

P99-081 - South Watt Business Park - Bldgs. A, B, & C

- REQUEST:
- A. Environmental Determination - Prior Negative Declaration
 - B. Plan Review to construct three one story industrial buildings (18,400 sqft., 28,000 sqft., 22,940 sqft.) on three separate lots in the South Watt Business Park on 5.4± acres in the M-1S-R zone.

LOCATION: Universal Court & So. Watt Avenue
063-0053-019,020,021
Council District 6

APPLICANT:	Mike Peters, (916) 381-3600 8615 Elder Creek Road Sacto. CA 95828
OWNER:	Buzz Oates Enterprises II 8615 Elder Creek Road Sacto. CA 95828
PLANS BY:	Leo McGlade & Assoc. Inc 3417 Arden Wy. Sacto. CA 95825
APPLICATION FILED:	7-29-99
STAFF CONTACT:	Bridgette Williams, 264-5000

SUMMARY/RECOMMENDATION:

The applicant is proposing to construct three one-story industrial buildings on three separate contiguous parcels totaling 5.4± vacant acres in the Light Industrial Review (M-1S-R) zone. On January 2, 1990, the City Council approved a Rezone and Tentative Map of the South Watt Industrial Park from Agriculture to Light Industrial Review for future industrial buildings in the park (P87-378). In order to meet the applicant's objectives, the project requires the discretionary planning entitlements described above. In evaluating the project, the basic issues are site and building design for each lot and the project's overall compatibility with surrounding uses.

Staff recommends approval of the project. This recommendation is based on the project's consistency with policies in the General Plan regarding industrial development and compatibility with existing industrial land uses in the area.

PROJECT INFORMATION:

General Plan Designation:	Industrial - Employee Intensive
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	M-1S-R

Surrounding Land Use and Zoning:

North: Industrial; M-1S-R
 South: Vacant & Commercial\AM\PM Gas; M-2S
 East: County; Vacant
 West: Vacant; M-2S

Setbacks:	Required	Provided
Front:	25'	30' - 100' (cul-de-sac)
Side(St):	25'	30' - 100' (cul-de-sac)
Side(Int):	0'	2'
Rear:	0'	2'

Property Dimensions:	Irregular
Property Area:	5.4 \pm gross acres
Square Footage of Building:	Bldg. A 18,400 square feet Bldg. B 28,000 square feet Bldg. C 22,940 square feet
Height of Building:	Bldg. A 28 feet, 1 story Bldg. B 28 feet, 1 story Bldg. C 30 feet, 1 story
Exterior Building Materials:	Concrete & Glass
Roof Material:	Wood
Exterior Building Colors:	Lt. Gray/Tan-colored trim to match existing bldgs.

Parking determination is based on a maximum 75% warehouse and 25% office space for each building.

Parking Provided Bldg. A:	59 spaces @ 13,800 sqft\warehouse. 4,600 sqft\office.
Parking Provided Bldg. B:	18 spaces @ 21,000 sqft\warehouse. 7,000 sqft\office.
Parking Provided Bldg. C	29 spaces @ 17,205 sqft\office. 5,735 sqft\office.
Parking Required Bldg A:	14 spaces (1:1000 min. warehouse) 28 spaces (1:500 max. warehouse) 12 spaces (1:400 min. office.) <u>17 spaces (1:275 max. office.)</u> Total 26 spaces (min. wsh & off) 45 spaces (max. wsh & off)
Parking Required Bldg.B:	21 spaces (1:1000 min. warehouse) 42 spaces (1:500 max. warehouse) 18 spaces (1:400 min. office.) <u>25 spaces (1:275 max. office.)</u> Total 39 spaces (min. wsh & off) 67 spaces (max. wsh & off)
Parking Required Bldg. C:	17 spaces (1:1000 min. warehouse) 34 spaces (1:500 max. warehouse) 14 spaces (1:400 min. office.) <u>21 spaces (1:275 max. office.)</u> Total 31 spaces (min. wsh & off) 55spaces (max. wsh & off)
Total Parking Allowed:	96 spaces min. 167 spaces max.
Total Parking Provided:	106 spaces
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

Permit

Driveway Permit
Building Permit
Sign Permit

Agency

Public Works, Development Services
Development Services Division
Development Services Division

BACKGROUND INFORMATION:

The proposal consists of the construction of three industrial buildings (Bldg. A - 18,400 sqft; Bldg. B - 28,000 sqft; Bldg. C - 22,940 sqft) in the M-1S-R zone. The intent is to construct three spec buildings for future occupancy of an industrial\commercial and\or office user that will be compatible with surrounding uses in the area. The hours of operation for each building will be 7:00 am - 6:00 pm daily. A specific tenant is unknown at this time.

Industrial uses are permitted by right in a Light Industrial Review (M-1S-R) zone. The review "R" zone gives the City the ability to ensure quality building design and materials as well as site layout for new construction in the South Watt Business Park. The "S" zoning suffix requires a 25 foot wide landscaped setback along all street frontages.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The proposed industrial uses are consistent with the General Plan land use designation and the existing light industrial zone. The General Plan encourages industrial park expansions and opportunities for new warehousing/distribution activities (Sec. 4-19 policy 1). The City's Zoning Ordinance also recommends adequate landscape strips along public streets and fences/walls to screen outdoor storage and uses. The conditions placed on the project related to building and site design will ensure project consistency with goals and policies in the General Plan and the City's Zoning Ordinance.

B. Site Plan Design/Zoning Requirements1. Setbacks

The M-1S(R) zoning requires a 25 foot landscape setback along all street frontages and complete screening of all outdoor storage. The site plan indicates adequate building and landscape setbacks along both Universal Court and South Watt Avenue. Sufficient rear and interior side yard setbacks are also provided. The proposed site plan allows for adequate truck deliveries and vehicular circulation. Future docks are delineated on the site plan at the rear of building A and along the

north and south wall of buildings B and C. Overall the building setbacks are compatible with surrounding setbacks in the industrial park. No indication of a storage area is illustrated on the site plan. Staff would recommend that all outdoor storage areas be adequately screened with a 6 foot high masonry wall and/or chain link fence with slats. Detailed elevations of a wall and/or fencing shall be submitted for review and approval of Planning staff prior to the issuance of building permits.

Each building has a trash enclosure/recycling bin located in areas on the site plan that are sufficient. Each trash enclosure shall comply with the City's Trash/Recycling Ordinance.

2. Parking/Circulation

The Zoning Ordinance requires a minimum of 1 parking space per 1000 gross building square footage and a maximum of 1 parking spaces per 500 gross building square footage for an industrial use; and a minimum parking ratio of 1:400 gross square feet for office and a maximum 1:275 gross building square feet. The submitted site plan reflects a total of 106 parking spaces combined between the three parcels. Reciprocal ingress, egress and parking easements will be provided with the sale of each parcel. Therefore, adequate parking will be provided between the three parcels. Staff has no objection to the amount of parking provided. Fifty percent of all surfaced areas (parking, maneuvering, aisles) must be shaded.

Three main driveways are proposed for ingress and egress onto the subject from Universal Court. The City's Transportation Department has indicated that the overall circulation on site is sufficient for vehicular and pedestrian safety. Power Inn Business & Transportation Association has recommended that alternative transportation measures be considered on each parcel. The site plan depicts bicycle parking on each parcel adjacent to the building and parking lot. One suggestion made by the association was that a "carpool only" parking space be designated near the building entrance or in a shaded area on each parcel.

3. Landscaping

The site plan depicts the required 25 foot landscape setback along Universal Court. Landscape setbacks along both South Watt Avenue and Universal Court are sufficient. All landscaping shall be irrigated.

