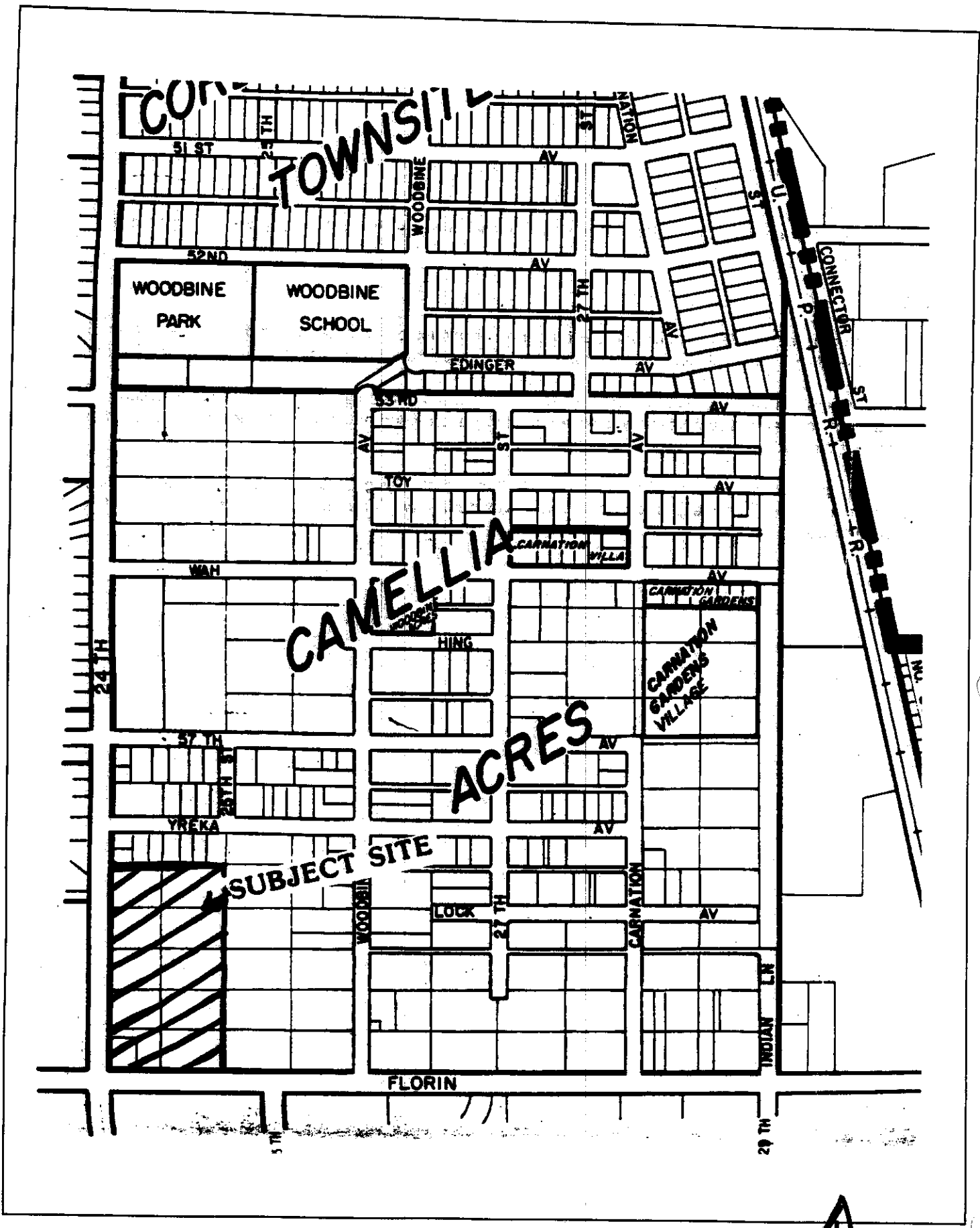
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