

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 9902702
Insp Area: 1

Site Address: 1730 13TH ST SAC
Parcel No: 006-0283-002

Sub-Type: ASFR
Housing (Y/N): N

CONTRACTOR

OWNER

RICHARD TOLMACH
1730 13TH ST
SACRAMENTO CA 95814

ARCHITECT

Nature of Work: INTERIOR REMODEL: BATHROOM

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.


License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

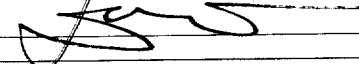
→ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

X Date 03/24/1999 Owner Signature 

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

X Date 03/24/1999 Applicant/Agent Signature 

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.


____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier

Policy Number

Exp Date

→ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

X Date 03/24/1999 Applicant Signature 

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

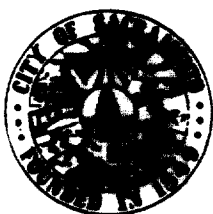


EXHIBIT 1

I have read and am familiar with the contents of City's standard Owner-Builder Notification and Owner-Builder Verification, as required by California Health and Safety Code Section 19830 and 19831.

I authorize my agent(s) DANIEL COMAN
to sign the Owner-Builder Verification on my behalf.

Signature Richard Tolmach
Print Name RICHARD TOLMACH
Address 1730 13TH ST
SACRAMENTO CA 95814
Telephone 916 443-1529

OWNER-BUILDER VERIFICATION

ATTENTION PROPERTY OWNER

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed improvement (yes or no) _____

2. I (have have not) _____ signed an application for a building permit for the proposed work.

3. I have contracted with the following person (firm) to provide the proposed construction:

Name TSA Address _____
City _____ Telephone _____
Contractors License No. _____

4. I plan to provide portions of the work, but I have hired the following person to coordinate, supervise, and provide the major work.

Name NA Address _____
City _____ Telephone _____
Contractors License No. _____

5. I will provide some of the work but I have contracted (hired) the following to provide the work indicated:

Name	Address	Phone	Type of Work
<u>TBA</u>			

Signed [Signature]
Job Address 1780 18th St Date 3-24-99
Permit No.: 9902702

TOLHACH RESIDENCE
RAT# 120071 REVISABLE

1730 13TH STREET
SACRAMENTO CA 95814

SMOKE DETECTOR IS REQUIRED
UPON ALTERATIONS, REPAIRS OR ADDITIONS
REQUIRING A PERMIT ARE IN EXCESS OF
\$100 OR WHEN ONE OR MORE SLEEPING
ROOMS ARE ADDED OR CREATED (GROUP R-3)

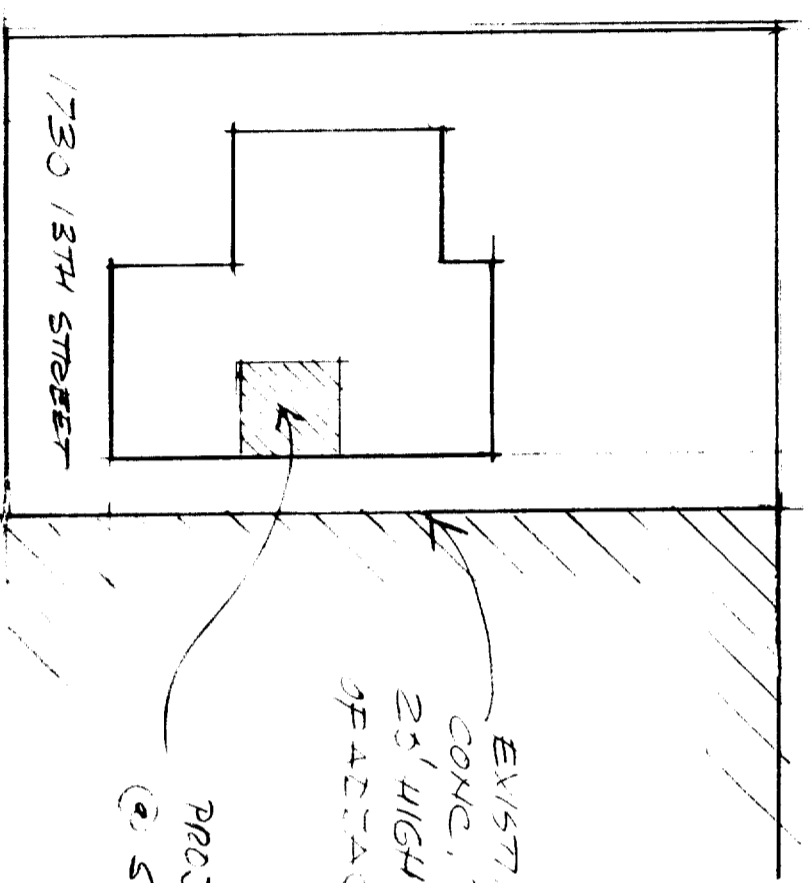
The approval of all Plumbing
Mechanical and Electrical
work is subject to field inspection

