

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Morton & Pitalo, Inc., 1767 J Tribute Rd., Sacramento, Ca95815		
OWNER	Pacific Mid Valley Development Co., Inc 5855 Auburn Blvd. Sac 95841		
PLANS BY	Sandy & Babcock, 1349 Larkin St., S. F. 94109		
FILING DATE	6/22/84	50 DAY CPC ACTION DATE	REPORT BY: FG:mm
NEGATIVE DEC	7/3/84	EIR	ASSESSOR'S PCL. NO. 119-070-38 and 39

- APPLICATION:
- A. Negative Declaration
 - B. Tentative Subdivision Map to create a seven lot condominium subdivision
 - C. Special Permit to develop 320 condominium unit
 - D. Plan Review of 320 condominium units

LOCATION: NW corner Mack Road and Franklin Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to create a seven lot subdivision to develop 320 condominium units.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1965 Southgate Community Plan Designation:	Light density multiple family
Existing zoning of site:	R-2AR
Existing land use of site:	Vacant
Surrounding land use and zoning:	
North:	Single family, R-1
South:	Single family and commercial; R-1 and C-2
East:	Shopping center; C-2
West:	Vacant; R-1
Parking required:	480 spaces
Parking provided:	512 spaces
Property dimensions:	Irregular
Property area:	21 ± ac.
Density of Development:	15.2± du/ac.
Square footage of building:	Unit A: 759 s.f. Unit B: 820 s.f. Unit C: 1,010 s.f.
Height of structure:	2 story - approx. 33 ft.
Significant features of site:	PG&E Transmission towers at south property edge
Topography:	Flat
Street improvements:	Existing
Utilities:	Existing
Exterior building colors:	Earthtones
Exterior building materials:	Wood siding, roof; wood shingle

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On July 11, 1984 by a vote of six ayes and three absent, the Subdivision Review Committee recommended approval of the Tentative Map. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
- b. Prepare a sewer and drainage study for the review and approval of the City Engineer; coordinate with County Sanitation;
- c. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- d. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U. S. Postal Service;
- e. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code;
- f. Prepare right-of-way study. Dedication required for Franklin Boulevard to be coordinated with City's Franklin Boulevard project;
- g. Slope easement dedication required at crossing of Elder Creek;
- h. Show reciprocal access, sewer, drainage and water easements on final map;
- i. Provide easement for existing levee slope along drainage canal;
- j. Fifty-five foot right-of-way along Franklin Boulevard is required.

Informational Item: 1) For access and maintenance of Elder Creek Canal required at Franklin Boulevard; coordinate with City plans for Franklin Boulevard; 2) Comply with 45 dB CNEL interior sound standards.

BACKGROUND: On February 23, 1982, the City Council approved the necessary entitlements to develop a 304 unit condominium project on the subject site (P-8933). That project was never constructed and was sold to another owner who proposed to develop 328 apartment units. On March 8, 1984, the Planning Commission approved the necessary entitlements for the apartment project.

PROJECT EVALUATION:

1. The project site consists of 21± vacant acres located in the R-2AR (Garden Apartment - Review) zone. The R-2AR zone permits a maximum density of 17.4 du/ac/ (net). The density of the proposed project computes to 15.2 du/ac. The General Plan and the Southgate Community Plan designate the site for residential and light density multiple family uses, respectively. Staff has no concerns with the density or location of the proposed project since it is consistent with the adopted General and Community Plans.
2. The applicant proposes to create seven condominium lots and develop 320 condominium units. All units will be two stories in height and constructed of wood siding and wood shingle roofs. Buildings will be clustered with eight units per cluster. The project proposes three floor plans consisting of a one bedroom, 759 s.f. unit, a one bedroom, 820 s.f. unit and a two bedroom, 1010 s.f. unit. The project will be developed in seven phases.
3. The subject site is bordered by a partially developed single family subdivision to the north and vacant single family properties to the west. The adjacent subdivision consists primarily of one-story and several two-story homes.

There are no major objections to the overall architecture of the units per se in that the buildings are designed with sufficient relief with the incorporation of bay windows, balconies and off-set building walls. The following site features are suggested to improve the compatibility of the subject site with the adjacent single family subdivision:

- a. Provide a 15 foot landscape setback separating the subject site from the single family properties to the north and west. This area should be intensively landscaped with trees and screening shrubs.

- b. In order to provide a noise buffer between the project's parking areas and access drives, a six foot high solid masonry wall should be installed along the north and west property lines.

In addition, the setback area along Mack and Franklin Boulevard should also be landscaped including a four foot high undulating berm. A 35 foot setback should be maintained along Deer Creek Drive.

4. This project was reviewed by the offices of the City Traffic Engineering, Engineering and Fire Departments. The following comments were received:

Engineering:

- a. Check with Traffic Engineering on location of driveway at Franklin Boulevard. May have to be relocated further south of bridge crossing.
- b. No encroachment will be allowed into levee slope unless approved by City. (Wood retaining wall not acceptable).

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a Negative Declaration.

RECOMMENDATION:

1. Ratification of the Negative Declaration.
2. Approval of the Tentative Map, subject to the conditions which follow;
3. Approval of the Special Permit, subject to the conditions and based upon the Findings of Fact which follow;
4. Approval of the Plan Review.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
- b. Prepare a sewer and drainage study for the review and approval of the City Engineer; coordinate with County Sanitation:

- c. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- d. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U. S. Postal Service;
- e. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code;
- f. Prepare right-of-way study. Dedication required for Franklin Boulevard to be coordinated with City's Franklin Boulevard project;
- g. Slope easement dedication required at crossing of Elder Creek;
- h. Show reciprocal access, sewer, drainage and water easements on final map;
- i. Provide easement for existing levee slope along drainage canal;
- j. Fifty-five foot right-of-way along Franklin Boulevard is required.

