

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Morton & Pitalo, Inc., 1767 'J' Tribute Road, Sacramento, CA 95815		
OWNER	Feature Homes, Inc., 1229 College Avenue, Santa Rosa, CA 95404		
PLANS BY	Morton & Pitalo, Inc., 1767 'J' Tribute Road, Sacramento, CA 95815		
FILING DATE	10-4-83	50 DAY CPC ACTION DATE	REPORT BY: TM:bw
NEGATIVE DEC.	10-21-83	EIR	ASSESSOR'S PCL. NO. 117-646-19 & 117-011-03

- APPLICATION:
1. Environmental Determination
 2. Amendment of the Valley Hi Community Plan from Light Density Residential to Medium Density Residential
 3. Rezone 12± acres from Single Family (R-1) to Medium Density Multiple Family (R-3)
 4. Special Permit to develop condominium units

LOCATION: East of Franklin Boulevard and north of Union House Creek

PROPOSAL: The applicant is requesting the necessary entitlements to develop 220 condominium units on 12± vacant acres.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1968 Valley Hi Community Plan Designation: Light Density Residential
Existing Zoning: R-1
Existing Land Use: Vacant

Surrounding Land Use and Zoning:

North: Single Family, Vacant; R-1 & R-1A
South: Union House Creek, Single Family; R-1
East: Single Family, Vacant; R-1 & R-1A
West: Single Family; R-1

Parking Required: 220 spaces
Parking Provided: 362 spaces
Ratio Required: 1 space per dwelling unit
Ratio Provided: 1.65 spaces per dwelling unit
Property Dimensions: Irregular
Property Area: 12± acres
Density of Development: 19.13 units per net acre
Square Footage of Buildings: 890 and 930 sq. ft. (2 bedrooms, 1 bath)
Height of Structures: Two-story
Topography: Flat to sloping
Street Improvements: To be provided
Utilities: Available to site
Exterior Building Colors: Earth tones
Exterior Building Materials: Vertical wood siding and composition roof

000840

PROJECT BACKGROUND: On November 10, 1983 the Commission considered the above referenced multiple family project in conjunction with the subdivision of an adjacent 36± acres into 233 zero lot line parcels.

APPLC. NO. P83-334

MEETING DATE January 12, 1984

CPC ITEM NO. 1

The Commission continued the multiple family portion of the project to allow the applicant sufficient time to provide a revised site plan and detailed elevation plans. The current project, as revised, incorporates the Subdivision Review Committee's recommendations which resulted in the deletion of 12 multiple family units and a revised circulation plan.

STAFF EVALUATION: The staff has the following comments relative to this project:

1. As indicated in the previous report, staff is generally supportive of a condominium development at this location because it will provide for a mixture of housing types within the area. Also, from a subdivision design perspective, it is preferable to locate a multiple family development at the corner of Union House Creek and Franklin Boulevard so that access and line of sight restrictions can be required due to the close proximity of the Union House Creek Bridge. It would be difficult to impose the necessary design considerations on the development of single family lots in this area.

The applicant has requested a rezoning to Medium Density Multiple Family (R-3) which permits up to 29 units per acre. However, the proposed project indicates 19.13± units per acre. Therefore, staff recommends that the rezoning, if granted, be to Garden Apartment-Review (R-2B-R) which permits up to 22 units per acre. This zoning designation would be more consistent with the proposed project.

2. The condominium site plan has been revised to accommodate the tentative map conditions of the Subdivision Review Committee. However, staff finds that additional revisions such as staggering or rotation of the unit clusters is desirable to provide for a more interesting project. Also, staff recommends that more than one cluster arrangement be utilized.
3. Subsequent to the Commission hearing on November 10, 1983 the applicant submitted the attached elevation and floor plans. Staff finds that for a project of this magnitude additional elevations and floor plans should be required. Also, only one set of elevations, indicating one side of the building, has been submitted. Staff finds it necessary to review all elevations in order to assure design consistency.
4. The northeasterly portion of the site abuts 22 future single family and patio home lots. Staff recommends that the unit clusters proposed for this area consist primarily of one-story structures. If two-story structures are utilized, the second story patio areas should be oriented away from the rear yards of the single family units.

A landscaping buffer should also be provided between the units and adjacent single family units. In conclusion, staff finds that the project still needs further revision. Therefore, staff recommends that the Commission continue the request and direct the applicant to submit revised plans in accordance with the preceding comments. Attached is the multiple family design criteria to assist the applicant.

STAFF RECOMMENDATION: The staff recommends that the Commission continue the project in order to allow the applicant sufficient time to submit revised plans.

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT Morton & Pitalo Inc. - 1767-J Tribute Road, Sacramento, CA 95815
OWNER Feature Homes Inc. - 1229 College Avenue, Santa Rosa, CA 95404
PLANS BY Morton & Pitalo Inc. - 1767-J Tribute Road, Sacramento, CA 95815
FILING DATE 10-4-83 50 DAY CPC ACTION DATE REPORT BY: TM:sg
NEGATIVE DEC. 10-21-83 EIR ASSESSOR'S PCL. NO. 117-646-19 & 117-011-38

- APPLICATION: 1. Negative Declaration
2. Amendment of the Valley Hi Community Plan from Light Density Residential to Medium Density Residential
3. Rezone 48± acres from Single Family (R-1) to Townhouse (R-1A) and 36 ac. Medium Density Multiple Family (R-3) cont. Lot A rezoning
4. Special Permit to develop 233 zero lot line and detached units and 232 condominium units cont. Phase II
5. Tentative Map (P83-334)
6. Subdivision Modification (withdrawn)

LOCATION: Northeast corner of Union House Creek and Franklin Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to develop 232 condominium units on 12± acres and 233 zero lot line units (halfplexes and patio homes) on 36± acres.