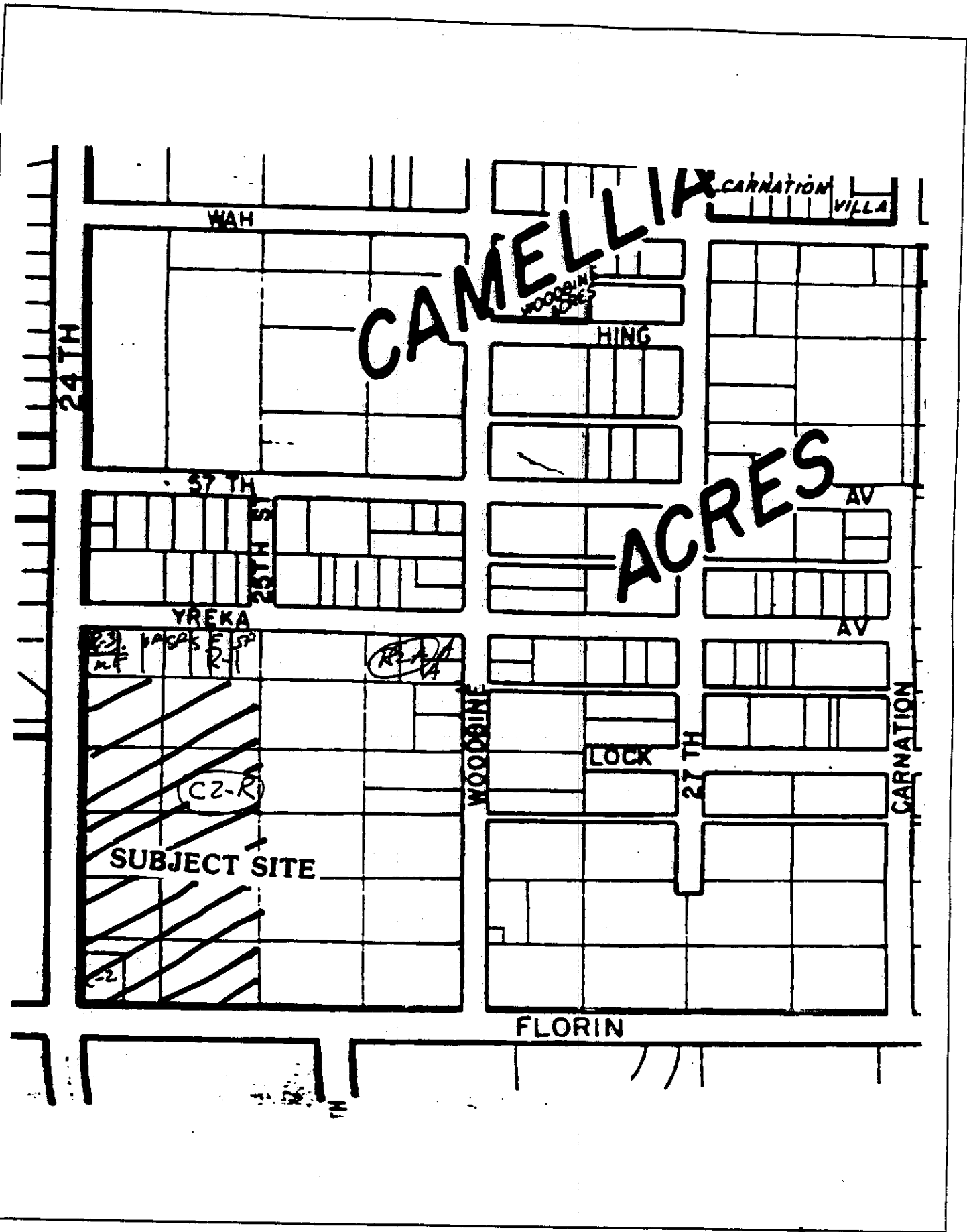
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