Conditions - Special Permit

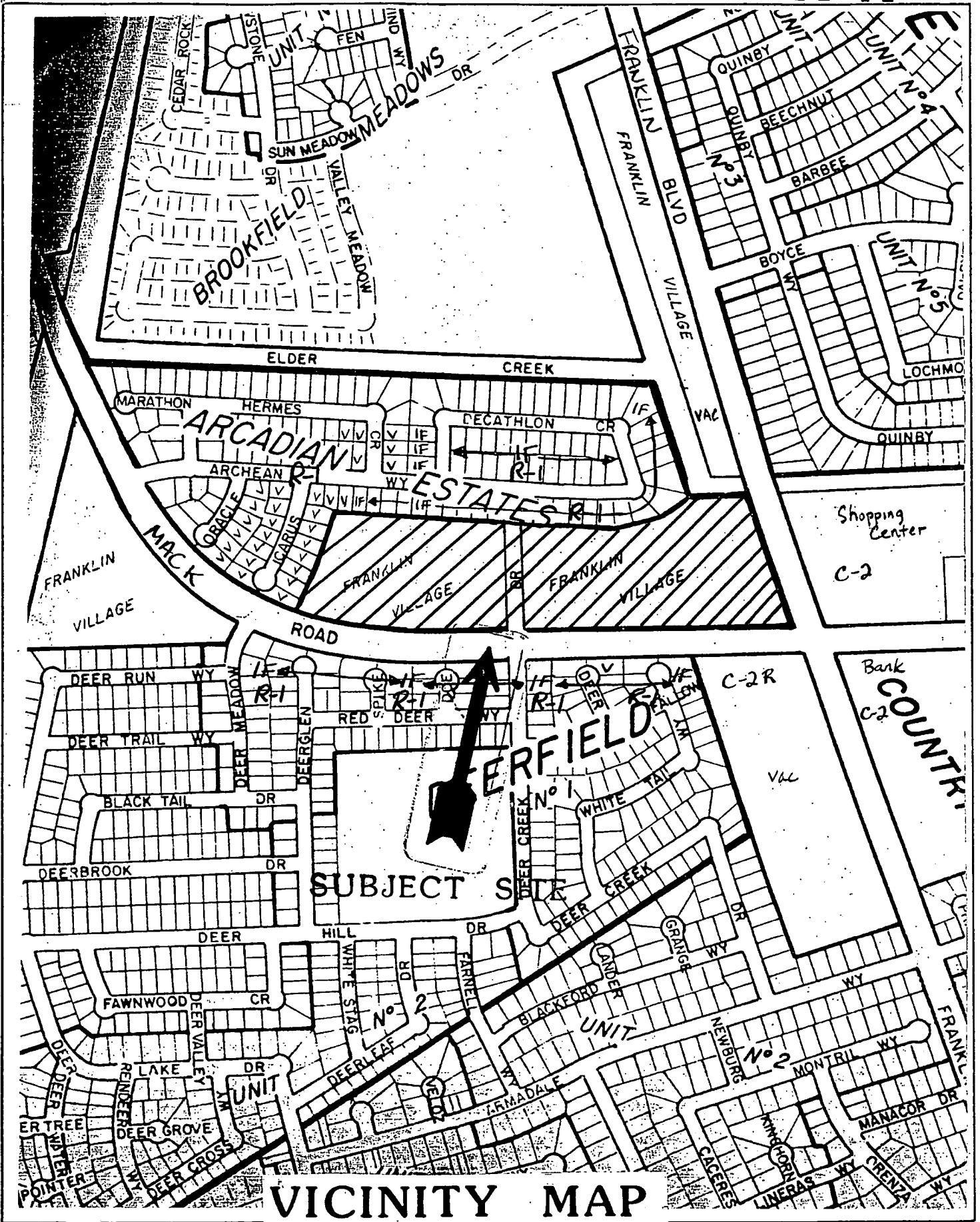
- a. The applicant shall submit revised site plans to the Planning Director for review and approval prior to issuance of building permits. The revised plans shall include the following modifications:
 - 1. A minimum setback of 35 feet shall be maintained along Deer Creek Drive.
 - 2. A six foot high solid masonry wall shall be installed along the north and west property lines where the subject site abuts residential properties. This shall be a decorative wall design and it shall be reviewed and approved by the Planning Director.

- b. The applicant shall contact the Traffic Engineer for review and approval of the location of the driveway on Franklin Boulevard.
- c. The applicant shall submit a detailed landscape, irrigation and shading plan to the Planning Director for review and approval prior to issuance of a building permit. The landscape plan shall provide intensive landscaping of all landscape setback areas.
- d. The applicant shall provide a four foot high undulating berm along Mack Road and Franklin Boulevard.
- e. The applicant shall adhere to the residential design criteria as indicated in Exhibit D.

