

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Wednesday, September 17, 1997, the Zoning Administrator approved with conditions a plan review to remodel an existing apartment complex and a variance to waive a required masonry wall for a child care center for the project known as Z97-086. Findings of Fact and conditions of approval for the project are listed on pages 3-5.

**Project Information**

- Request:      1.      Zoning Administrator Plan Review Modification to modify the exterior of all 100 apartments within the complex by changing the roof style and materials and adding 12 square feet to four bedroom units, add trash enclosures, add 1,000 square feet to a common use building, and revising the parking layout for the entire complex on 9.53± developed acres in the Multi-Family-Review (R-3-R), Multi-Family (R-3), and Standard Single Family (R-1) zones.
2.      Zoning Administrator Variance to waive a required six foot wall for an on-site Head Start day care program

Location:      6501 Elder Creek Road (D6, Area 3)

Assessor's Parcel Number: 038-0210-062 and 063

Applicant:     Rural California Housing Corporation (RCHC) (Peggy Jen)  
                  2125 19th Street  
                  Sacramento, CA 95818

Property        Sacramento Housing and Redevelopment Agency  
Owner:         630 I Street  
                  Sacramento, CA 95814

General Plan Designation:      Medium Density Residential (16-29 du/na)  
South Sacramento  
Community Plan:                  Residential (11-29 du/na)  
Existing Land Use of Site:        Apartments  
Existing Zoning of Site:          Multi-Family-Review (R-3-R), Multi-Family (R-3), and  
   Standard Single Family (R-1)

Surrounding Land Use and Zoning:		Setbacks	Required	Existing
North:	R-1; Morrison Creek	Front:	25'	21'
South:	R-1A; Vacant	Side(E.):	5'	16'
East:	R-1; Vacant and Church	Side(W.):	25	22'
West:	R-1; Single Family	Rear:	15'	9'
Property Dimensions:	Irregular			
Property Area:	9.53± acres			
Parking Provided:	140 spaces			
Parking Required:	156 spaces (current standards)			
Square Footage of Buildings:	Apartments (100 units):			566-1,182 square feet
	Community Bldg.:			1,886 square feet
	Addition to Community Bldg.:			1,000 square feet
	Total:			92,260 square feet
Height of Buildings:	Two Stories, 25.3 feet			
Exterior Building Materials:	Lath and Plaster			
Roof Materials:	Composition Shingles			
Topography:	Flat			
Street Improvements:	Existing			
Utilities:	Existing			

Project Plans: See Exhibits A-C

Previous Files: None

Additional Information: The applicant is proposing an extensive remodel of the entire apartment complex and an addition to the community building in order to operate a Head Start program. There are a total of 100 apartments that make up the complex along with a community building. There is a basketball court on an adjacent parcel. The parcel is a large lot at the northeast corner of Elder Creek Road and 65th Street. The large lot with the apartments has a split zoning of R-3 and R-3-R. The "R" designates development review of the site for any exterior changes. The applicant has submitted for the R Review Modification.

The applicant proposes to remodel the exterior of every unit. The revisions will include constructing sloped roofs instead of flat roofs; removing both shingle siding and board and batten siding and replacing with lath and plaster; removing single pane windows and replacing with double pane windows; and adding an entry element to each unit. There are one through four bedroom apartments. Four bedroom apartments will be increased by twelve square feet for a shower addition. Privacy fences will also be added or replaced for all units.

Additionally, trash enclosures will be added, and the parking layout restriped to have more compact and handicap accessible spaces and to allow for the trash enclosures. The number of compact spaces increases from zero to 47 and handicap accessible spaces increases from zero to five. Although the current parking requirement for apartments is 1.5 space for

every unit and one additional guest space for every 15 units, the complex was built prior to the requirement and therefore does not have to meet the current parking requirement.

The proposed project review consists primarily of reviewing the new building design and materials. Design Review staff reviewed the project and has made several comments regarding the proposed design. Those comments are included as conditions.

The applicant also indicated that 1,000 square feet will be added to the existing community building and a exterior yard will be enclosed with a fence in order to operate a Head Start day care program. The program will be operated by Sacramento Employment and Training Agency (SETA). Any child care programs operated by SETA are exempt from the City's Zoning Ordinance requirement for a Special Use permit.

The programs are required to meet the requirements for a child care center which includes providing a six foot solid masonry wall along all perimeter property lines. The applicant is requesting a Variance from the wall requirement. The play yard will be fenced and is interior to the site. There is a creek to the north, a church to the east, and public streets to the south and east. By today's standards, there should have been a wall built along the east property line due to the parking area along that property line. Normally the church to the east would have also been required to build a wall along the east (church's west) property line; however, the church and the apartment complex were both constructed prior to the wall requirements.