PROJECT INFORMATION:
1974 General Plan Designation: Residential
1968 Valley Hi Community Plan Designation: Light Density Residential
Existing Zoning of Site: R-1
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:
North: Single family; R-1
South: Union House Creek; R-1
East: Single family; R-1
West: Single family; R-1

Table with 3 columns: Property Area, Zero Lot Line Development Site, Condominium Site. Rows include Number of Dwelling Units, Density of Development, Unit type(s), Square Footage of Lots, and Square Footage of Units.

000842

Zero Lot Line Development
Site (continued)

Condominium Site
(continued)

Height of Structures:	One and two story	Two story
Exterior Building Colors:	Earth tones	Earth tones
Exterior Building Materials:	Vertical wood siding and stucco	Not specified
Parking Ratio:	One space per unit	One and one-half spaces per unit

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On October 26, 1983, by a vote of six ayes and three absent, the Subdivision Review Committee recommended approval of the tentative map subject to the following conditions: The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;
3. Name the streets to the satisfaction of the Planning Director;
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
5. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
6. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) south orientation (including solar access) to the satisfaction of the Planning Director;
7. Dedicate rights of access for Lot A onto Franklin Boulevard to the City;
8. Provide slope easements as required for Union House Creek bridge crossing at Franklin Boulevard;
9. Existing drain line in Yvonne Way shall be kept within the street section - not under curb, gutter or sidewalk. Line may have to be relocated;
10. Indicate existing drain line easement;
11. Show existing slope easement along Union House Creek; may need additional dedication, depending on grades shown on grading plan;
12. Phasing sequence may require off-site improvements;
13. Dedicate necessary right-of-way and construct an access ramp to Union House Creek in the vicinity of Franklin Boulevard;

14. Eliminate the cul-de-sac on the eastern edge of Lot A and revise the map to provide for a knuckle with a single family lotting pattern around it;
15. Place the following note on the final map: The existing drainage line located within Lot A shall be located under paved areas or other areas as permitted by the City Public Works Director. In no event shall structures be permitted over this line.

Informational Item: Sewer study must be coordinated with County Sanitation District

BACKGROUND INFORMATION: The subject site consists of 48± acres which were previously approved for 256 single family lots known as Valley Hi Units 33 and 22. These subdivisions were reverted back to acreage by Council action on November 10, 1982. This reversion was requested by the applicant.

STAFF EVALUATION: The staff has the following comments relative to this project:

1. The subject site is currently zoned Single Family (R-1) which is consistent with the 1968 Valley Hi Community Plan designation of low density residential. The requested community plan amendment is necessary for the development of the condominium portion of the project next to Union House Creek.

Staff supports the development of a condominium project at the proposed location due to the desire to provide for a mixture of housing types within this area. Also, from design consideration it is preferable to locate a multiple family development at the corner of Union House Creek and Franklin Boulevard so that access and line of site restrictions can be required due to the close proximity of the Union House Creek Bridge. It would be difficult to impose the necessary design consideration on the development of single family lots in this area.

Staff does have some concerns regarding the proposed Medium Density Multiple Family (R-3) zoning. This zoning designation permits up to 29 units per acre. Due to the low density of the adjacent properties (average five units per acre), staff suggests that a Townhouse (R-1A) zoning would be more appropriate. The townhouse zoning is intended for the development of owner occupied condominium with the landscaping amenities typical of such projects.

If the project were approved consisting of the proposed single family units and a rezoning to R-1A for the condominium site, the entire project would still allow a total of 405 units which represents an increase of 194 units more than previously approved for this site (8.2 units per gross acre).

2. One of the Subdivision Review Committee recommended conditions requires the replacement of the cul-de-sac on the eastern edge of the condominium site with a knuckle. This revision was recommended to eliminate access from the condominium site onto the minor residential street. Staff concurs with this recommendation.

3. The subdivision map has been designed with ten front-on lots on Franklin Boulevard which is a designated major street (see exhibit K-1). Staff recommends that this design be revised per exhibit K-2. This revision reduces the number of front-on lots from ten to two and provides for an increase in lot width to 75± feet for the remaining two lots. The intent of this redesign is to eliminate back out maneuvering onto Franklin Boulevard and to provide for access directly onto side streets as much as possible. The indicated halfplex lots will access onto the side streets. The interior single family lots are of sufficient width to accommodate circular driveways or other similar design features to eliminate potential backout problems onto Franklin Boulevard.
4. The single family units consist of a mixture of standard detached units, zero lot line units, and halfplex units on lots which average 45' x 100'. Five unit plans and elevations are proposed for 233 units. The exterior materials will consist of stucco and vertical wood siding. Staff recommends that additional unit plans or more variation in exterior elevations be required. Also, staff notes that most of the unit plans lack windows which view the public street. For both public safety and additional design relief staff recommends that some of the plans be revised to provide for a greater degree of visibility. This can be accomplished in such ways as setting back the garages and extending the living areas further out or by the addition of more windows on the front elevations.
5. Due to staff's recommendation that the condominium site be rezoned to R-1A instead of the requested R-3 as well as the recommended elimination of the eastern access point, staff recommends that the special permit for the condominium site be continued so that revised plans and detailed elevations can be submitted. To assist the applicant, staff has included the attached residential guidelines indicated on exhibit L.
6. Based upon the submitted project, the Planning and Community Services Departments have determined that 5.54 acres of land are required for parkland dedication purposes and that fees are to be charged in lieu of the required dedication.