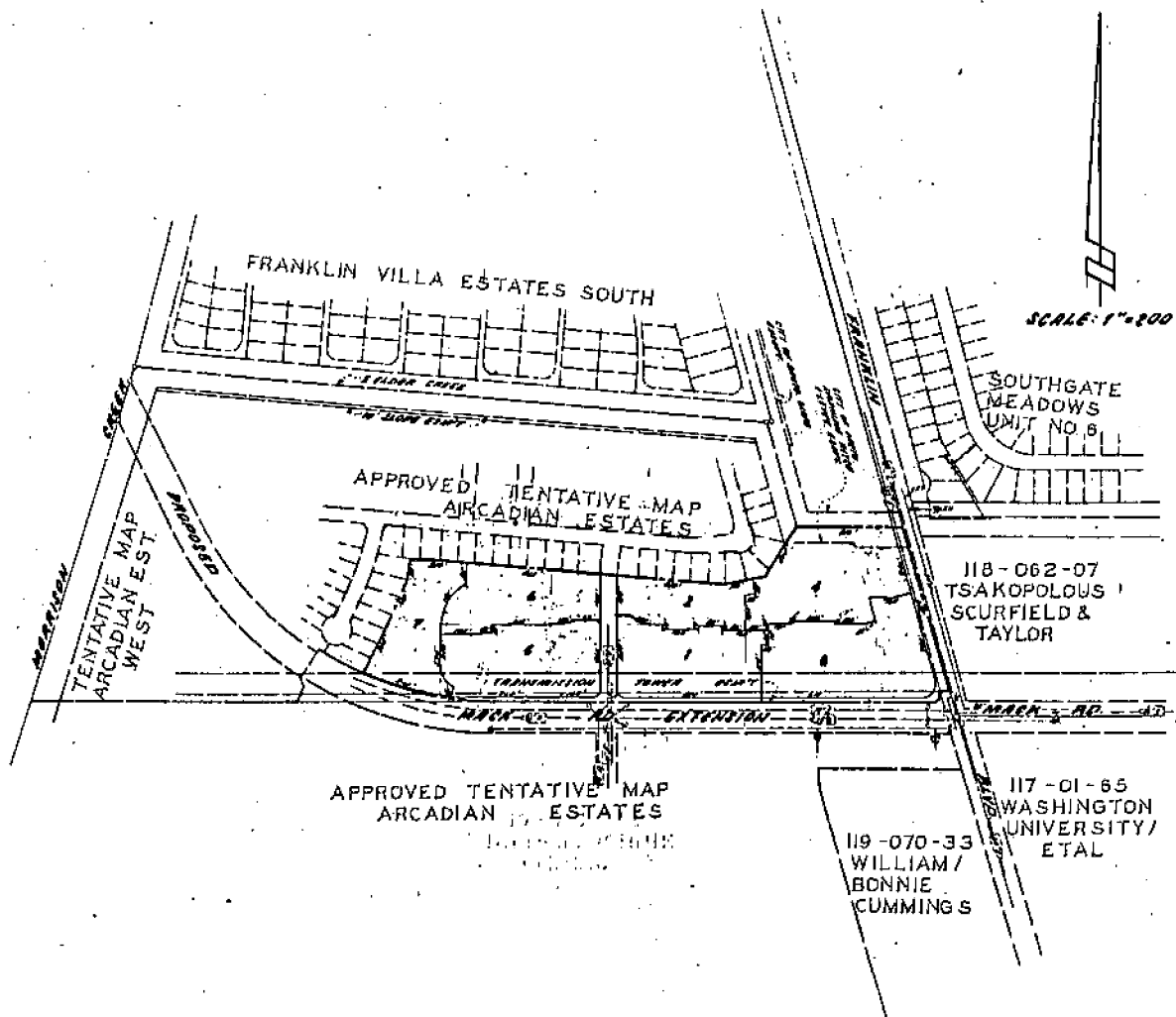
Findings of Fact - Special Permit

- a. The approval of the proposed condominium units, as conditioned, is based upon sound principles of land use in that:
 - 1. The condominium units are compatible with adjacent land uses.
 - 2. Adequate landscaping and building setbacks will be provided.
- b. The project, as conditioned, will not be detrimental to the public health, safety or welfare nor result in the creation of a nuisance in that:
 - 1. The project provides an adequate amount of parking.
 - 2. Site plans have been received to insure compatibility with surrounding land uses.
- c. The project is consistent with the General Plan and the Southgate Community Plan which designate the site for residential uses.

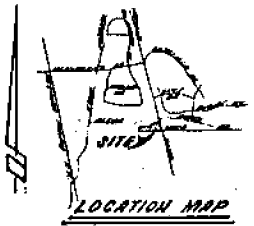
EXHIBIT A



VICINITY MAP LAND USE & ZONING MAP



SCALE: 1"=200'



OWNER/DEVELOPER
FRANKLIN VILLAGE, LTD.
C/O PACIFIC MID-VALLEY DEVELOPMENT
3475 BURNER BOULEVARD, SUITE B
SACRAMENTO, CA 95842

ENGINEER
MORTON & PITALO, INC.
1302 7th STREET, SUITE 200
SACRAMENTO, CA 95816
PHONE: 920-2411

PERMITTING AGENCIES
CITY OF SACRAMENTO
CITY OF SACRAMENTO
SACRAMENTO MUNICIPAL UTILITY DISTRICT
SACRAMENTO MUNICIPAL SCHOOL DISTRICT
SACRAMENTO COUNTY SUPERVISOR'S OFFICE
SACRAMENTO COUNTY SUPERVISOR'S OFFICE

DATE
7-26-84

SCALE
20.75 ACRES

SECTION & PARCEL NUMBER
118-070-33
119-070-30

TENTATIVE MAP EXHIBIT B

300 0 300 400 500
1"=200'