The applicant also indicated that existing signage will be refurbished; however, no new signage details were provided.

The site is located within the South East Area Neighborhood Association area. The proposed plans were submitted to the neighborhood association and no comments were received by staff. The project has been noticed and staff has not received any calls.

#### Environmental Determination

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15301 and 15302}.

#### Conditions of Approval

1. The applicant shall make the following exterior changes to the proposed exterior remodel of the buildings on site (see staff Exhibit D):
  - a. Drop the horizontal band below sill of upper windows;
  - b. Provide grids (white frames suggested) on all windows;
  - c. Provide stucco trim around all windows and sills for all windows;

- d. Use 25 year dimensional composition shingles on the roof;
- e. Design Review staff shall review and approve all final exterior color selections prior to issuance of building permits (staff recommends two colors of stucco).

Any variations or proposed changes shall be subject to review and approval by Design Review staff (Luis Sanchez, 264-5957).

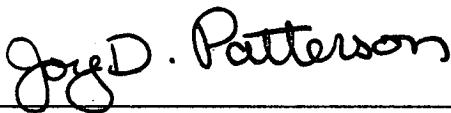
- 2. All trash enclosures shall be located and built to the standards in the Zoning Ordinance. The enclosures shall provide adequate receptacles for recycling in accordance with the recycling requirements of the Zoning Ordinance.
- 3. Provide a fire rated wall between the meeting room and the day care area within the community building to the satisfaction of the Building Division.
- 4. The applicant shall obtain all necessary building permits prior to commencing construction to include a Change of Use Building Permit for the community building.
- 5. Any modifications to the approved plans will require additional Planning review and approval.
- 6. Any new signage must comply with the Sign Ordinance and have a sign permit.

Findings of Fact- R Review:

- 1. The project, as conditioned, is based upon sound principles of land use in that the proposed remodel will update an existing older apartment complex.
- 2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
  - a. adequate on-site parking, maneuvering, and setbacks will be provided;
  - b. the dilapidated structures will be remodeled and refurbished; and
  - c. the proposed exterior remodel of the buildings will be compatible with the existing residential and commercial buildings in the area.
- 3. The project, as conditioned, meets the requirements of the Zoning Ordinance for land use and site design requirements.
- 4. The project is consistent with the General Plan and the South Sacramento Community Plan which designate the site as Medium Density Residential (16-29 du/na) and Residential (11-29 du/na) respectively.

Findings of Fact- Variance:

1. Granting the variance does not constitute a special privilege extended to an individual applicant in that a variance would be and has been granted to other property owners facing similar circumstances.
2. Granting the variance request does not constitute a use variance in that the apartment complex is a residential use that is permitted in the Multi-Family (R-3) zone.
3. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
  - a. the play yard will be adjacent to the community building which is in the center of a 9+ acre site;
  - b. the apartment complex and community building were built prior to requiring masonry walls; and
  - c. there are no apartments in close proximity to the community building.



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Joy D. Patterson  
Zoning Administrator

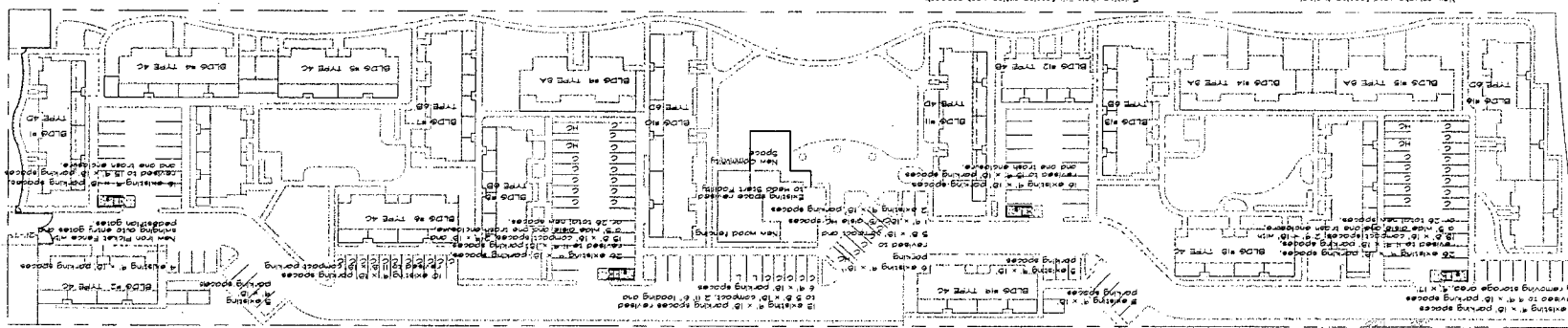
The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File  
Applicant  
ZA Log Book  
Luis Sanchez, Design Review

780-662  
 SEPTEMBER 17, 1997  
 ITEMS

7 97-086

SITE PLAN 1" = 40'-0"



New private yard fencing placed  
 as shown on the plan.  
 Existing curb line fencing along north property  
 line to be repaired and new road work installed  
 as required.