It is likely that the fees will be reduced by 60% for the condominium site once details on the recreation facilities are submitted. The applicant shall submit an appraisal of the land to be subdivided. The appraisal shall be dated and submitted not more than 90 days prior to filing the final map.

STAFF RECOMMENDATION: The staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Amendment of the Valley Hi Community Plan for 12± acres from Light Density Residential to Medium Density Residential;
3. Rezone ³⁶48± acres from Single Family (R-1) to Townhouse (R-1A);
4. Approval of the Special Permit to develop 233 zero lot line and detached units subject to conditions and based upon findings of fact which follow;

5. Continuance of the Special Permit for 232 condominium units; and
6. Approval of the Tentative Map subject to the following conditions:

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
- b. Prepare a sewer and drainage study for the review and approval of the City Engineer;
- c. Name the streets to the satisfaction of the Planning Director;
- d. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- e. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
- f. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) south orientation (including solar access) to the satisfaction of the Planning Director;
- g. Dedicate rights of access for Lot A onto Franklin Boulevard to the City;
- h. Provide slope easements as required for Union House Creek bridge crossing at Franklin Boulevard;
- i. Existing drain line in Yvonne Way shall be kept within the street section - not under curb, gutter or sidewalk. Line may have to be relocated;
- j. Indicate existing drain line easement;
- k. Show existing slope easement along Union House Creek; may need additional dedication, depending on grades shown on grading plan;
- l. Phasing sequence may require off-site improvements;
- m. Dedicate necessary right-of-way and construct an access ramp to Union House Creek in the vicinity of Franklin Boulevard;
- n. Eliminate the cul-de-sac on the eastern edge of Lot A and revise the map to provide for a knuckle with a single family lotting pattern around it;

000846

- o. Place the following note on the final map: The existing drainage line located within Lot A shall be located under paved areas or other areas as permitted by the City Public Works Director. In no event shall structures be permitted over this line.
- p. Revise the lotting pattern and street design per exhibit K-2 or some other similar alternative acceptable to the Planning Director.

Conditions - Special Permit

- a. The applicant shall submit revised or additional plans which provide for better visibility from within the units onto the street and design relief to the exterior elevation for staff review and approval prior to the issuance of building permits;
- b. Additional exterior materials shall be used beyond the utilization of stucco and vertical wood siding. Horizontal wood siding and brick material or similar materials shall be utilized subject to staff review and approval.
- c. A variation in front yard setback shall be utilized. In no event shall the garage be closer than 20 feet to the interior edge of the sidewalk.
- d. One and two story units shall be utilized.
- e. The side by side halfplexes shall be designed with the driveway/garages on opposite streets. The exception to this shall be for those lots adjacent to Franklin Boulevard. On these lots access may be provided for both units onto the collector or minor side street, however, the front entrance of one of the units must be facing Franklin Boulevard.
- f. The lots fronting on or siding onto Franklin Boulevard shall incorporate circular driveways or similar maneuvering areas unless access is obtained from a side street.

Findings of Fact - Special Permit

- a. The special permit, as conditioned, is based upon sound principles of land use in that the design of the units will be comptatible with adjacent single family units;
- b. The special permit, as conditioned, will not be detrimental to the public health, safety, or welfare or result in the creation of a nuisance in that adequate setbacks and access have been required.
- c. The proposed project is consistent with the General Plan and the Valley Hi Community Plan which designate the site for residential purposes.

Land Use Map

1. SUMMERGATE
2. SUMMERSVIEW
3. CRESENTWOOD

MACK RD.