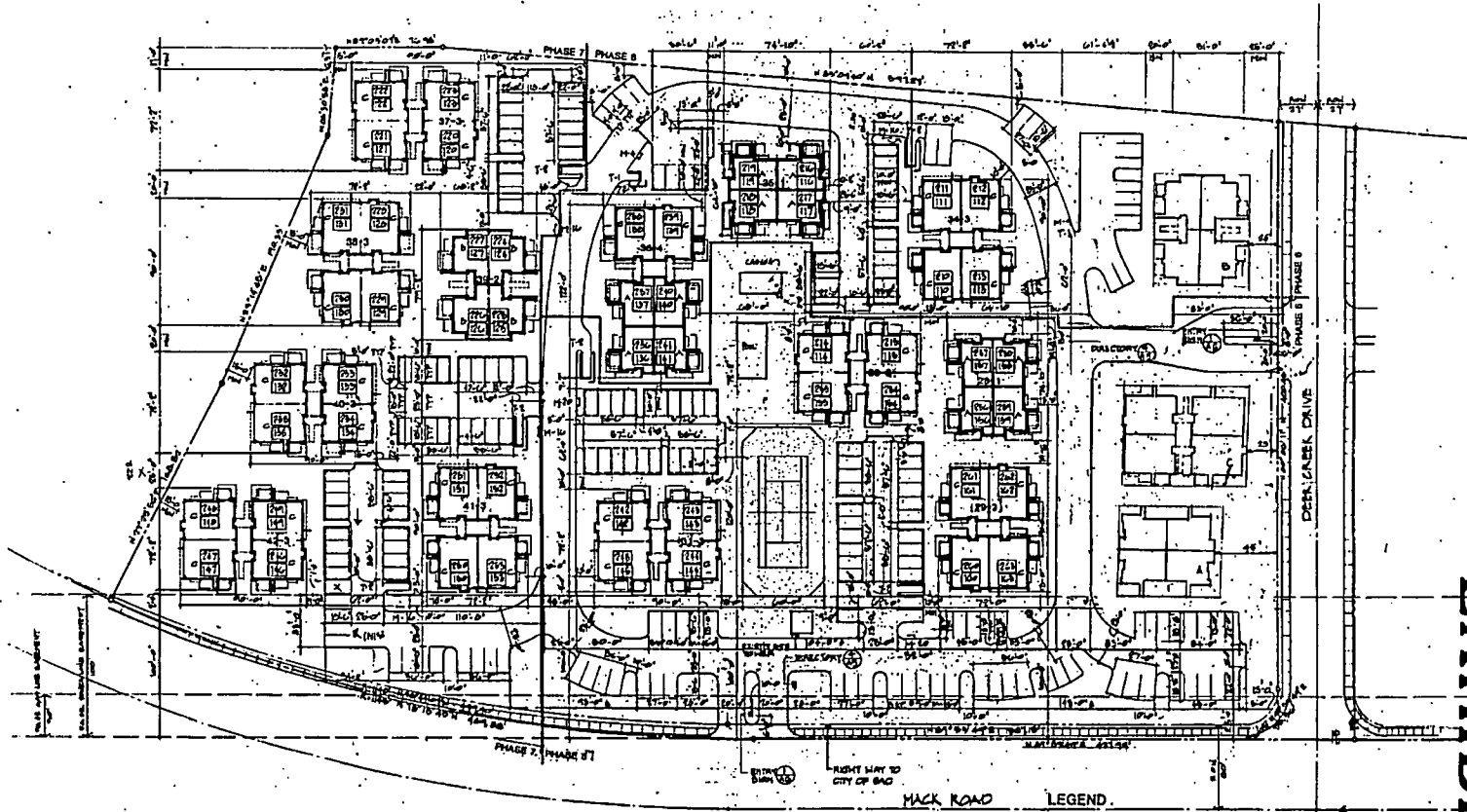
FIELD NO.	SCALE	DATE	DATE	DATE	DATE
HORIZONTAL	VERTICAL	APPROVED BY	APPROVED BY	APPROVED BY	APPROVED BY
VERTICAL	VERTICAL	APPROVED BY	APPROVED BY	APPROVED BY	APPROVED BY
MORTON & PITALO, INC. CIVIL ENGINEERING PLANNING SURVEYING		APPROVED		DATE	
TENTATIVE MAP FRANKLIN VILLAGE CITY OF SACRAMENTO CALIFORNIA			DATE 7/26/84 PAGE 1 OF 1		

000237

FILE NO. 20844

SITE INFORMATION - SITE ONE - WEST PARCEL

	PHASE 1	PHASE 2	PHASE 3	PHASE 4
NUMBER OF DWELLING UNITS				
PLAN A (1BR, 1BATH)	84	0	10	0
PLAN B (1BR, 1BATH)	0	0	5	0
PLAN C (2BR, 1BATH)	89	32	12	40
TOTAL D-FLEXION	173	32	22	40
TOTAL NUMBER OF PARKING SPACES	(1,551)	192	91	40
NUMBER OF COVERED SPACES	134	40	26	45
NUMBER OF OPEN SPACES	68	51	4	13



LEGEND

- 20 FT. WIDE NO. 1ST FL. UNIT W/ BIT TYPE
- 12 FT. WIDE NO. 1ST FL. UNIT W/ BIT TYPE
- 12 FT. WIDE NO. 1ST FL. UNIT W/ PARKING TYPE
- 12 FT. WIDE NO. 1ST FL. UNIT W/ NO. HALLWAY
- 12 FT. WIDE NO. 1ST FL. UNIT W/ NO. HALLWAY
- 12 FT. WIDE NO. 1ST FL. UNIT W/ NO. HALLWAY



DONALD SANDY AIA
JAMES BABCOCK

DONALD SANDY, JR. AIA
 JAMES S. BABCOCK
 ARCHITECTS/PLANNERS
 1341 LAMAR STREET
 SAN FRANCISCO, CALIFORNIA 94104
 415 673 8990

SITE PLAN

EXHIBIT C

FRANKLIN VILLAGE
 CALIFORNIA

DEVELOPERS
FRANKLIN VILLAGES LTD.
 SACRAMENTO, CALIFORNIA

SITE PLAN
 SITE 1 - WEST PARCEL

SCALE: 1/8" = 1'-0"

DATE: _____
 PROJECT NUMBER: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 BY: _____