4. Signage

No specific signage or sign program was submitted with the application. All detached and attached signage will be required to comply with the City's Sign Ordinance and signage will be required to obtain sign permits. The City's Sign Ordinance allows one detached monument sign for each street frontage in the M-1S zone. The detached monument sign shall not exceed twelve feet in height, measured from the sidewalk or parking lot, whichever is lower. Sign area shall not exceed 48 square feet. Building A site is located on a corner. Buildings on a corner are allowed two attached signs for each occupancy. The attached signs shall not exceed a total aggregate area of three square feet of sign area for each front foot of building occupancy.

C. Building Design

The applicant proposes to construct a tilt-up concrete buildings with glass windows. Buildings A & B are 22' feet in height and building C is 30 feet in height. The roof material for each building is wood. Building colors include light gray with tan colored trim to match existing buildings in the industrial park. Design Review staff is not opposed to the building's design or color proposal. Each building's design and color will be compatible with the surrounding buildings in the industrial park.

PROJECT REVIEW PROCESS:

A. Environmental Determination

On January 2, 1990, the City Council ratified a Negative Declaration for the proposed subdivision (P87-378). Section 15162 of the CEQA Guidelines provides that an additional Negative Declaration need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. The proposed project is development of an industrial building allowed in the industrial zone. Therefore, a new Negative Declaration is not required.

B. Public/Neighborhood/Business Association Comments

The proposed project was routed to the Power Inn Business & Transportation Association for review and comment. The business association indicated that bicycle lockers and a carpool space shall be provided on the site. The association comments have been included as conditions of approval.

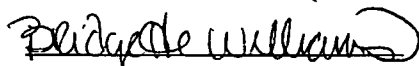
C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. Comments have been included as conditions of approval in the Notice of Decision.

PROJECT APPROVAL PROCESS: Planning Commission has the authority to approve or deny the Plan Review. The Planning Commission action may be appealed to the City Council. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.


RECOMMENDATION: Staff recommends the Planning Commission adopts the Notice of Decision and Findings of Fact which approves the Plan Review to construct three one story industrial spec buildings (Bldg. A - 18,400 sqft; Bldg. B - 28,000 sqft; Bldg. C - 22,940 sqft) on 5.4± vacant acres in the M-1S-R zone.

Report Prepared By,



Bridgette Williams
Associate Planner

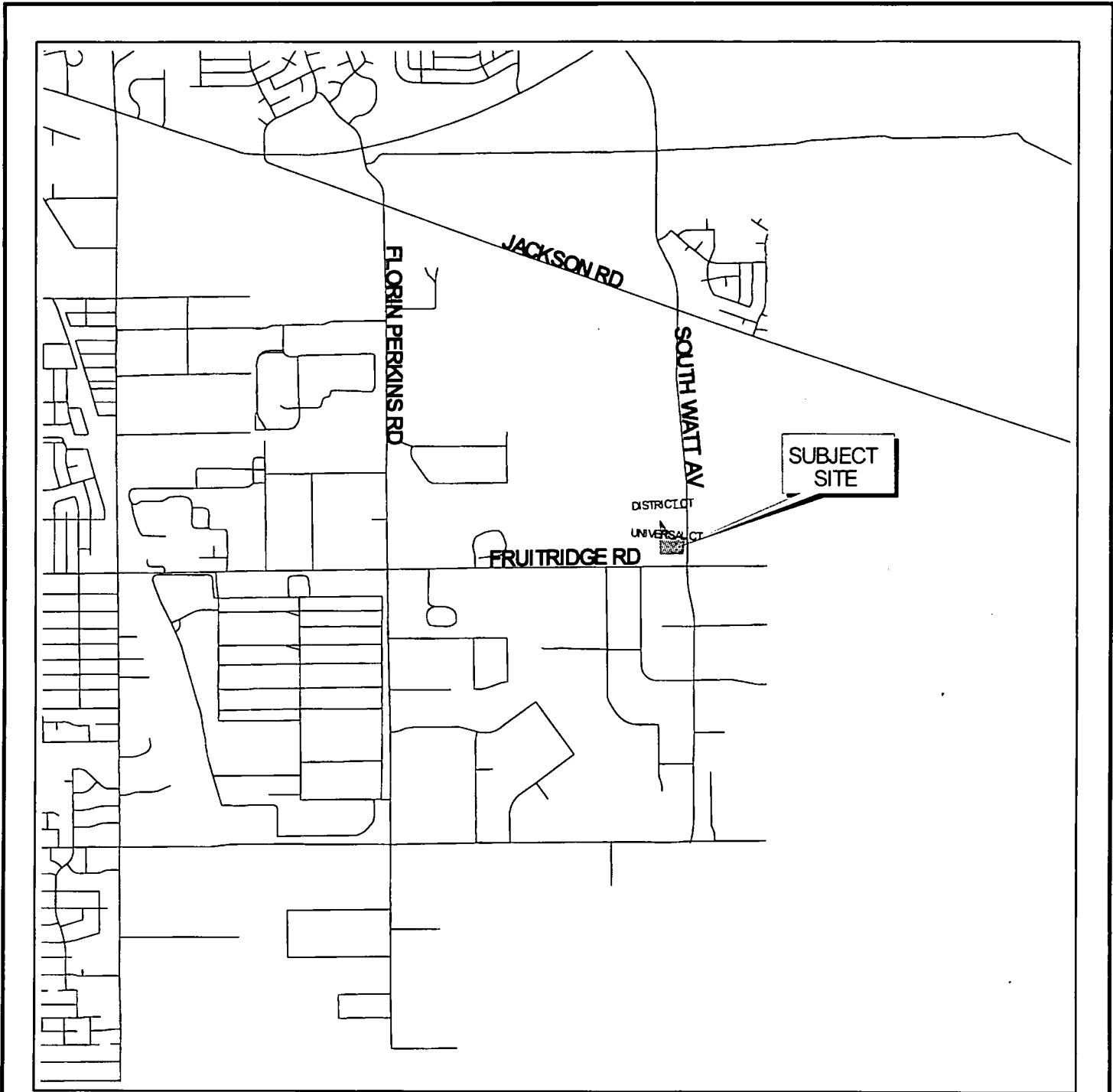
Report Reviewed By,



Barbara Wendt
Senior Planner

Attachments

Attachment A	Vicinity Map
Attachment B	Land Use and Zoning Map
Attachment C	Notice of Decision and Findings of Fact approving the Plan Review
Exhibit C-1	Site Plan
Exhibit C-2	Landscape Plan
Exhibit C-3	Floor Plans
Exhibit C-4	Elevations