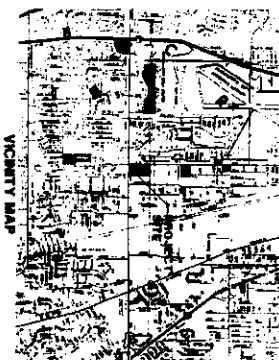
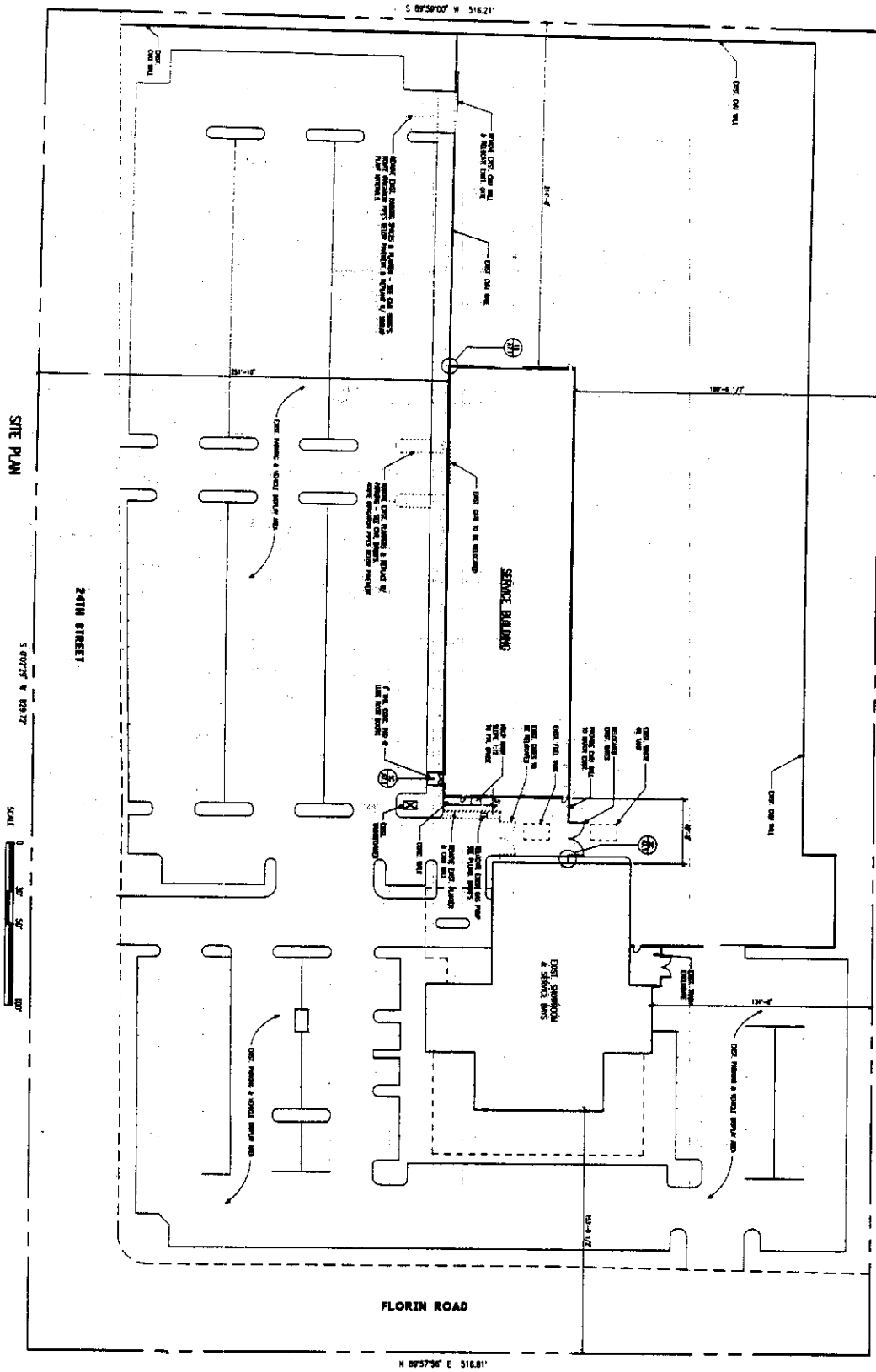
VICINITY MAP