PRARIE SCHOOL

SUBJECT SITE

000851

12

4-26-84

P83-334

116-22

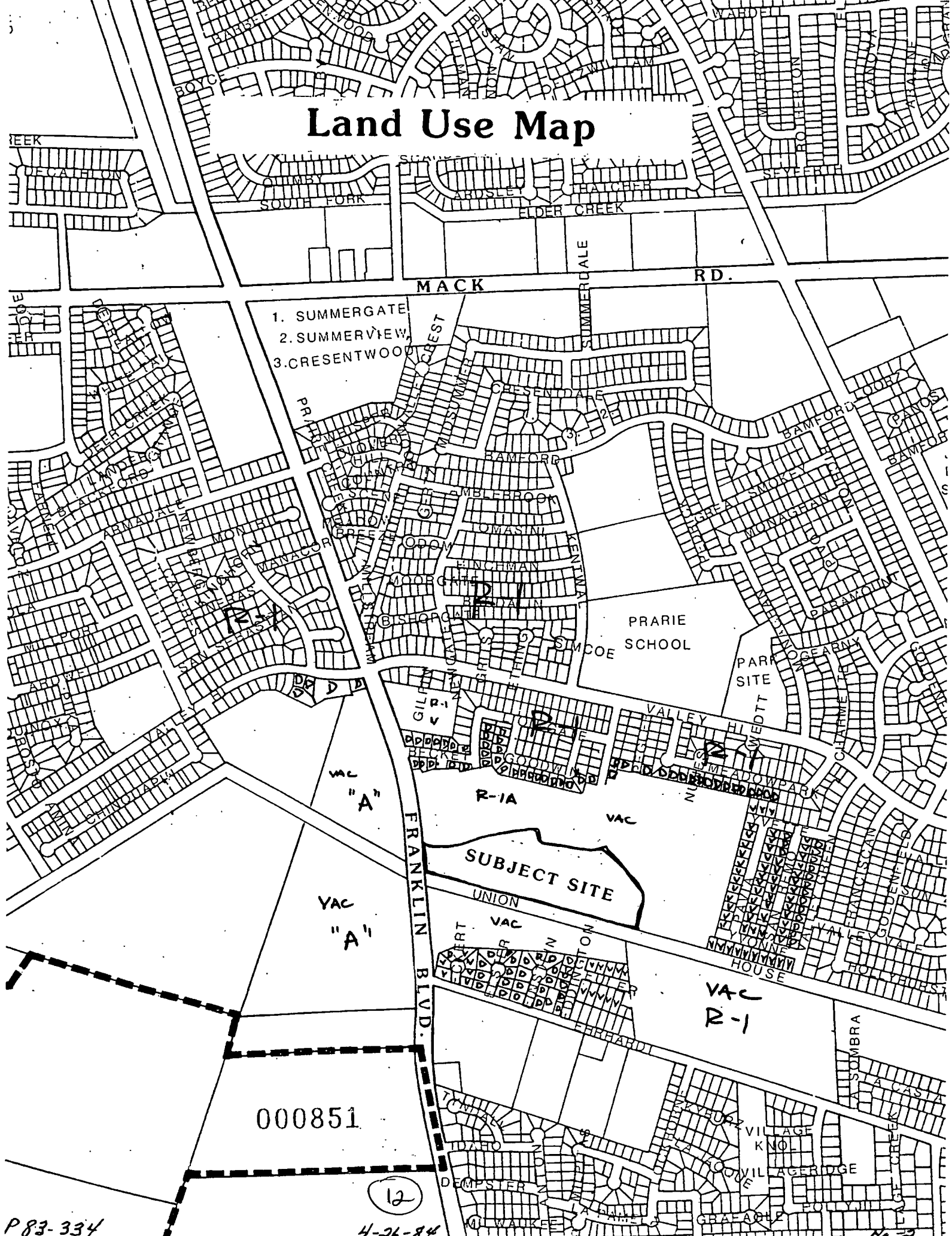
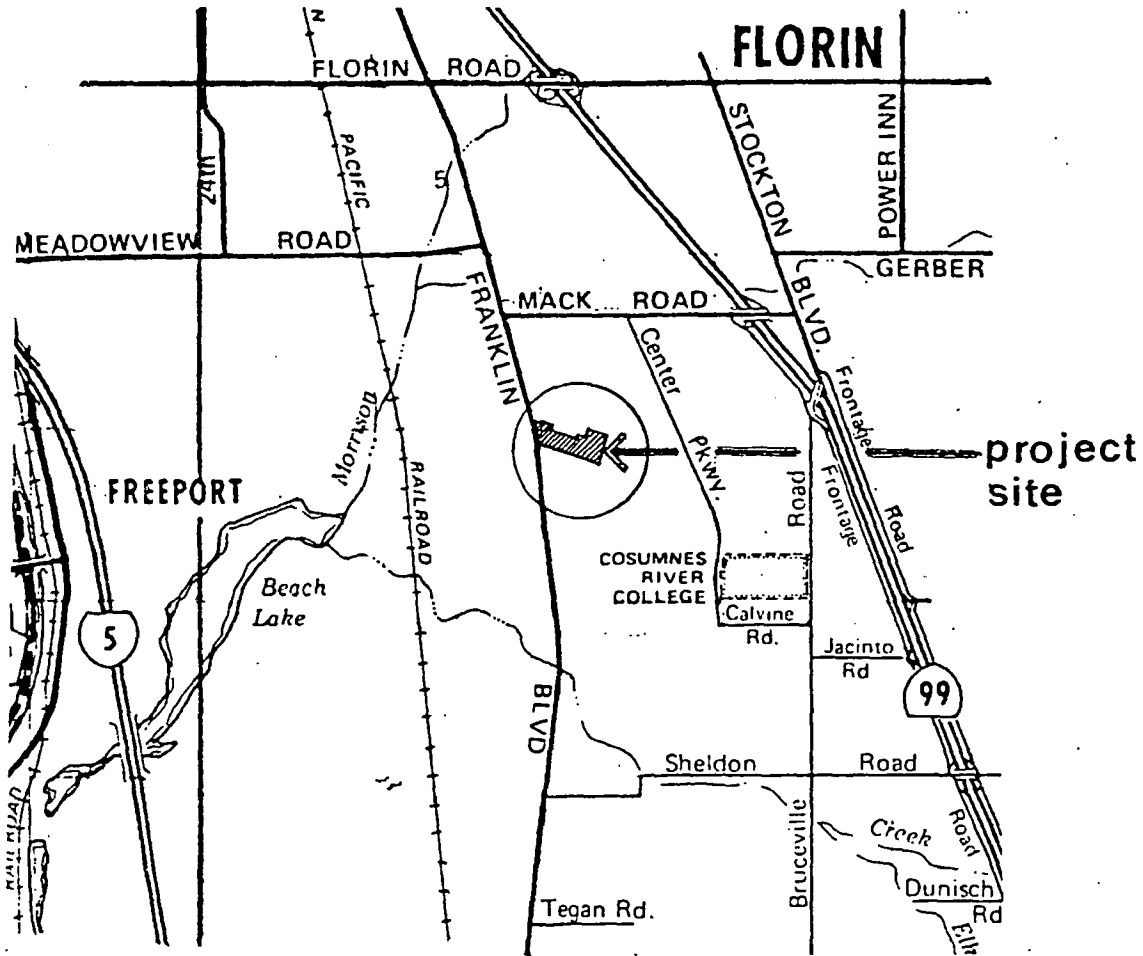