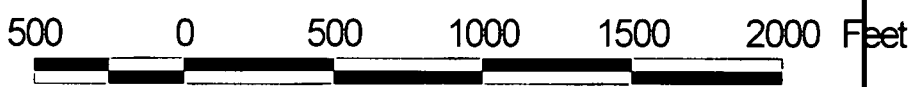
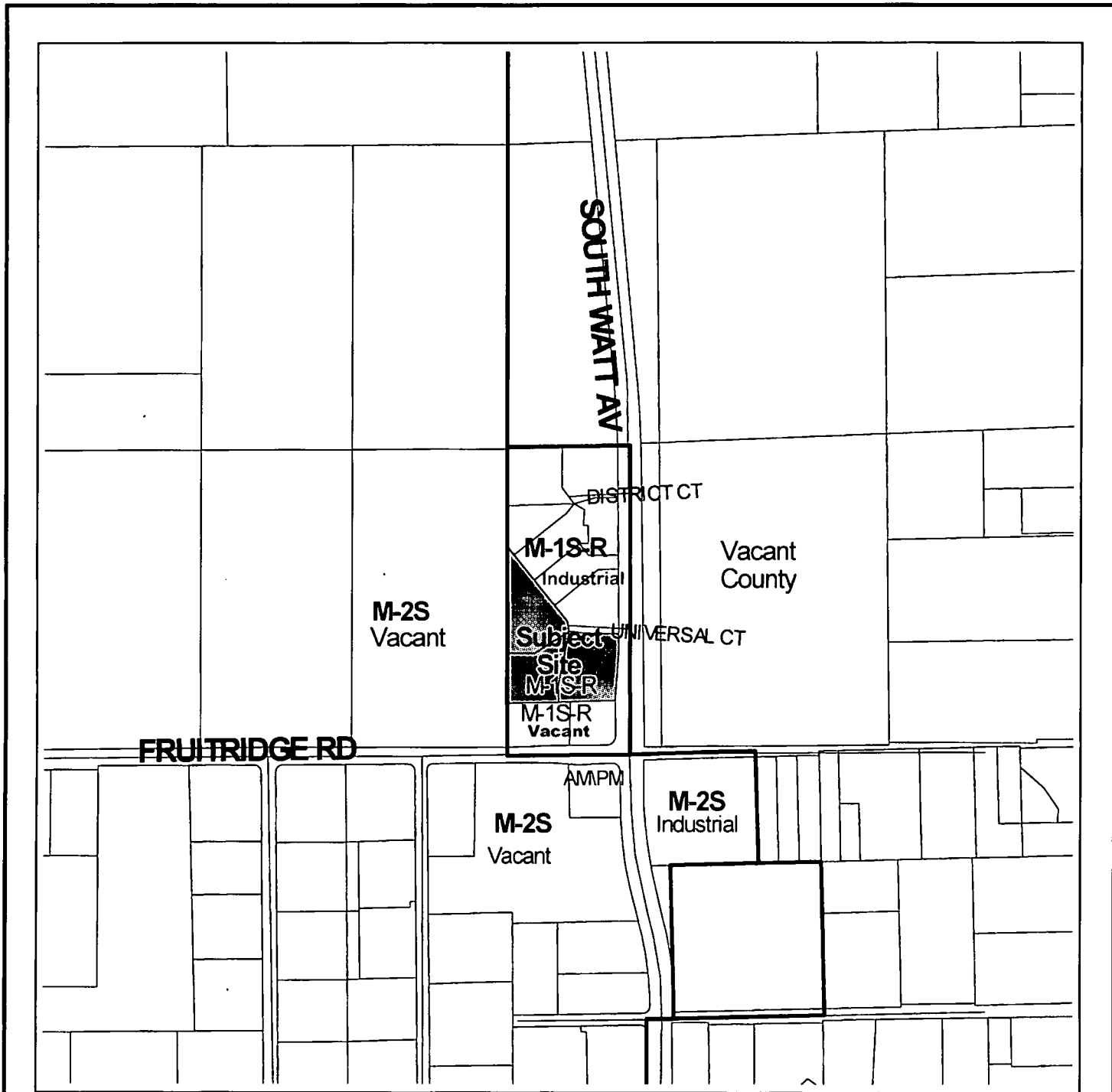


Neighborhoods, Planning,
and Development Services
Department

Geographic
Information
System

Vicinity map
P99-081





Neighborhoods, Planning,
and Development Services
Department

Geographic
Information
System

Land Use & Zoning Map

P99-081



ATTACHMENT C

NOTICE OF DECISION AND FINDINGS OF FACT FOR A PLAN REVIEW TO CONSTRUCT THREE INDUSTRIAL BUILDINGS (BLDG. A - 18,400 SQFT; BLDG. B - 28,000 SQFT BLDG. C - 22,940 SQFT) ON 5.4± VACANT ACRES IN THE LIGHT INDUSTRIAL REVIEW (M-1S-R) ZONE LOCATED AT UNIVERSAL COURT & SOUTH WATT AVENUE (P99-081) (APN:063-0053-019,020,021)

At the meeting of October 28, 1999, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Environmental Determination: Prior Negative Declaration**
- B. **Adopted the Notice of Decision and Findings of Fact approving the Plan Review to construct three industrial buildings (Bldg. A - 18,400 sqft; Bldg. B - 28,000 sqft. Bldg. C - 22,940 sqft) on 5.4± acres in the M-1S-R zone.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- B. Plan Review: The Plan Review to construct three industrial buildings in the M-1S-R zone is approved subject to the following findings of fact and conditions of approval:
 - 1. The proposed development is consistent with policies in the General Plan and the land use designation which designates the site for industrial uses.
 - 2. The proposed use will remain in keeping with adjacent industrial\commercial and office uses in the surrounding area.
 - 3. Adequate landscaping, setbacks, maneuvering and parking is provided on the site.

Conditions of Approval - Plan ReviewGeneral

1. The proposed buildings shall be located on the site as depicted on the attached site plan. Any deviation for location of the building and/or parking spaces shall be reviewed by City staff prior to issuance of a building permit.
2. 25 foot wide landscape setbacks shall be provided on all public right-of-ways. All landscaping shall be irrigated.
3. Fifty percent of all surfaced areas (parking, maneuvering, aisles) shall be shaded.
4. All outdoor storage areas shall be adequately screened with a 6 foot high masonry wall and/or chain link fence with slats. Detailed elevations of a wall and/or fencing shall be submitted for review and approval of Planning staff prior to the issuance of building permits.
5. All detached and attached signage shall comply with the City's Sign Ordinance and sign permits shall be obtained. Detached monument signs shall not exceed twelve feet in height, measured from the sidewalk or parking lot, whichever is lower. Sign area shall not exceed 48 square feet. The attached signs shall not exceed a total aggregate area of three square feet of sign area for each front foot of building occupancy.
6. Bicycle lockers and a "carpool" parking space shall be provided each parcel.
7. Back flow preventors shall be screened and/or not located in the building and landscape setbacks.
8. No more than 25% of office space shall occupy each building. A Special Permit to increase the 25% office space is required.

Utilities Department

9. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the on-site domestic, irrigation and fire suppression systems.

10. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
11. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
12. The proposed development is located within Sacramento County Sanitation District No.1. Contact the Regional Sanitation District for sanitary sewer conditions.
13. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
14. Any new domestic water services shall be metered. Only one domestic water service will be allowed per parcel.
15. Multiple fire services are allowed per parcel and may be required.
16. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is not served by a regional water quality control facility and is greater than 1 acre, both source controls and on-site treatment control measures are required. **On-site treatment control measures may affect site design and site configuration and therefore, should be considered during the early planning stages. A water quality control facility incorporating all three (3) site is strongly encouraged.** Improvement plans must include on-site treatment control measures. Refer to the draft "manual of Standards for Design of New Development On-Site Stormwater Quality Control Measures", dated January 23, 1995, for appropriate source control measures and recommended on site control measures.

17. This project is greater than 5 acres (5.4 ± acres), therefore the project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained from the Department of Utilities by calling 264-1400.
18. A drainage study and shed map as described in Section 11.7 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities. The 10-year and 100-year HGL's shall be shown on the improvement plans. The 10- year HGL shall be no higher than 6 inches below the lowest DI. Finished lot pad elevations shall be a minimum of 1.00 feet above the 100-year HGL and approved by the Department of Utilities.
19. Drainage across parcel lines is not allowed. Either the lots must be graded so that drainage does not cross property lines or a private reciprocal drainage easement must be recorded prior to the initial sale of either parcel.

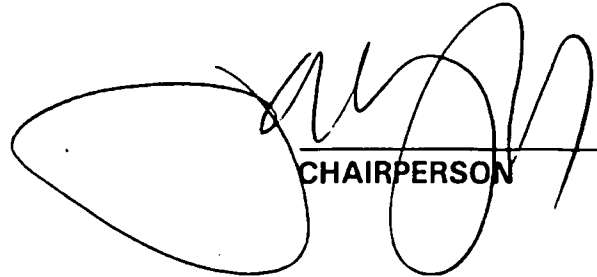
Fire Department

20. A looped hydrant system with an average of 300' spacing shall be provided.
21. Knox Box access shall be required; the City's Fire Department shall review and approve any fence or gate provided on site.