LAND USE & ZONING MAP



EXHIBIT - A SITE PLAN



SITE PLAN

5 00'75" W 024'17"

SCALE 0 25 50 100'

FLORIN ROAD

N 00°57'36" E 516.81'



DATE	BY
09/02/90	BJB
09/02/90	BJB
09/02/90	BJB
09/02/90	BJB

A1.1

NOTICE:
This site plan is prepared for the use of the applicant and is not to be used for any other purpose without the written consent of the engineer. The engineer is not responsible for any errors or omissions in this plan or for any consequences arising therefrom. The engineer is not responsible for any conditions or circumstances not shown on this plan. The engineer is not responsible for any conditions or circumstances not shown on this plan.

FLORIN ROAD PONTIAC
SERVICE BUILDING
24TH STREET & FLORIN ROAD
SACRAMENTO, CALIFORNIA

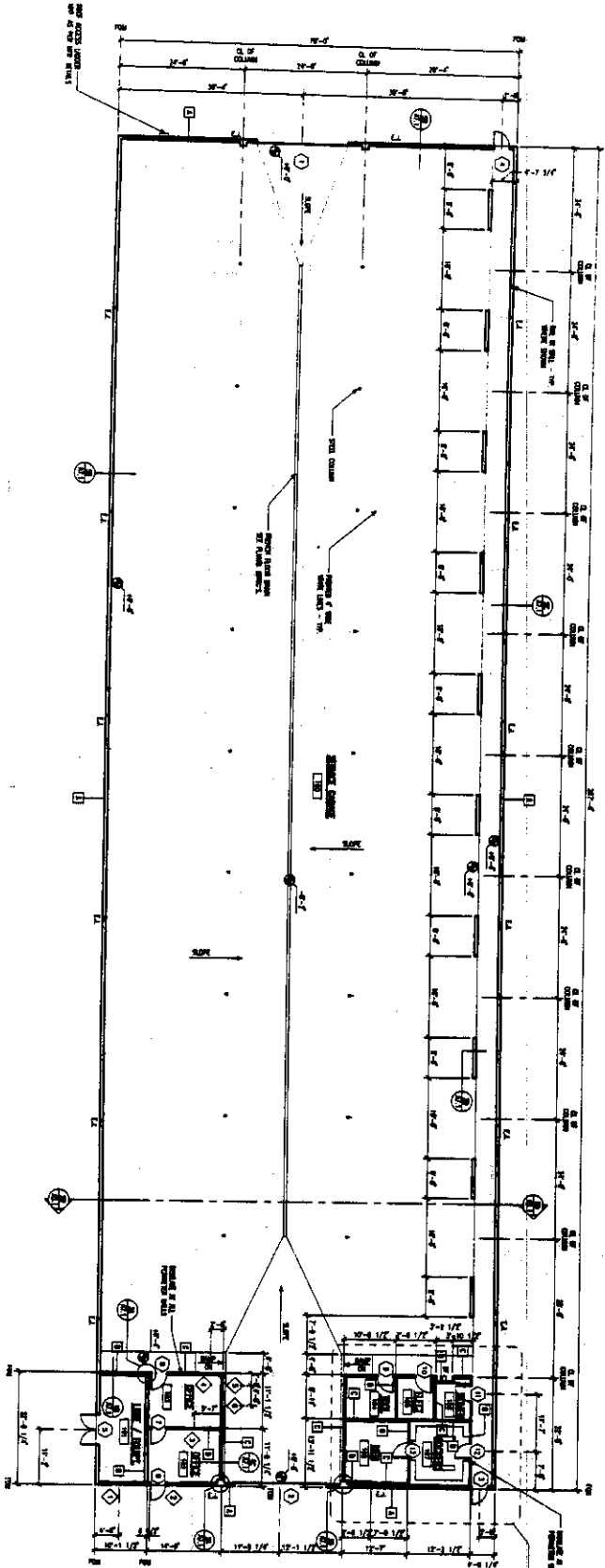
NO.	REVISION

Author: _____
 Date: _____
 Title: _____
 Firm: _____
 Address: _____
 City: _____
 State: _____
 Zip: _____



Architecture & Planning
 2777 Broadway Lane, Suite 400
 Sacramento, CA 95818
 (916) 293-1988

EXHIBIT - C FLOOR PLANS



FLOOR PLAN SCALE: 3/32" = 1'-0"

WALL TYPES LEGEND

- 6" SMIT-FACED CONCRETE BLOCK
 - 8" CONCRETE BLOCK
 - 2X6 WOOD FRAMING @ 16" O.C. (PI @ BRICK/CMU)
 - 2X4 WOOD FRAMING @ 16" O.C. (PI @ BRICK/CMU)
- NOTE: DIMENSIONS ARE IN FEET AND INCHES. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

FLORIN ROAD PONTIAC
SERVICE BUILDING
24TH STREET & FLORIN ROAD
SACRAMENTO, CALIFORNIA

FLOOR PLAN

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