PERSONAL SAFETY BUILDING CODE
SEE ATTACHED INSTRUCTIONS

ISSUED

MAR 24 1999

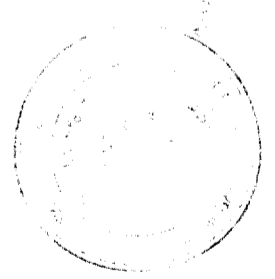
"R" STREET



EXISTING
CONC. BLOCK
25' HIGH FIREWALL
OF ADJACENT BUILDING

PROJECT 1200710X
@ SECOND FLOOR

13TH STREET
PLOT PLAT 1/2" = 16'

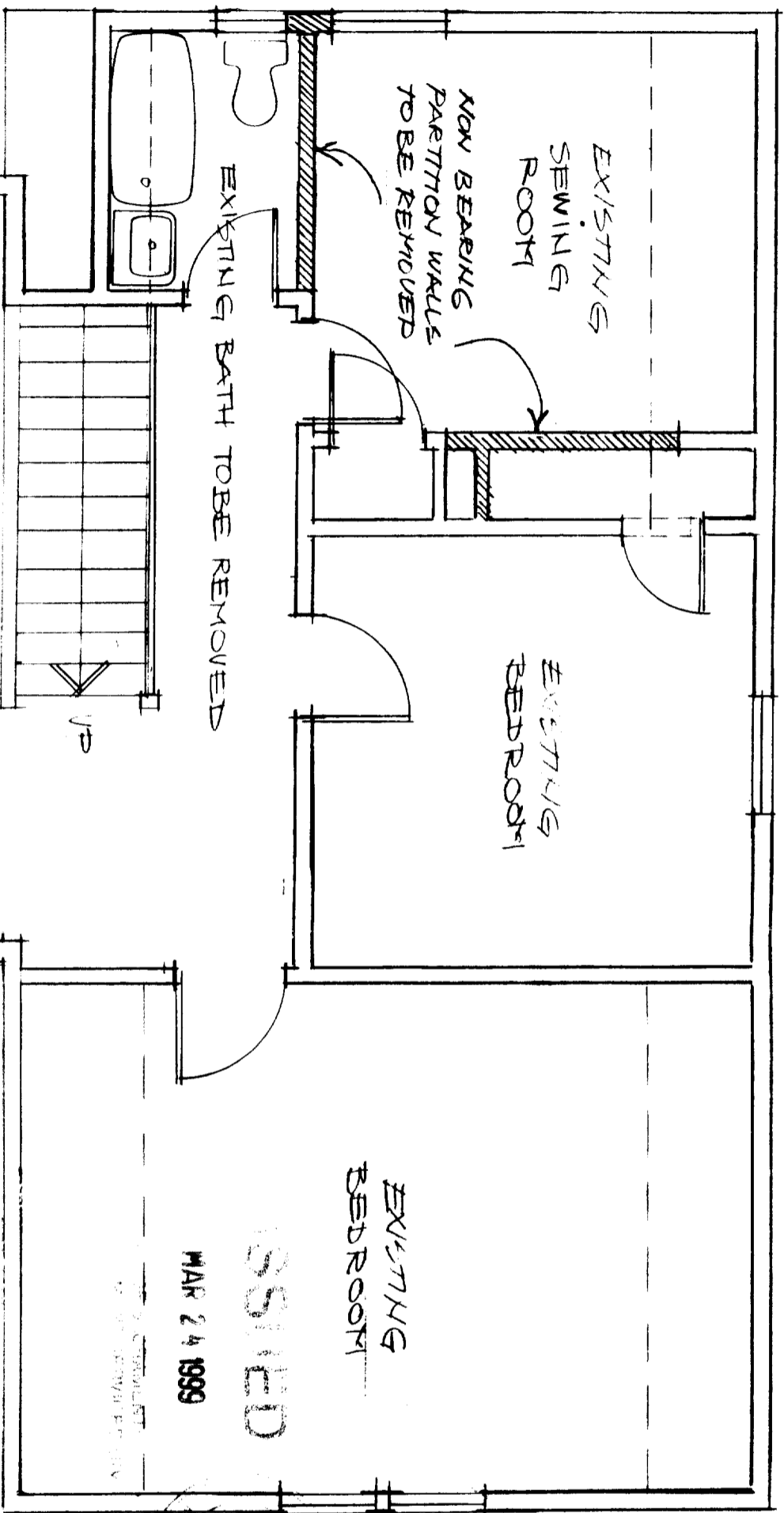


This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

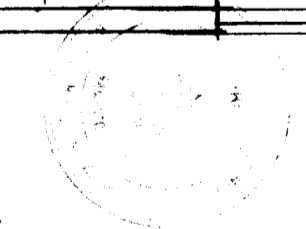
All pipe, pipe fittings, valves, fixtures, materials, and equipment used in a plumbing system shall be listed or labeled by an approved listing agency