SHEET **2**

SITE 1 OF 2

DONALD
SANDY
AIA
JAMES
BARCOCK

SITE PLAN

FRANKLIN VILLAGE
SACRAMENTO
CALIFORNIA

DEVELOPERS
FRANKLIN VILLAGES LTD.
1818 J STREET, SACRAMENTO, CALIFORNIA

EXHIBIT D

LOCATION MAP

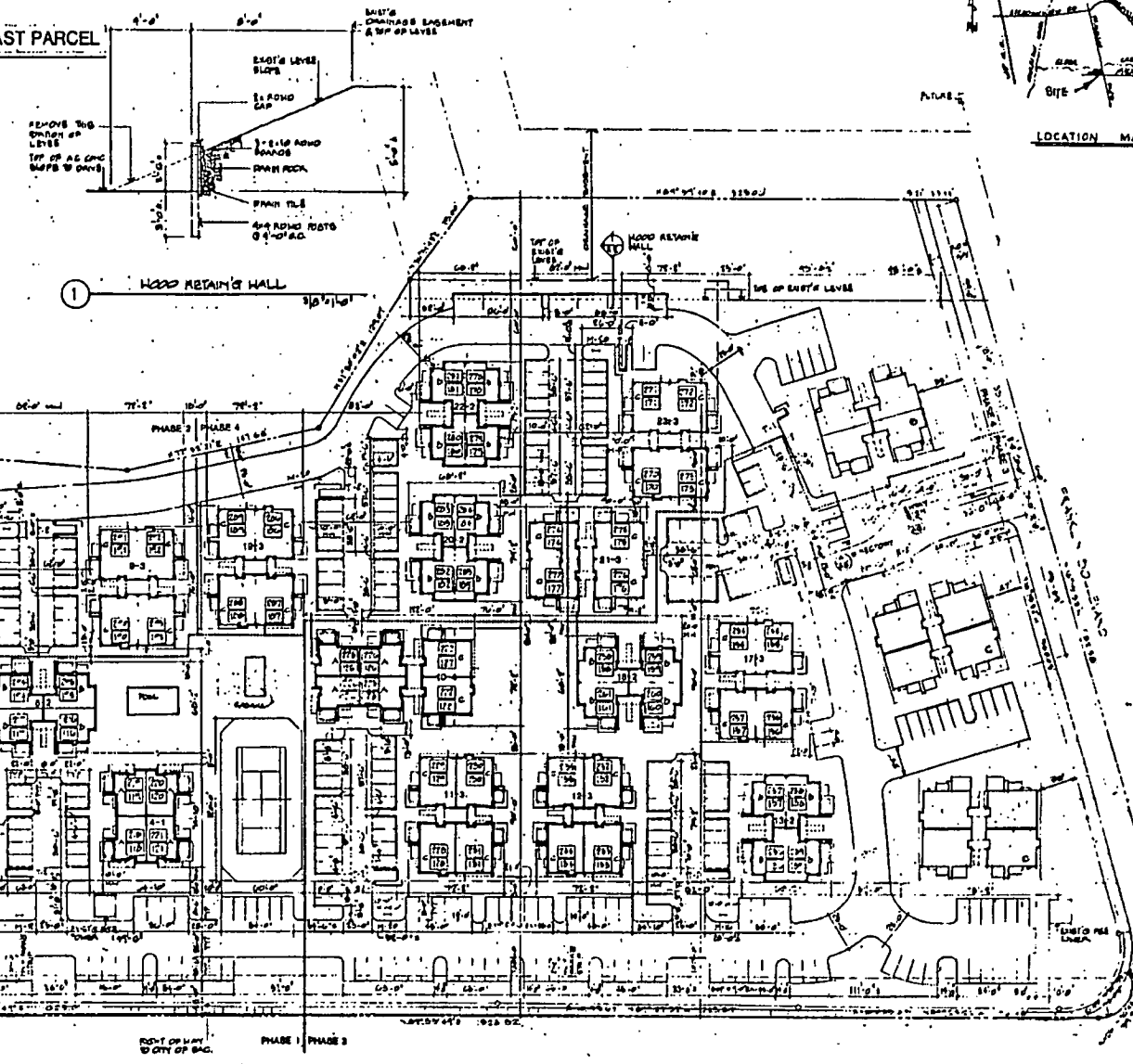
SITE INFORMATION - SITE ONE - EAST PARCEL

TOTAL NUMBER OF UNITS	178
PLAN A (CONDO'S)	16
PLAN B (CONDO'S)	14
PLAN C (CONDO'S)	16
TOTAL CONDOS	46

TOTAL NUMBER OF PHASES	(130-11)	320
NUMBER OF COVERED STALLS		178
NUMBER OF OPEN STALLS		148

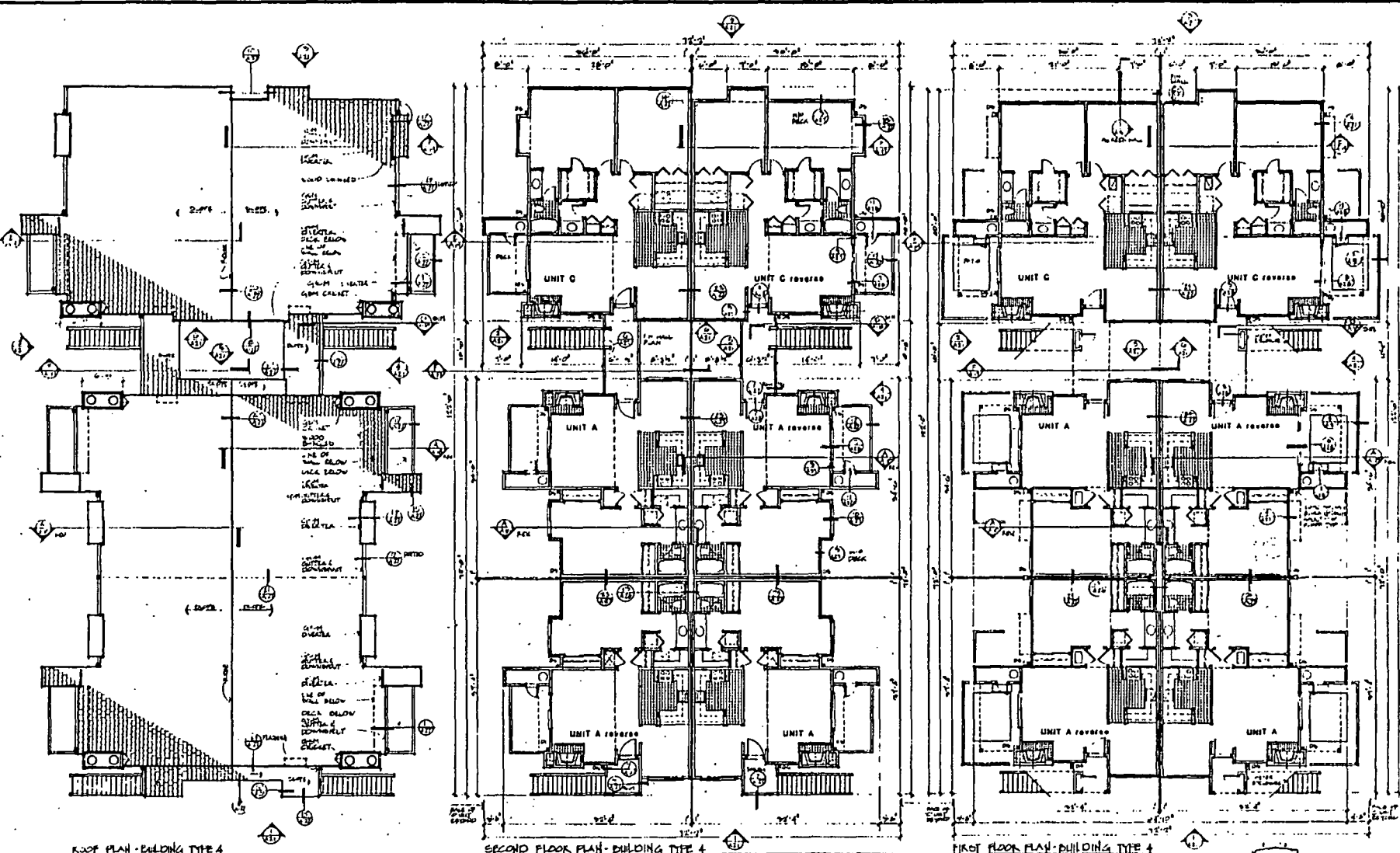
PLAN	PHASE 1	PHASE 2	PHASE 3	PHASE 4
PLAN A	0	0	0	0
PLAN B	0	16	0	0
PLAN C	16	0	0	0
TOTAL CONDOS	16	16	0	0