Existing curb line fencing along north property  
 to remain in the property of the City.

Existing curb line fencing along east property  
 line to be repaired as needed and  
 new road work installed where required and  
 existing pattern replaced with new.

Existing street light and double street corners  
 to remain in place.



5TH STREET EXPANSION

ELDER CREEK ROAD

**REQUIREMENTS**

1. All buildings shall be constructed in accordance with the applicable zoning ordinance and the California Building Code.

2. All buildings shall be constructed on a minimum lot area of 10,000 square feet.

3. All buildings shall be constructed on a minimum lot width of 100 feet.

4. All buildings shall be constructed on a minimum lot depth of 100 feet.

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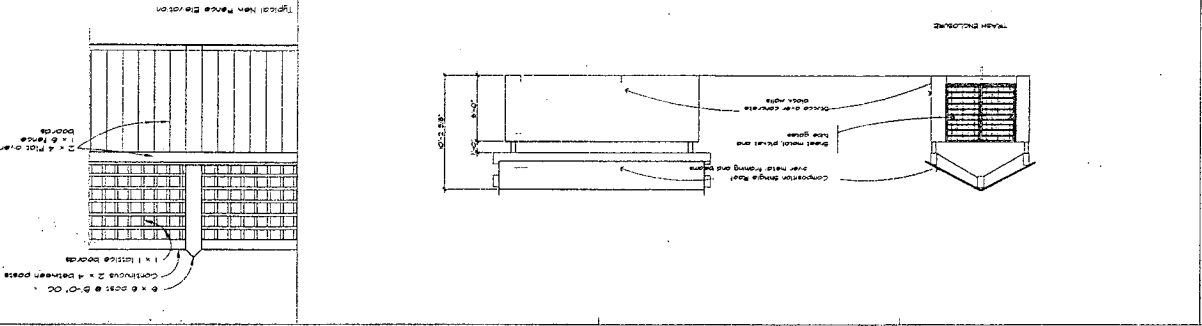
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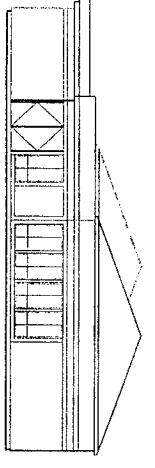
**REVISIONS**

NO.	DATE	DESCRIPTION
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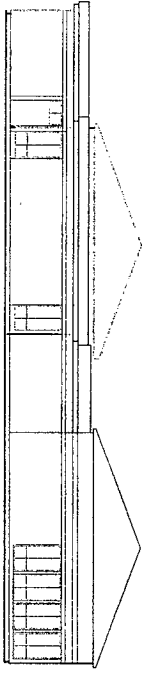
**EXHIBIT - A**  
 6301 Elder Creek  
 Sacramento, CA 95824  
 Rural Collon  
 Corporate  
 Project  
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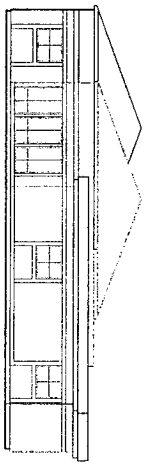
West