3. Block egress to raised bed area
2. Min. path to egress
1. Block egress to raised bed area

**TOLMACH
RESIDENCE
REMODEL**



ISSUED
MAR 24 1999

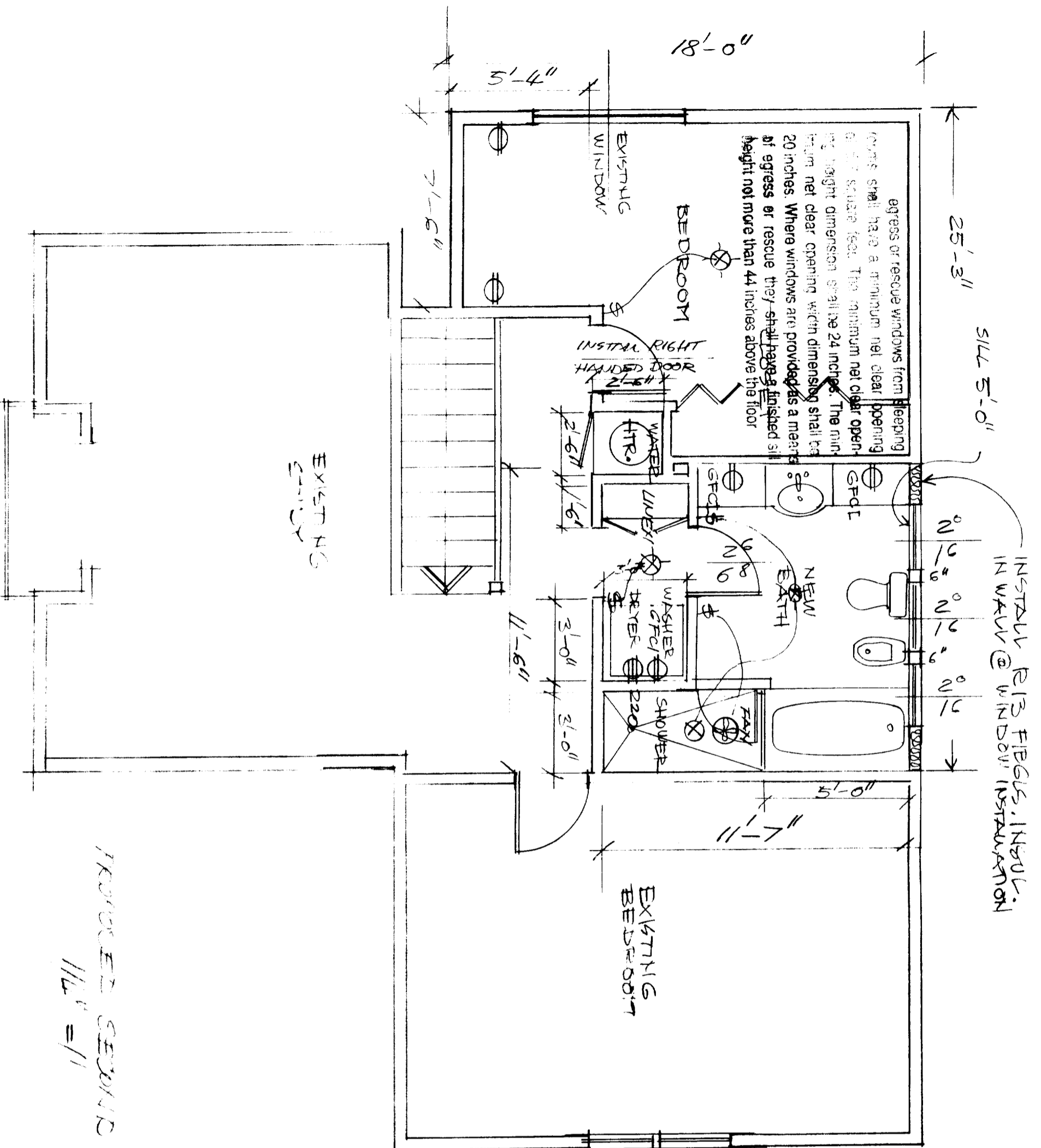


... all times and ...
... without written permission from the
... Division.
The approval of this plan and specification
... NOT be held to permit or ...
... of any City Ordinance or State Law.

NOTE :

EXISTING BATHROOM WAS NOT AN ORIGINAL FEATURE. THE AUT SURFACE UNDER SLOPED ROOF. PARTITION WALL PROPOSED FOR REMOVAL WAS BUILT OVER EXISTING WINDOW.

EXISTING SECOND FLOOR PLAN
1/4" = 1'



TOLMACH RESIDENCE
 BATHROOM REMODEL
 1730 13TH STREET
 SACRAMENTO

NOTES:
 IF APPROPRIATE PREFAB SHOWER PAN IS NOT AVAILABLE, INSTALL HOT TUB PAN UNDER TILE SURFACE LIGHT IN SHOWER SHALL BE OF A SEVERED OR LISTED APPROVED TYPE NEW WINDOWS IN EXISTING SHALL BE DOUBLE FRAME AIRKING TYPE.

PERSONAL SAFETY BUILDING CODE
 SEE ATTACHED INSTRUCTIONS

PROPOSED SECOND FLOOR FLOOR FIN
 1 1/4" = 1'

MAR 24 1999

OF SACRAMENTO
 SERVICE DIV.