PLAN	PHASE 1	PHASE 2	PHASE 3	PHASE 4
CONDO'S	16	16	0	0
UNCOVERED STALLS	48	72	88	8



LEGEND

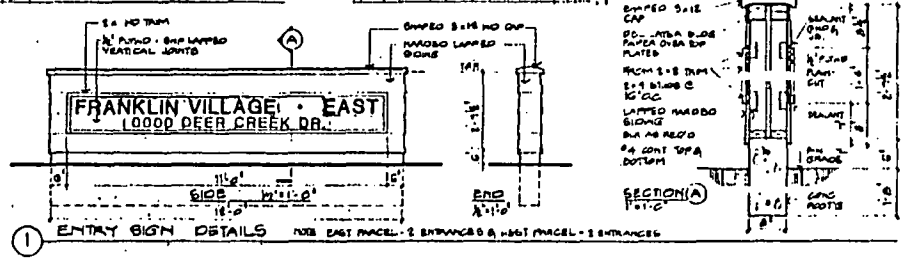
1-101	CONDO UNITS
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1-147	CONDO UNITS
1-148	CONDO UNITS
1-149	CONDO UNITS
1-150	CONDO UNITS



SITE PLAN - BUILDING TYPE 4

SECOND FLOOR PLAN - BUILDING TYPE 4

FIRST FLOOR PLAN - BUILDING TYPE 4



DONALD SANDY
AIA
JAMES BABCOCK

FRANKLIN VILLAGE
CALIFORNIA
FLOOR PLANS
FRANKLIN VILLAGES LTD.
SACRAMENTO
ARCHITECTS

EXHIBIT G

BUILDING PLAN TITLE

DATE

PROJECT NUMBER

DESIGNED BY

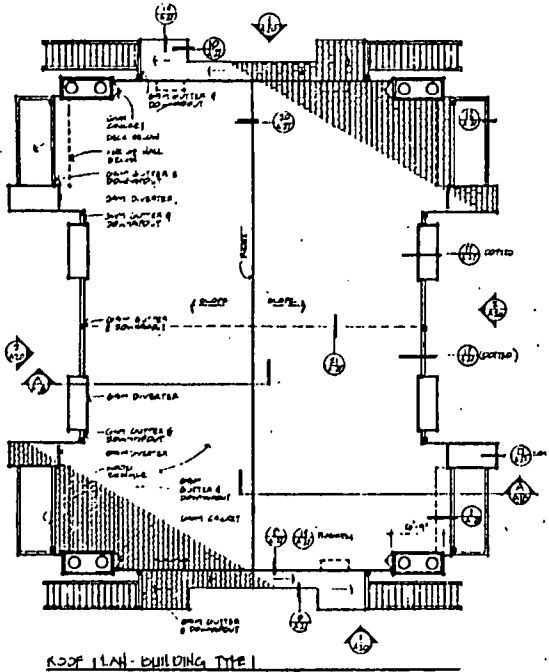
DRAWN BY

CHECKED BY

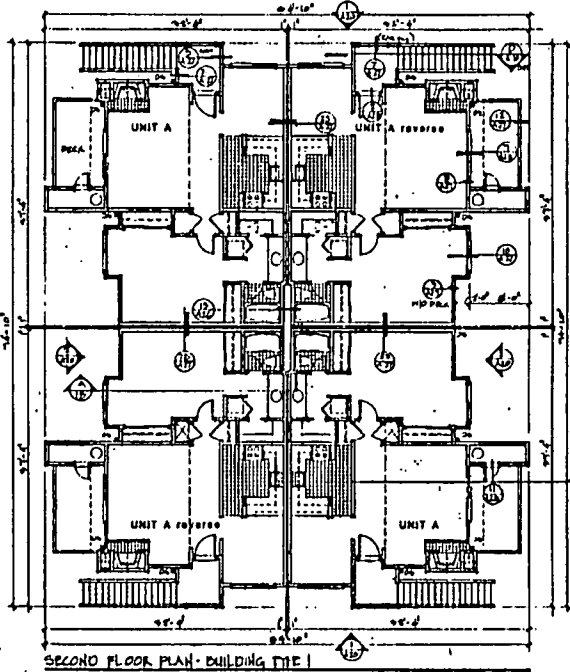
SCALE

SHEET

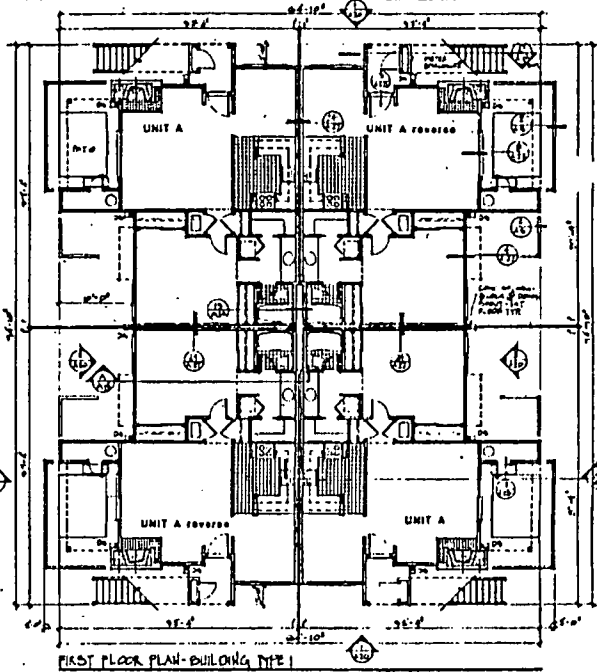
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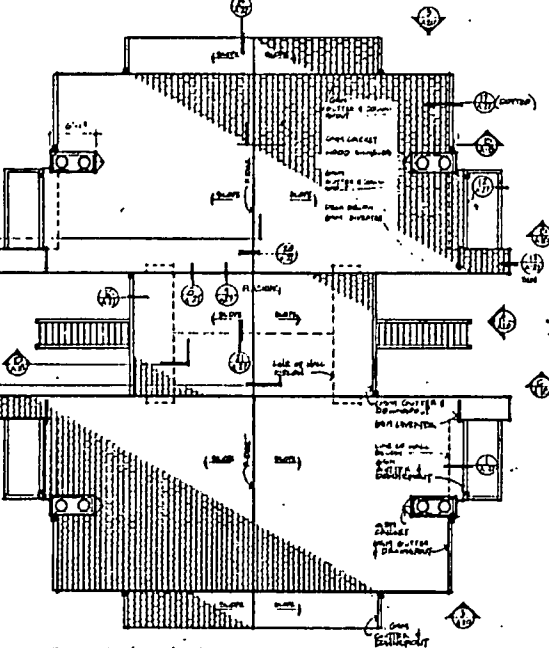
ROOF PLAN - BUILDING TYPE 1