Public Works

22. Remove and reconstruct any existing deteriorated curb, gutter, and sidewalk per City standards.
23. Existing driveways, sidewalks, and handicap ramps shall comply with current ADA standards.
24. Pay a contribution of 39.7% of the cost of constructing pavement for the future widening of South Watt Avenue. The contribution shall be based on the cost of constructing one traffic lane 12 feet in width by 1,284 feet in length.

25. Provide private reciprocal ingress, egress, and parking easements with the sale of each parcel.



CHAIRPERSON

ATTEST:

Guy L. Stuehse
SECRETARY TO CITY PLANNING COMMISSION

10-29-99
DATE (P99-081)

- Exhibit C-1 - Site Plan
- Exhibit C-2 - Landscape Plan
- Exhibit C-3 - Floor Plan
- Exhibit C-4 - Building Elevations

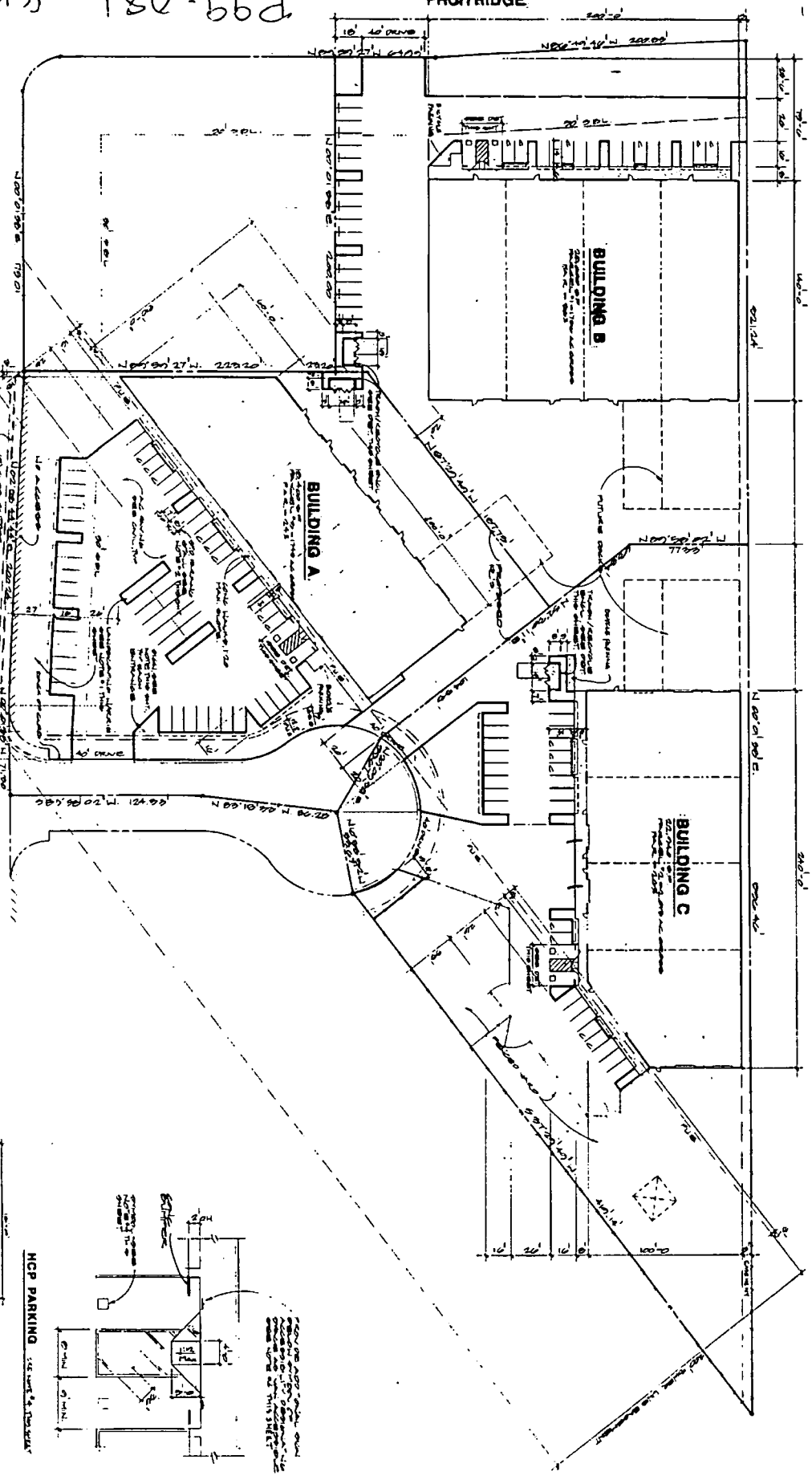
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FRUITRIDGE

SITE PLAN

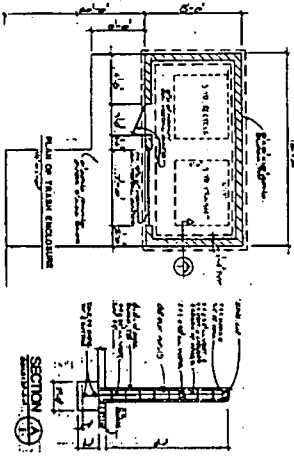
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SACRAMENTO ZONING ORDINANCES AND THE CITY ENGINEER'S APPROVED PLANS.
 2. ALL UTILITIES SHALL BE SHOWN AND DEPTH SHALL BE INDICATED.
 3. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
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SOUTH WATT AVE.



DESIGN CRITERIA

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SACRAMENTO ZONING ORDINANCES AND THE CITY ENGINEER'S APPROVED PLANS.
- 2. ALL UTILITIES SHALL BE SHOWN AND DEPTH SHALL BE INDICATED.
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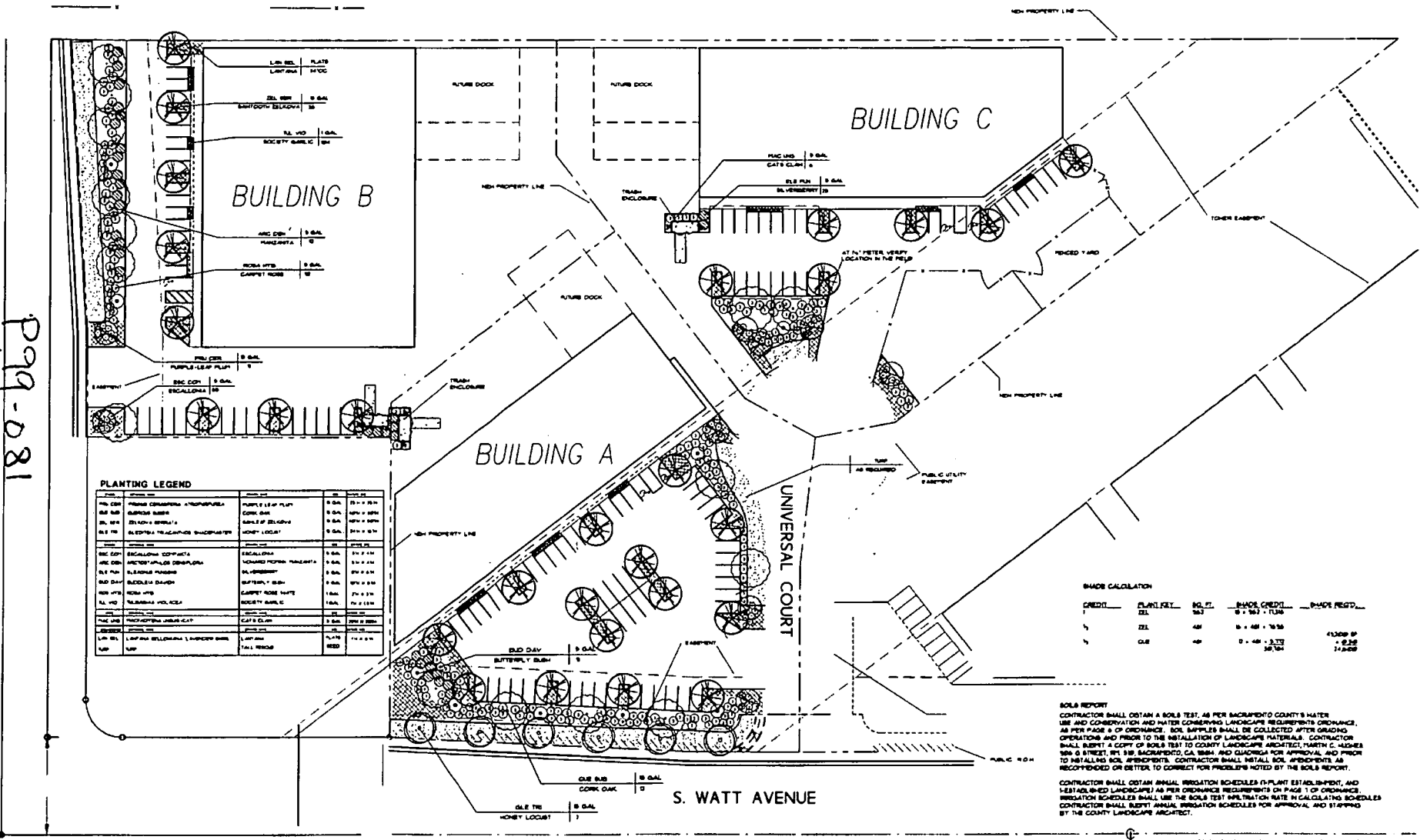
3 WAREHOUSE BUILDINGS