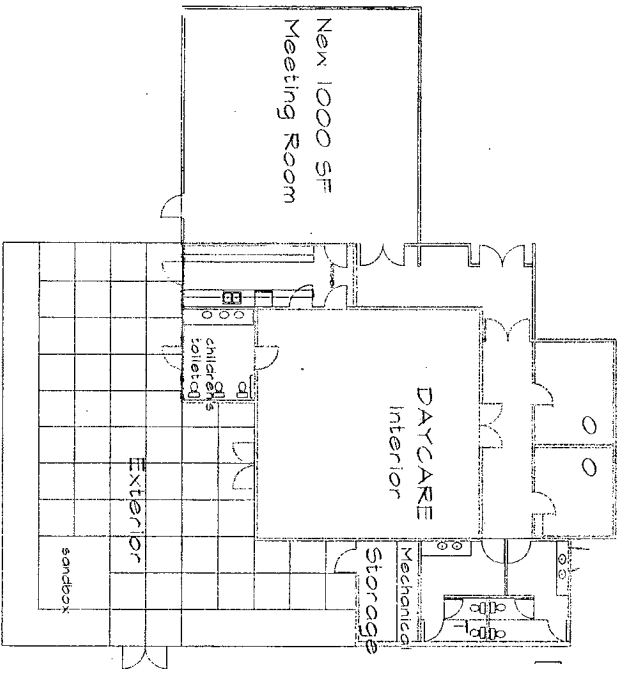
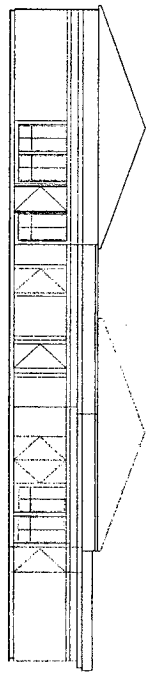
North



East



South



SCALE:  
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Scale: 1/8" = 1'-0"  
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**A-6**

**KENNEDY ESTATE**  
 6301 Elder Circle  
 Sacramento, Calif  
 95824

Rural California  
 Housing  
 Corporation  
 Project

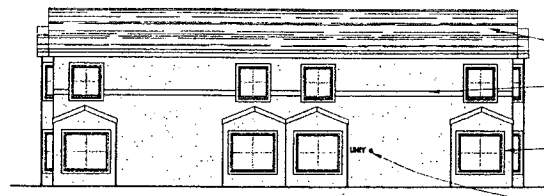
**RGHC**  
 2125 19TH Street  
 Sacramento, Calif  
 95814  
 —416.442.1131—

**Grimm  
 Architects**  
 400  
 4th Street, Suite 500  
 Sacramento, CA  
 95811

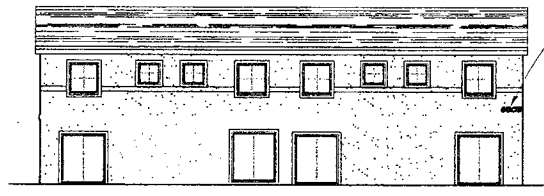
297-086

SEPTEMBER 17, 1997

ITEMS

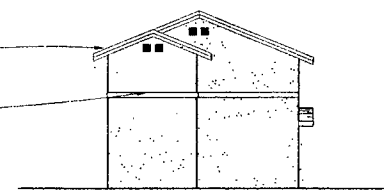


BUILDING '4B' FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

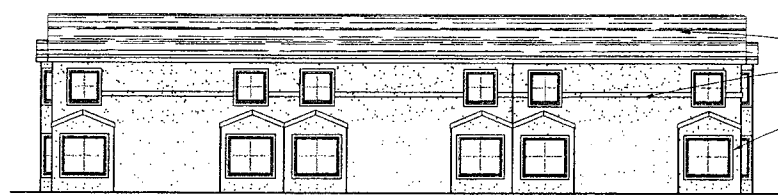


BUILDING '4B' BACK ELEVATION  
SCALE: 1/8" = 1'-0"

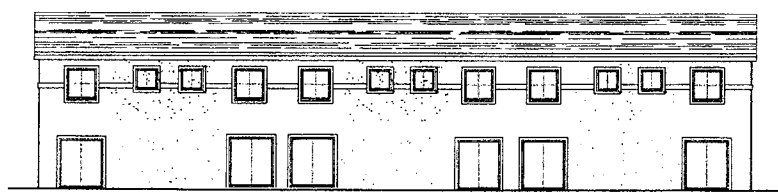
- NEW 5/12 SLOPED ROOF COMPOSITION ROOFING SHINGLES
- NEW LATH AND PLASTER FINISH COAT OVER EXISTING PLASTER, TYP.
- NEW LATH AND PLASTER, EXISTING SHINGLES REMOVED, TYP.
- NEW WINDOW WITH NEW TRIM DETAILS, TYP.
- NEW 10" HIGH BUILDING NUMBERS AND 6" HIGH UNIT LETTERS



BUILDING '4B' END ELEVATION  
SCALE: 1/8" = 1'-0"

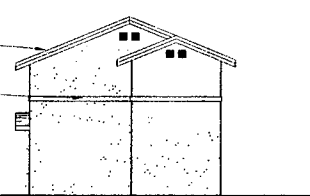


BUILDING '6B' FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING '6B' BACK ELEVATION  
SCALE: 1/8" = 1'-0"

- NEW 5/12 SLOPED ROOF COMPOSITION ROOFING SHINGLES
- NEW LATH AND PLASTER FINISH COAT OVER EXISTING PLASTER, TYP.
- NEW LATH AND PLASTER, EXISTING SHINGLES REMOVED, TYP.
- NEW WINDOW WITH NEW TRIM DETAILS, TYP.