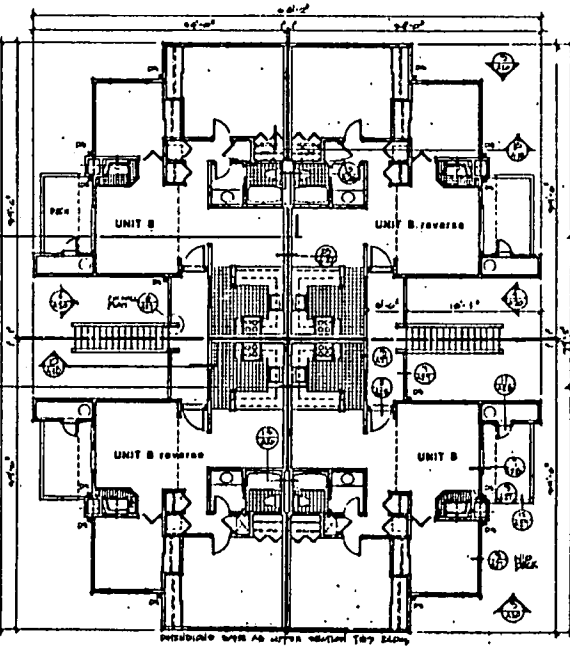
SECOND FLOOR PLAN - BUILDING TYPE 1



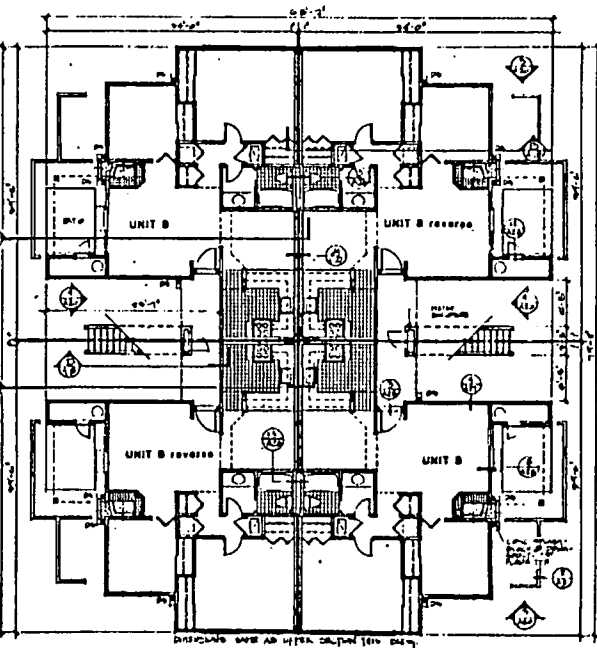
FIRST FLOOR PLAN - BUILDING TYPE 1



ROOF PLAN - BUILDING TYPE 2



SECOND FLOOR PLAN - BUILDING TYPE 2



FIRST FLOOR PLAN - BUILDING TYPE 2

DONALD SANDY AIA
JAMES BABCOCK

DONALD SANDY, AIA
 JAMES BABCOCK
 ARCHITECTS ASSOCIATES
 1315 AVENUE 151ST
 SAN FRANCISCO, CALIFORNIA 94108
 (415) 873-6900