SOUTH WATT AVE. - CITY OF SACRAMENTO, CA

Leo McGlade & associates, inc.
 3417 Adam Way, Suite A, Sacramento, CA 95825 (916) 488-4380

NO.	DESCRIPTION
1	3 WAREHOUSE BUILDINGS
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P99-081
 revised landscaping plans - cleaned 7.29.99.



S.WATT AVENUE
 BUILDINGS A, B, C
 SACRAMENTO, CA



PLANTING PLAN

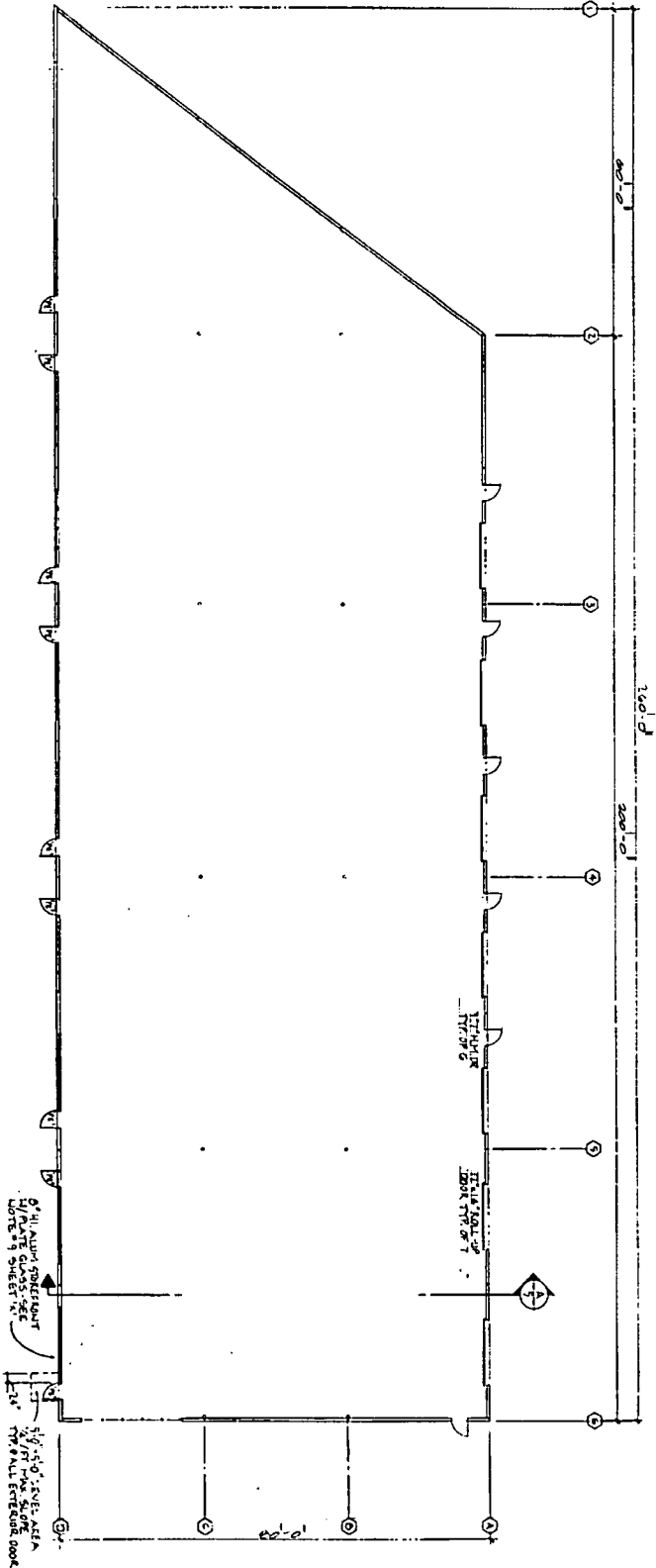
DATE	11/19/98
PROJECT NO	98-211
DESIGN BY	CD

L2.1

ITEM #4
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Exhibit C-2

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FLOOR PLAN BUILDING A

NOTHING SHALL O.K.; SEE NOTE #14, SHEET X.
 ALL DOORS SHALL COMPLY WITH NOTES #7 & 8, SHEET X.
 "P.L." DESIGNATES "PERMANENT EXTERIOR". SEE NOTE #4, SHEET X.
 ALL ALUM. DOORS AND STORM DOORS SHALL BE
 COMPLY WITH CHAPTER 18 OF THE IBC U.S.C.
 EXISTING BUILDING SHALL BE SPANNERLESS. SEE NOTE #17, SHEET X.

ARMED
 063-0053-030

ALL ALUM. DOORS SHALL BE
 COMPLY WITH CHAPTER 18 OF THE IBC U.S.C.
 EXISTING BUILDING SHALL BE SPANNERLESS. SEE NOTE #17, SHEET X.