Exhibit "A"



vicinity map

000856

Exhibit "K-1"

FRONT-ON LOTS AS PROPOSED BY APPLICANT

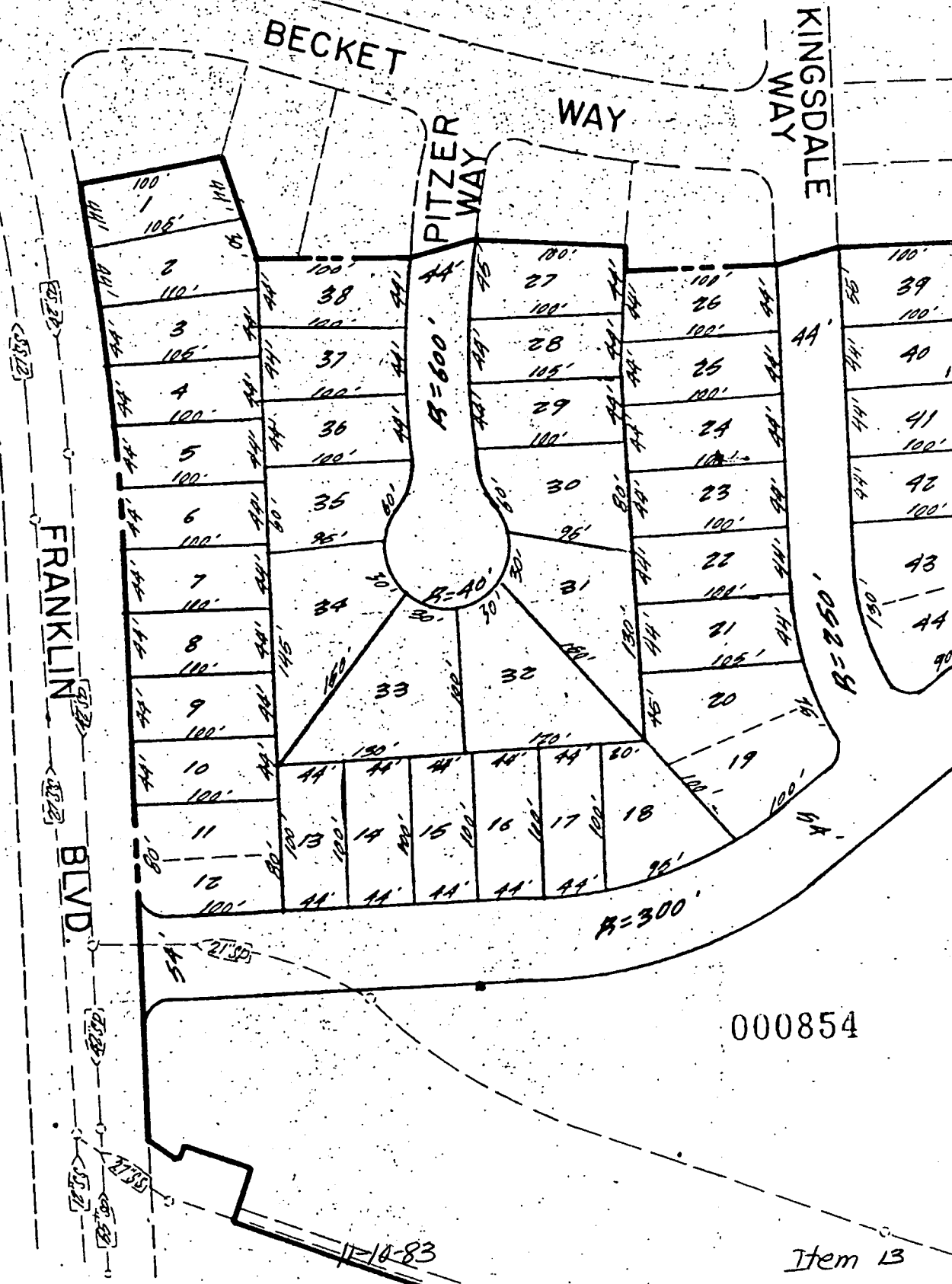
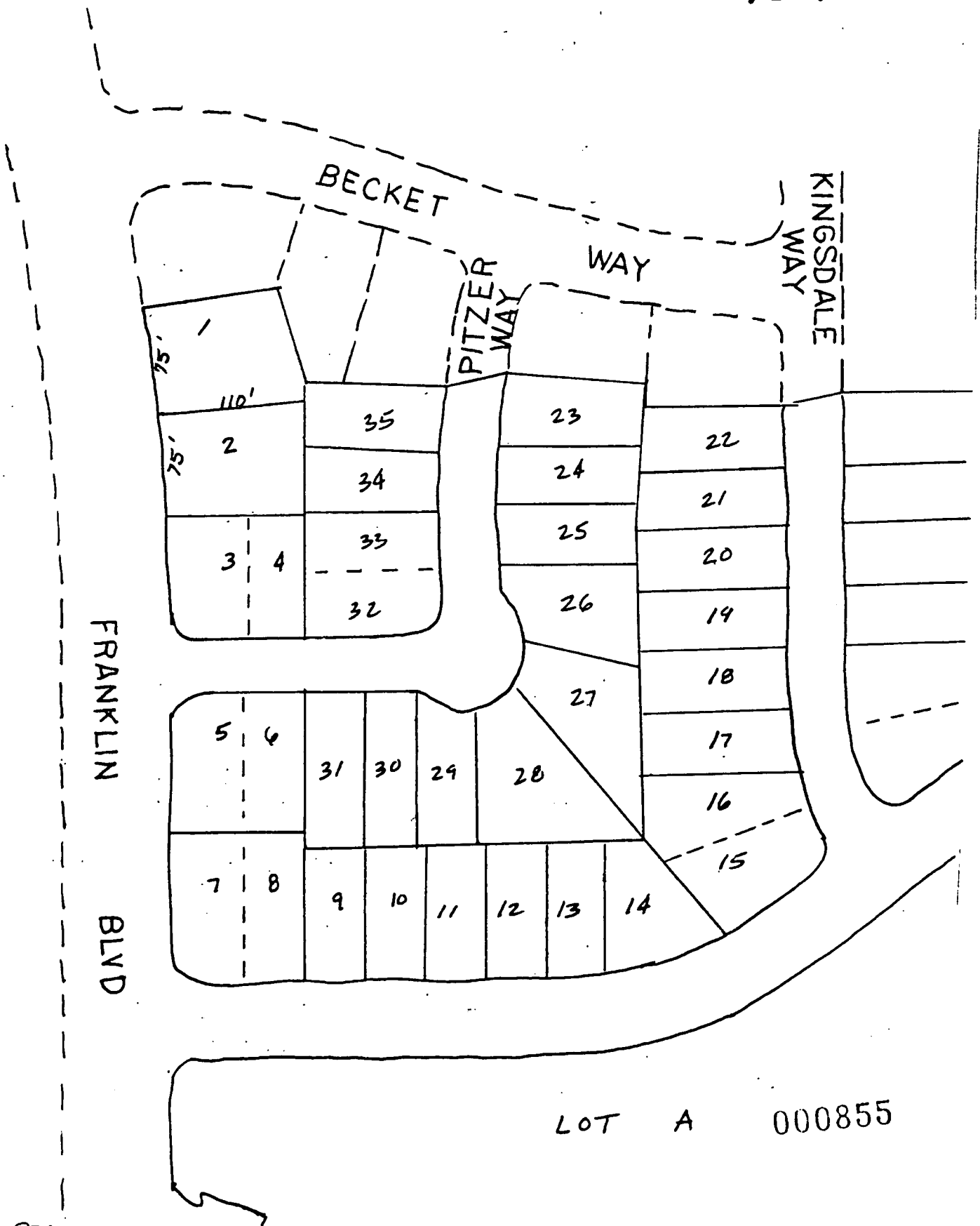
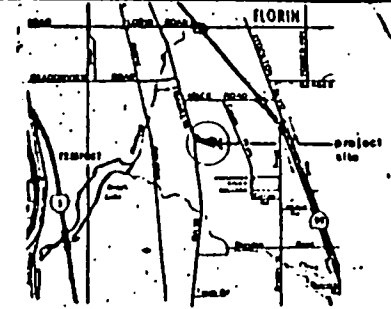