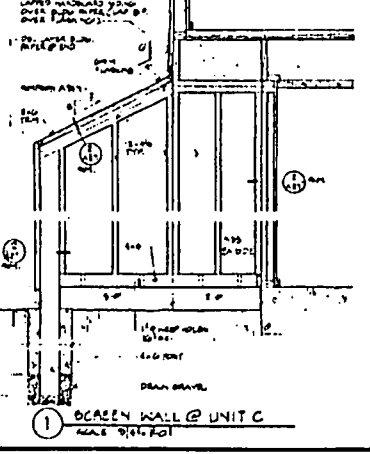
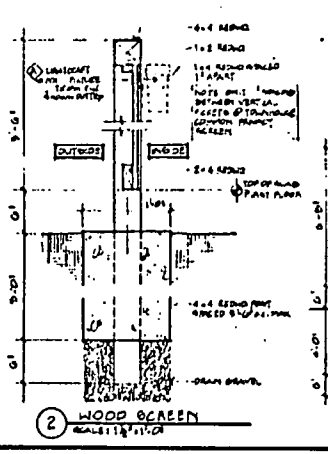
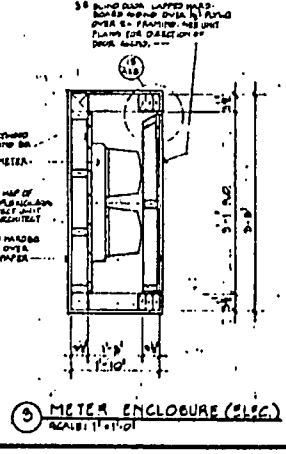
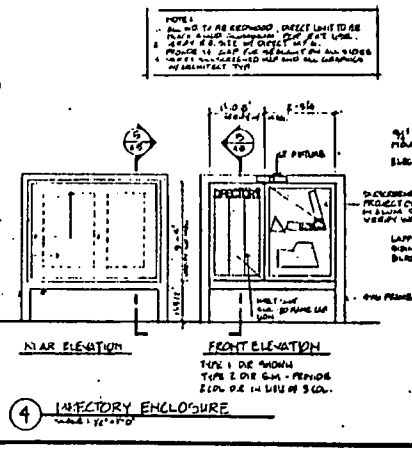
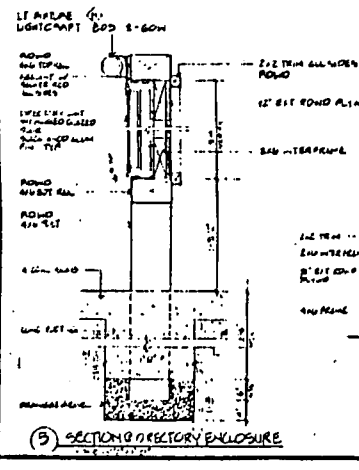
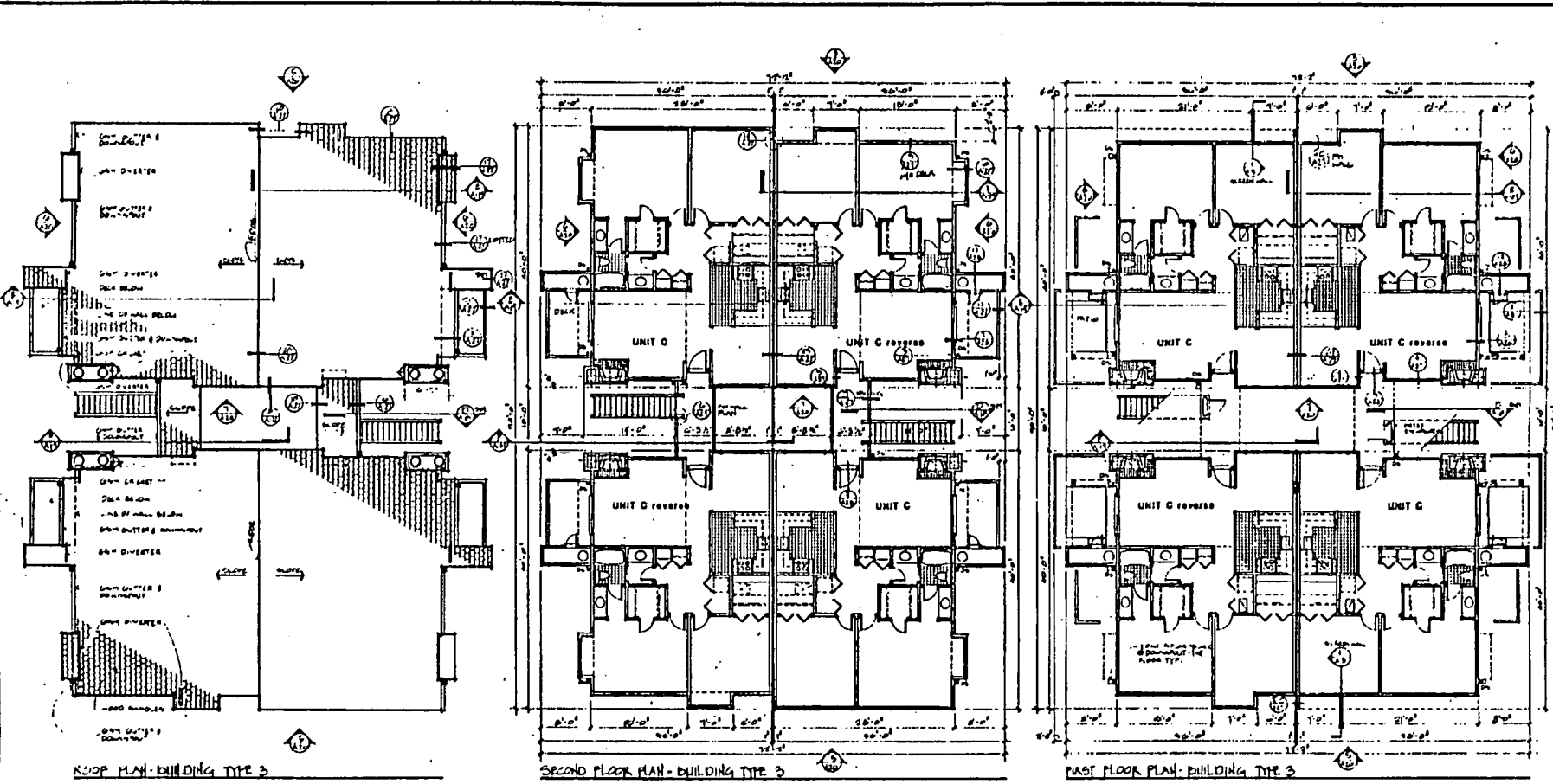
FRANKLIN VILLAGE
 CALIFORNIA

DEVELOPERS
FRANKLIN VILLAGES LTD.
 SAN ANTONIO, TEXAS
 SACRAMENTO, CALIFORNIA

EXHIBIT II

BUILDING PLAN - TYPE 1
 B-A UNITS
 BUILDING PLAN - TYPE 2
 B-D UNITS
 SCALE: 1/8" = 1'-0"

DATE: _____
 PROJECT NUMBER: 3352
 SHEET NO.: _____
 DIVISION: _____ DATE: _____
 SHEET



DONALD SANDY AIA
JAMES BABCOCK

1210A EL SANDY AIA
 JAMES BABCOCK
 ARCHITECTS INC
 1305 LAFAYETTE ST
 SAN FRANCISCO CALIFORNIA 94109

FRANKLIN VILLAGE
 SACRAMENTO CALIFORNIA

DEVELOPERS
FRANKLIN VILLAGES LTD.
 401 ARDEN BLVD
 SACRAMENTO, CALIFORNIA

EXHIBIT 1

BUILDING PLAN SET
 B-C UNITS

DATE: 11/15/83
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 REVISION: [blank]

SHEET: [blank]

SITE: 1

A-5