P99-081 rev 6-27-99

ITEM #4
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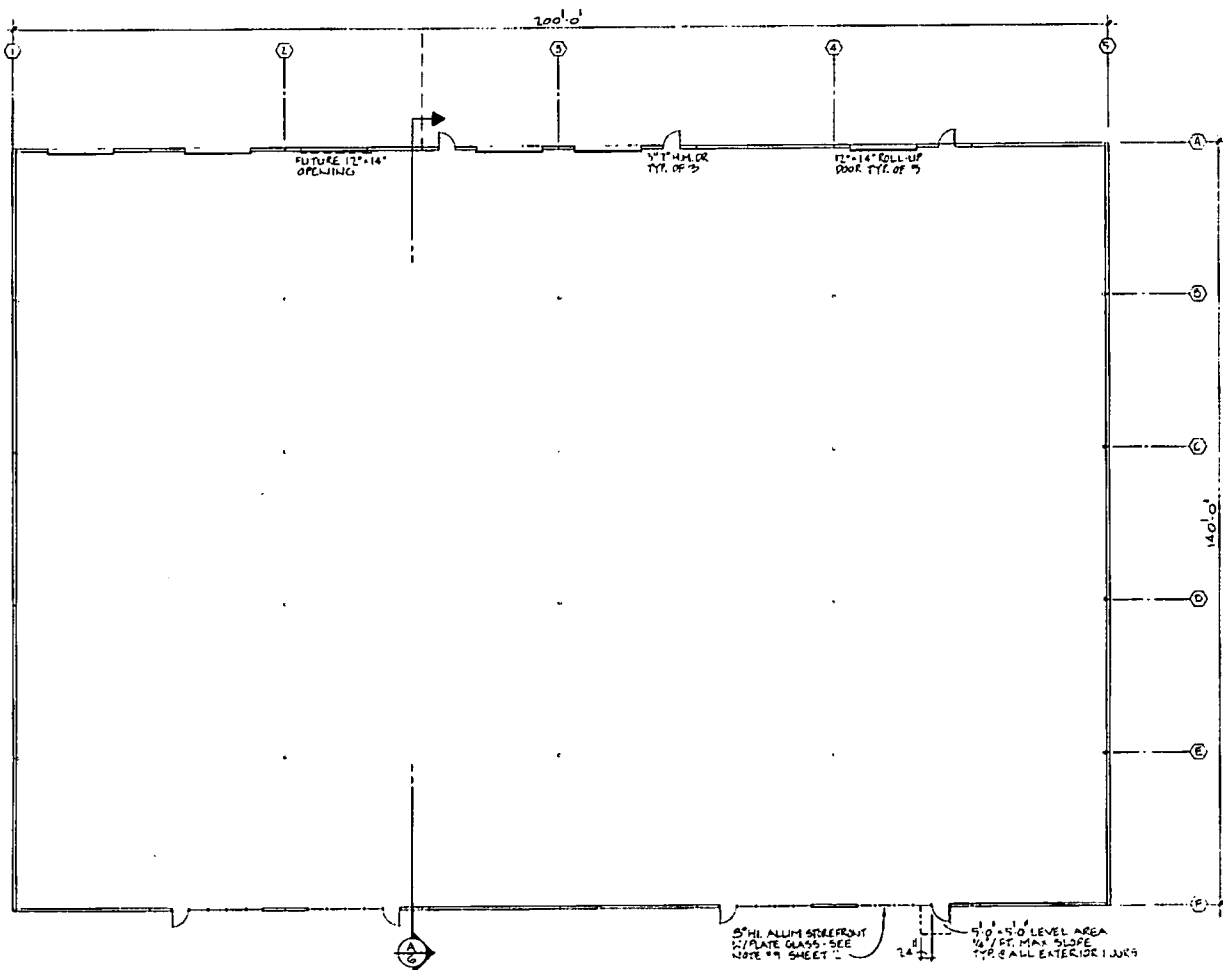
3 WAREHOUSE BUILDINGS
 SOUTH WATT AVE. - CITY OF SACRAMENTO, CA.

FLOOR PLAN
 BUILDING A

M Leo McGlade & associates, Inc.
 3417 Arden Way, Suite A, Sacramento, CA 95825 (916) 488-4380

NO.	REVISION
1	
2	
3	
4	

Exhibit C-3



FLOOR PLAN BUILDING B

BUILDING SHELL ONLY. SEE NOTE #16, SHEET X.
 ALL DOORS SHALL COMPLY WITH NOTES #7 & #8, SHEET X.
 "P.E." DESIGNATES "PRIMARY ENTRANCE". SEE NOTE #6, SHEET X.
 ALL MAIN DOORS AND STOREFRONT DOORS SHALL BE CONSIDERED EXITS. EXITS, EXIT SIGNS & EXIT DOOR SHALL COMPLY WITH CHAPTER 10 OF THE 1994 U.S.C.
 ENTIRE BUILDING SHALL BE SPRINKLERED. SEE NOTE #17, SHEET X.

100'-0" 140'-0"

5" HL ALUM STOREFRONT W/ PLATE GLASS - SEE NOTE #9, SHEET X.

5'-0" x 5'-0" LEVEL AREA 1/8" PER FT. MAX SLOPE TYPE 3 ALL EXTERIOR JOINTS

3'-0" x 1'-0" 14" 18"

3'-0" x 1'-0"

parcel 063-0053-019

P99-081 rev'd 6-27-99

REVISIONS		DATE	BY

Leo McClude & Associates, Inc.
 2111 Adam Road, Suite 100, Sacramento, CA 95825 (916) 484-8800

FLOOR PLAN BUILDING B

3 WAREHOUSE BUILDINGS SOUTH WATT AVE. - CITY OF SACRAMENTO, CA.

18 4 4

Exhibit C-3

REVISIONS	BY

M
 Leo McCloud & Associates, Inc.
 3417 18th Street, Suite A, Sacramento, CA 95825 (916) 484-1300

FLOOR PLAN
 BUILDING C

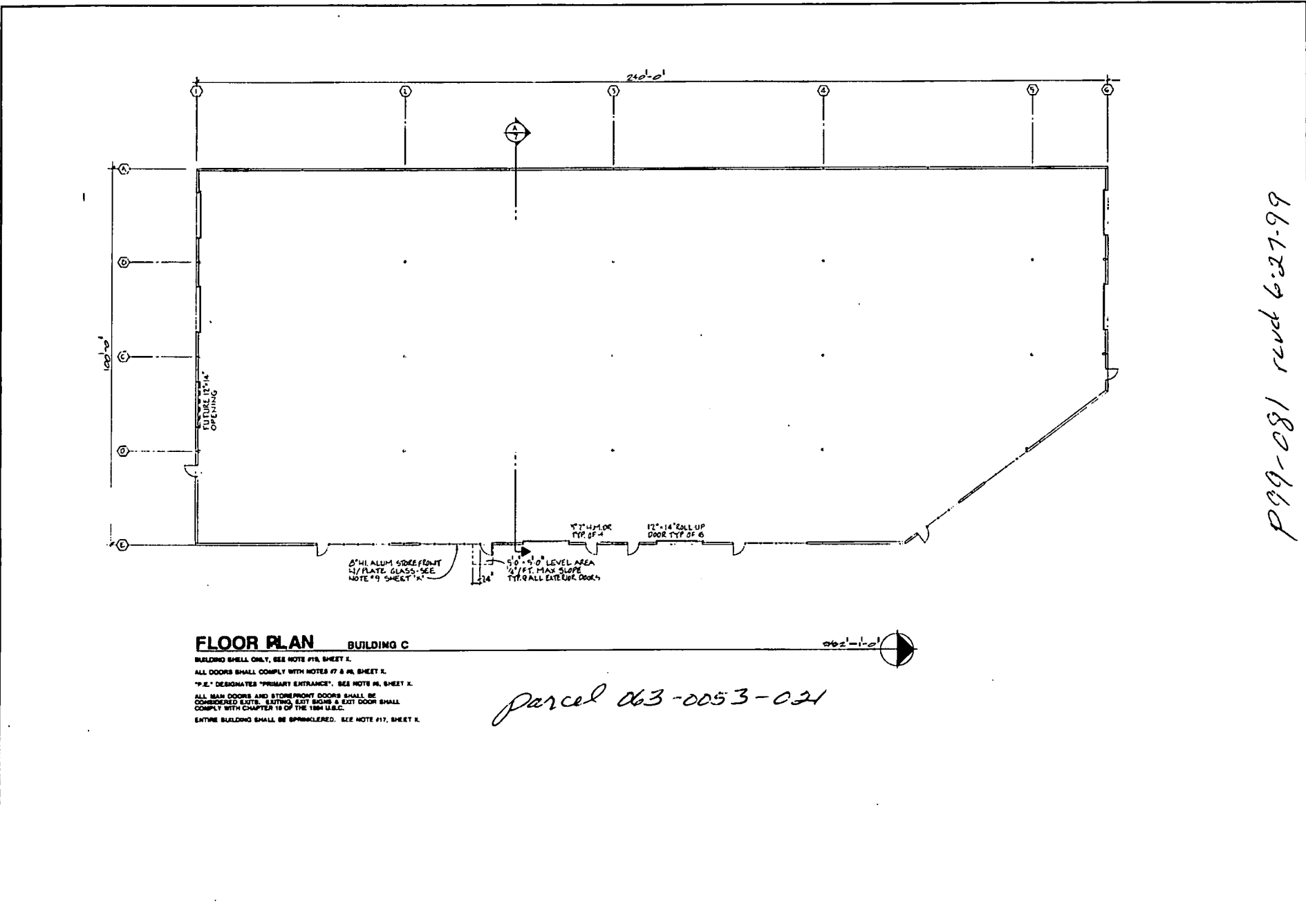
3 WAREHOUSE BUILDINGS
 SOUTH WATT AVE. - CITY OF SACRAMENTO, CA.