Exhibit "K-2"

Staff's Alternative to "K-1"

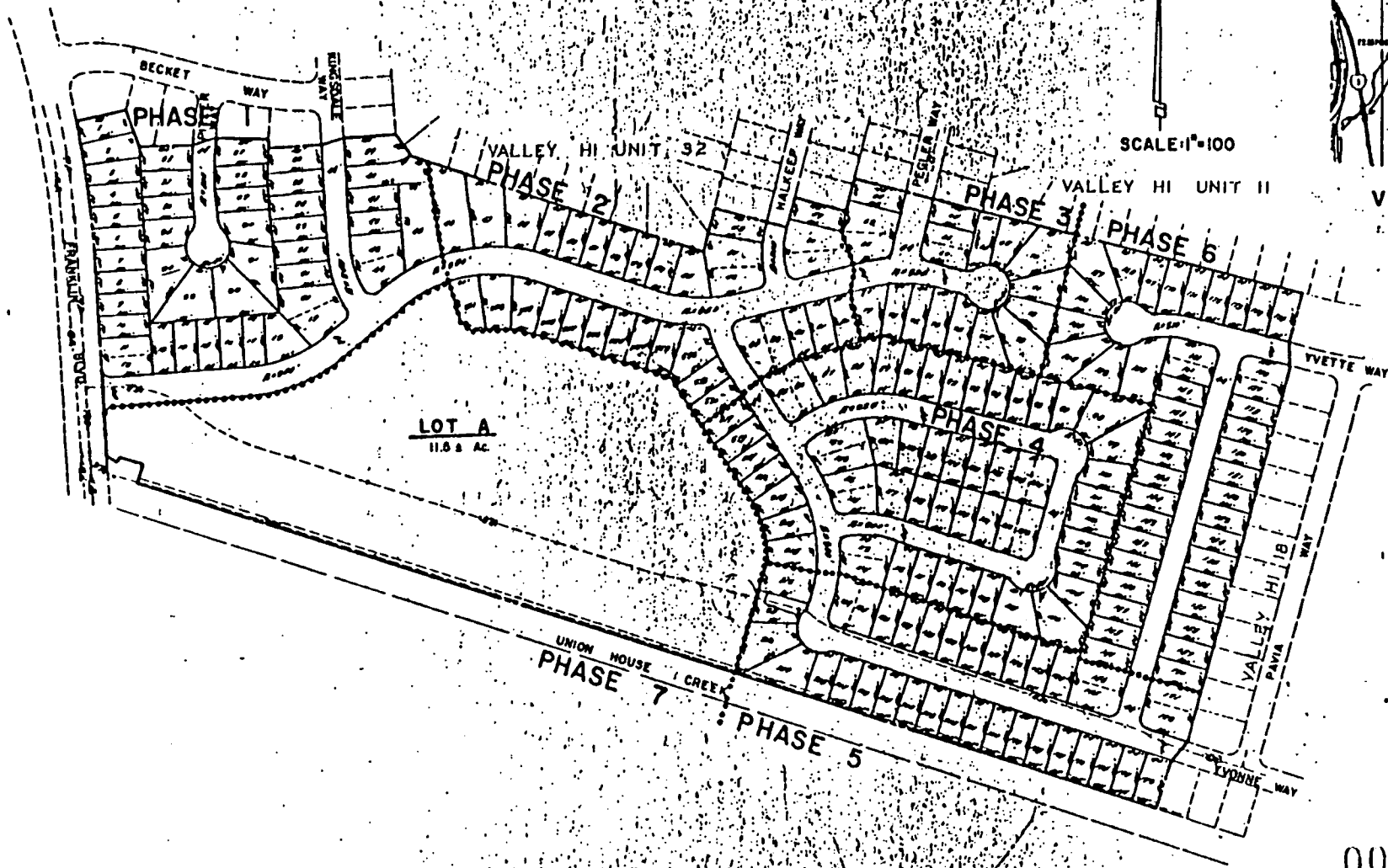


LOT A 000855



vicinity map

SCALE: 1"=100'

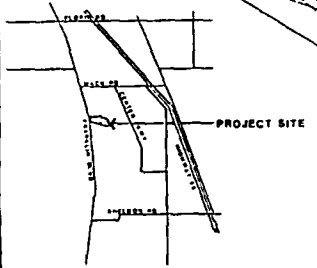
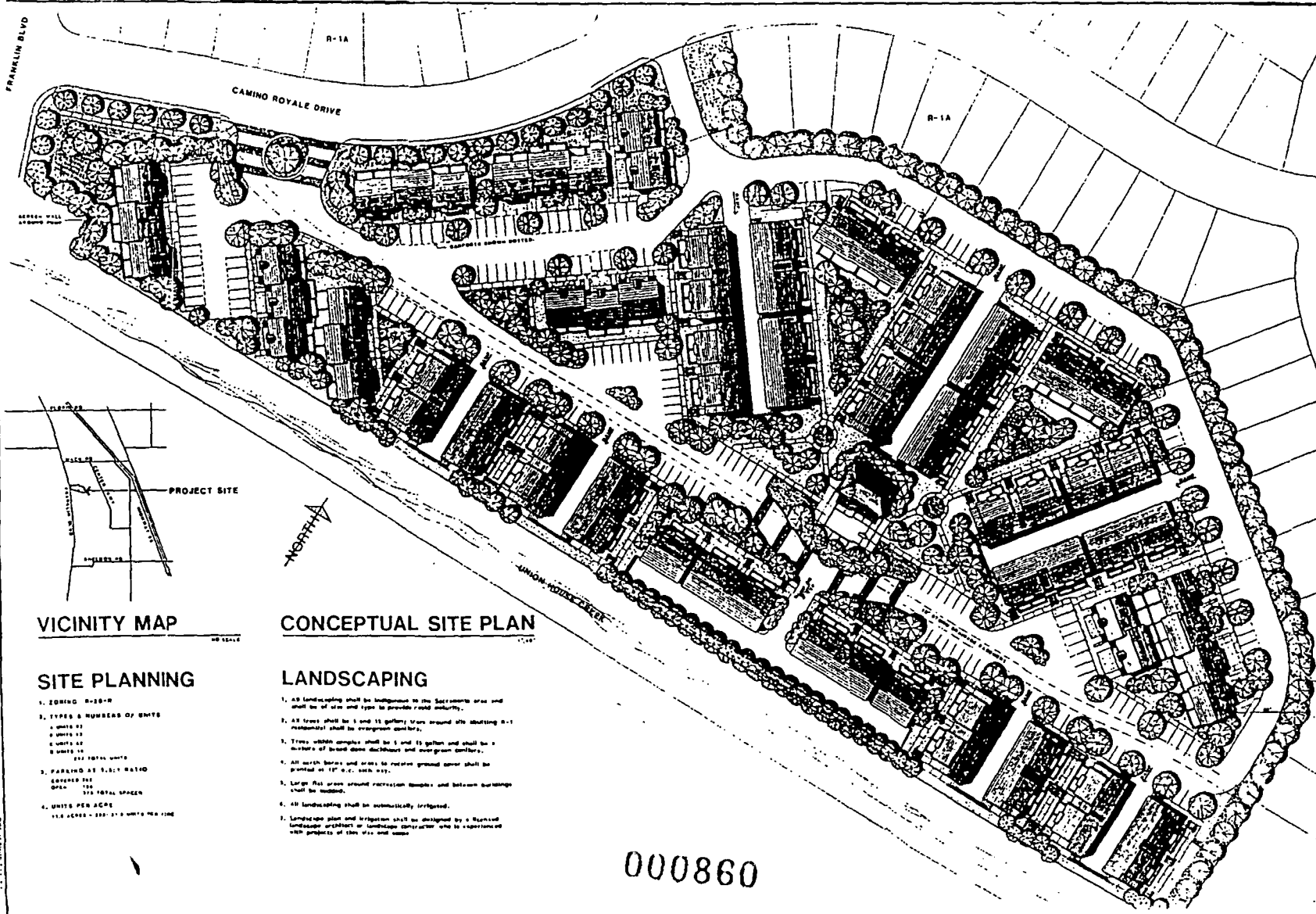