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ITEM # 4
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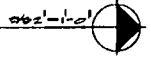
Exhibit C-3



FLOOR PLAN BUILDING C

BUILDING SHELL ONLY, SEE NOTE #16, SHEET X.
 ALL DOORS SHALL COMPLY WITH NOTES #7 & #8, SHEET X.
 "P.E." DESIGNATES "PRIMARY ENTRANCES", SEE NOTE #8, SHEET X.
 ALL MAIN DOORS AND STOREFRONT DOORS SHALL BE CONSIDERED EXITS. EXTING. EXIT SIGNS & EXIT DOOR SHALL COMPLY WITH CHAPTER 18 OF THE 1994 U.B.C.
 ENTIRE BUILDING SHALL BE SPRINKLERED. SEE NOTE #17, SHEET X.

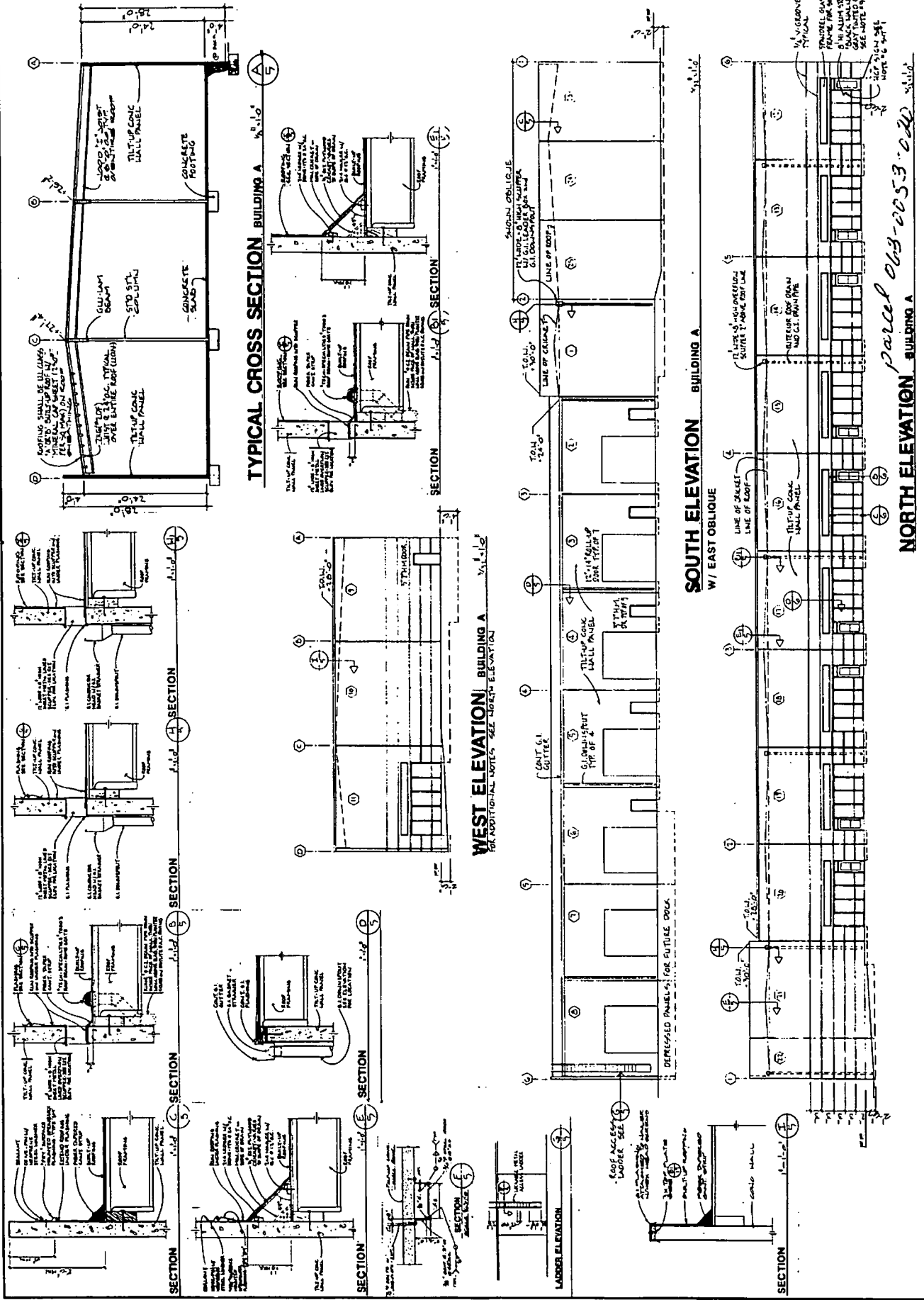
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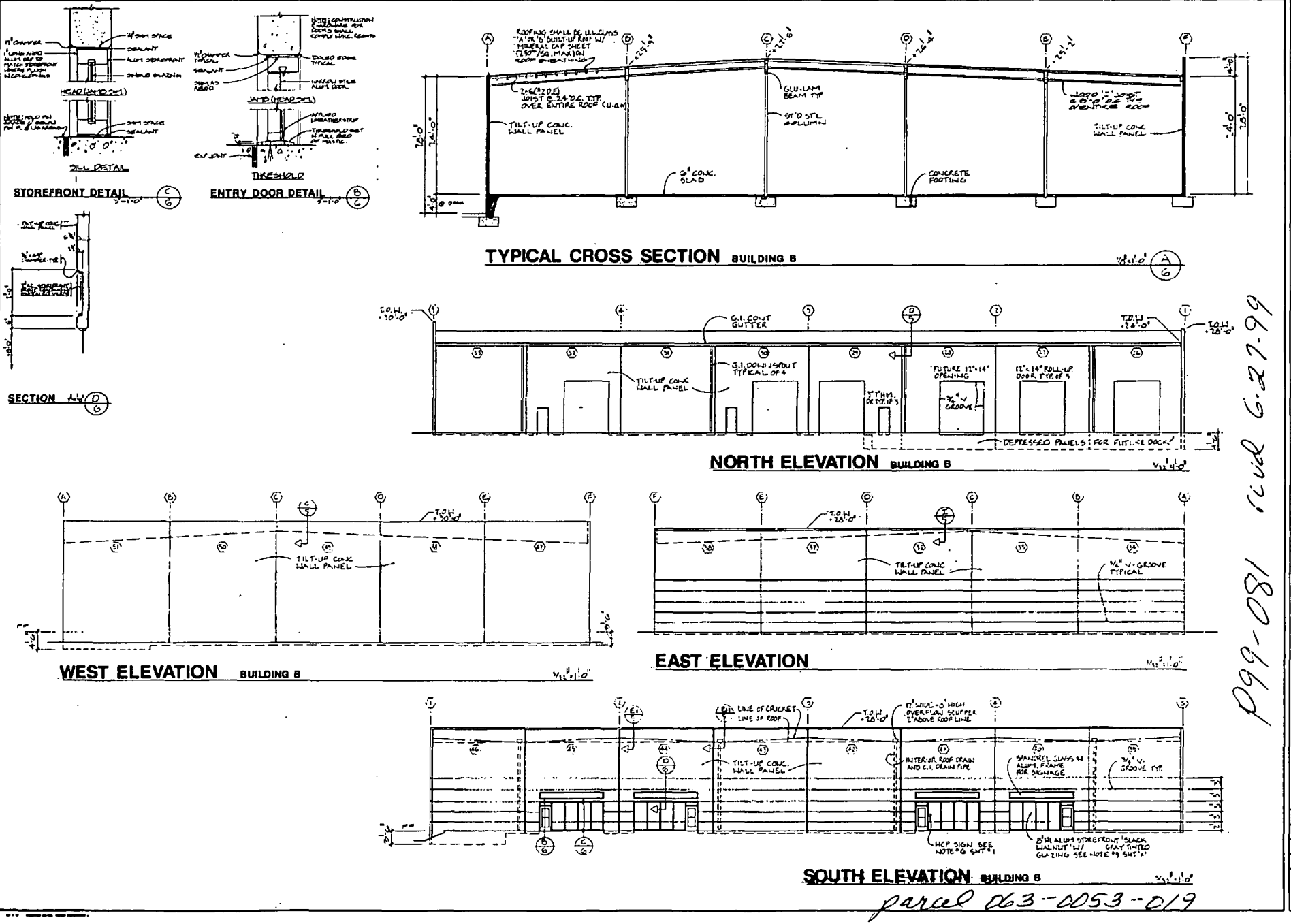


3 WAREHOUSE BUILDINGS
SOUTH WATT AVE. - CITY OF SACRAMENTO, CA.
ELEVATIONS
TYPICAL CROSS SECTION
BUILDING A

Leo McGrade & Associates, Inc.
1477 NORTH WOOD ST. SUITE A, SACRAMENTO, CA 95825 (916) 484-8300

pg 9-081 rev 6.27.99



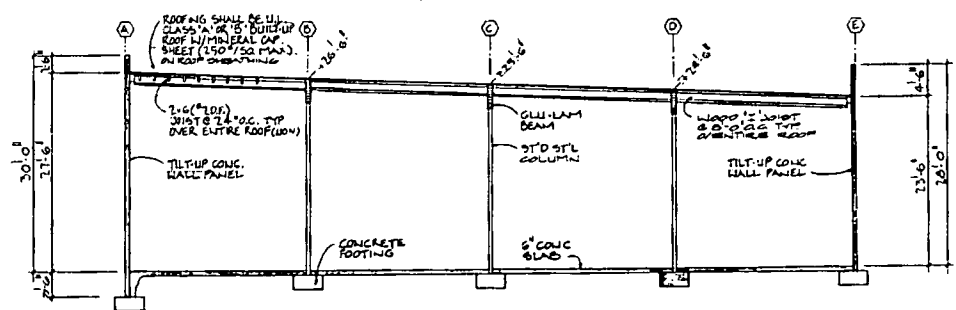


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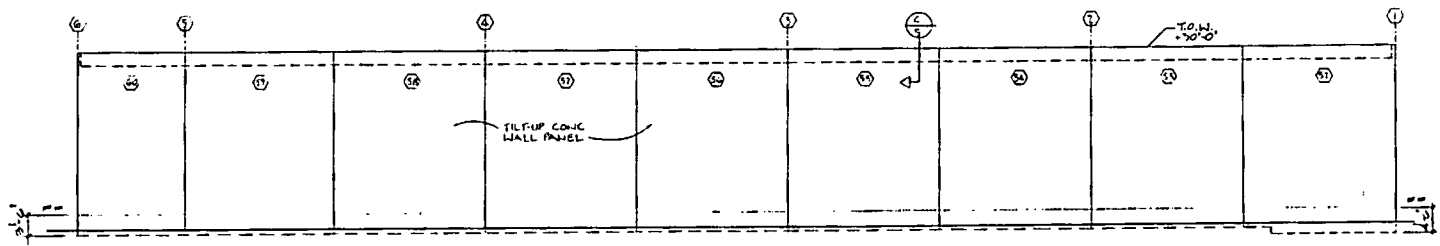
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REVISIONS	BY	DATE

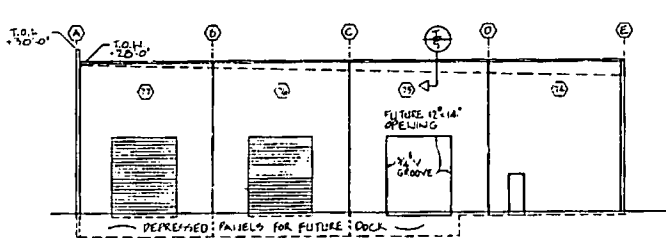
LEO MCGLOTH & ASSOCIATES, INC.	
3111 ACACIA WAY, SUITE A, SACRAMENTO, CA 95825 (916) 486-4300	
ELEVATIONS	TYPICAL CROSS SECTION
BUILDING B	
3 WAREHOUSE BUILDINGS	
SOUTH WATT AVE. - CITY OF SACRAMENTO, CA.	
1	2
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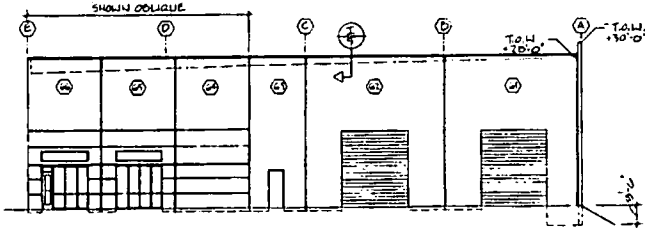
TYPICAL CROSS SECTION BUILDING C



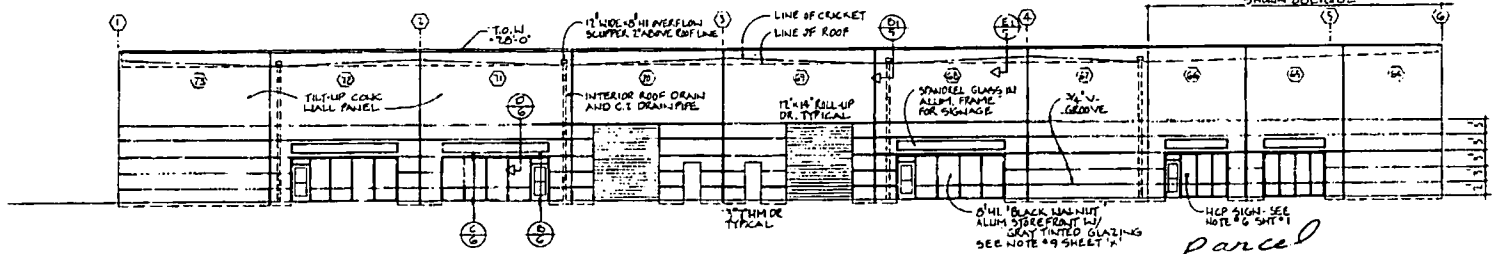
WEST ELEVATION BUILDING C



SOUTH ELEVATION BUILDING C



NORTH ELEVATION BUILDING C



EAST ELEVATION BUILDING C. 063-053-021

66-42-9 PART 1 199-061 199-061

REVISIONS	
BY	

Leo McGlade & Associates, Inc.
5117 NORTH 45TH AVENUE, SUITE 101, SACRAMENTO, CA 95831 (916) 486-1300

ELEVATIONS	
TYPICAL CROSS SECTION	BUILDING C

3 WAREHOUSE BUILDINGS
SOUTH WATT AVE. - CITY OF SACRAMENTO, CA.

ITEM #	DESCRIPTION
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ITEM # 4
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EXHIBIT C-4