PREPARED BY
 MORTON & PITALO, INC.
 1520 COLLEGE AVENUE
 SACRAMENTO, CALIFORNIA 95811
 PROJECT NO. 88-023
 DATE: 11/15/88

000852



DESCRIPTION	APPROVED BY	SCALE	DATE	MORTON & PITALO, INC. CIVIL ENGINEERING PLANNING SURVEYING	TENTATIVE MAP FOR VALLEY HI UNIT NO. 88-023 CITY OF SACRAMENTO, CALIFORNIA	SHEET NO. 1 OF 1
					FILE NO.	



VICINITY MAP

CONCEPTUAL SITE PLAN

SITE PLANNING

1. ZONING R-1A
2. TYPES & NUMBERS OF UNITS
 - a. units 12
 - b. units 22
 - c. units 32
 - d. units 42
3. PARKING AT 5:12:18:10
 - 60000 sq ft
 - 1000
 - 110 TOTAL SPACES
4. UNITS PER ACRE
 - 11.8 UNITS - 220' x 12' x 5 UNITS PER 1100'

LANDSCAPING

1. All landscaping shall be indigenous to the Sacramento area and shall be of size and type to provide wind stability.
2. All trees shall be 1 and 12 gallon trees around site including 12-14 inch diameter shall be evergreen species.
3. Trees within complex shall be 1 and 12 gallon and shall be a mixture of broad dome, dachhaus and overgreen canopies.
4. All earth berms and areas to receive ground cover shall be planted at 12' o.c. each way.
5. Large flat grass around recreation groups and between buildings shall be sodded.
6. All landscaping shall be automatically irrigated.
7. Landscape plan and irrigation shall be designed by a Licensed Landscape Architect or Landscape Architect who is experienced with projects of this size and scope.

000860

VILLA ROYALE
CONDOMINIUMS

FEATURE HOMES, INC.
6130 FREEPORT BLVD.
SACRAMENTO, CA. 95822
(916) 424-4888

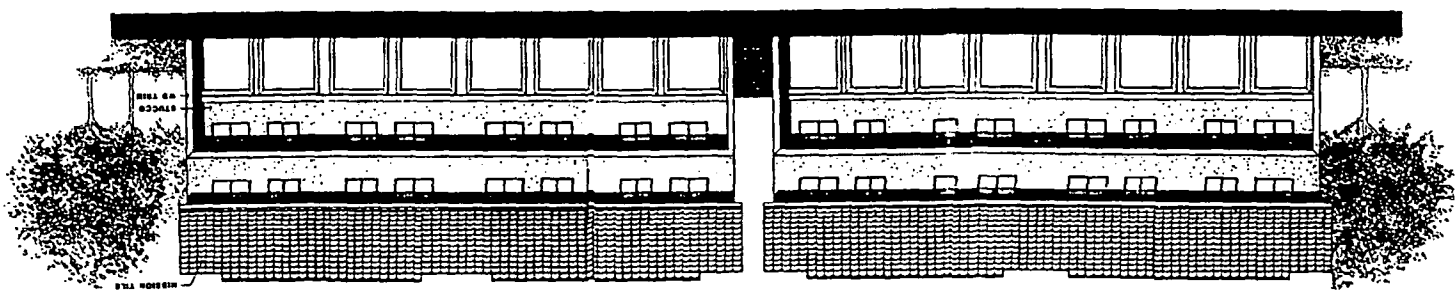
Lawry
Coker
DeSilya
Architects
A.I.A.

1250 Sutter Street
P.O. Box 8120
Sacramento, California
95833

LAWYER
 Designer
 Coker
 Architects
 A.I.A.
 630 FREEPORT BLVD.
 SACRAMENTO, CA. 95822
 (916) 424-4988
FEATURE HOMES, INC.
VILLA ROYALE
CONDOMINIUMS

000861

REAR ELEVATION UNITS A & B



FRONT ELEVATION UNITS A & B