BUILDING '6B' END ELEVATION  
SCALE: 1/8" = 1'-0"



Cynthia Easton Architect  
4531 Freeway Blvd  
Sacramento, CA 95822  
916-453-1505  
FAX: 916-453-0842

Drawings

KENNEDY ESTATES

6301 Elder Ct  
Sacramento, Ca  
95824

Rural California  
Housing  
Corporation  
Project

RCH  
2125 19TH St  
Sacramento, Ca  
95814  
916.442.4111

EXHIBIT - C

Revisions  
P.C. COMMENTS - 3/25/96  
FIRE DEPT. COMMENTS - 6/14/97

Drawings

Building 4B  
Building 6B

Date: 09/17/97  
Sheet

A-3

11 of 52

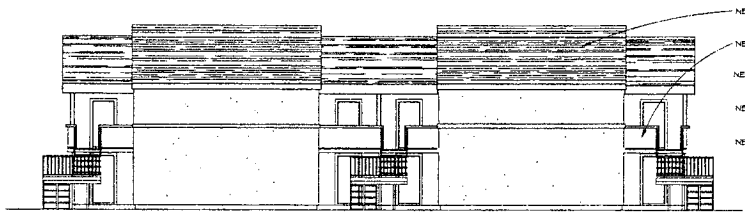
C-1



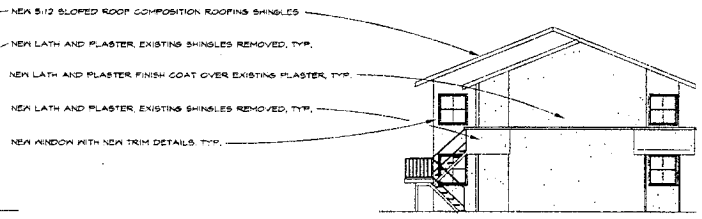
297-086

SEPTEMBER 17, 1977

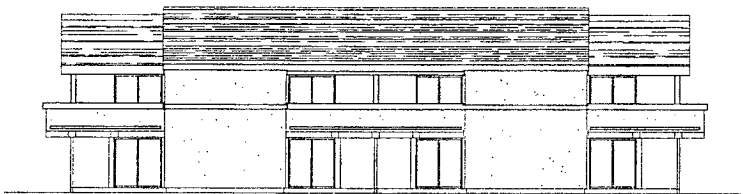
ITEMS



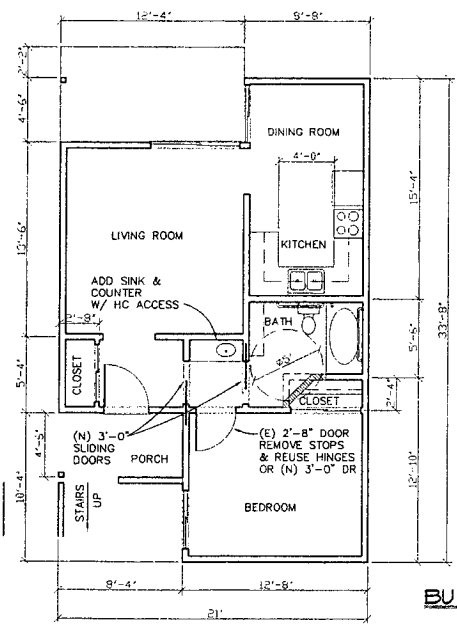
BUILDING '8A' FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING '8A' END ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING '8A' REAR ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING 'A' (N) FLOOR PLAN  
SCALE: 1/4" = 1'-0"



Cynthia Easton  
Architect  
4532  
Freeman Blvd.  
Sacramento, CA 95822  
916-433-1505  
Fax: 916-433-0643

Consultants

**KENNEDY ESTATES**

6301 Elder Creek  
Sacramento, California  
95824

Rural California  
Housing  
Corporation  
Project

**RCHC**  
2125 19TH Street  
Sacramento, California  
95814  
916-442-4731

Personnel  
P.C. CONSULTANTS - 3/2/75/80  
RURAL CALIF. HOUSING - 6/14/74

Drawings

Building #0  
Building #0

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Date: 09/26/77 (Job 15)  
Sheet: \_\_\_\_\_

**A-2**

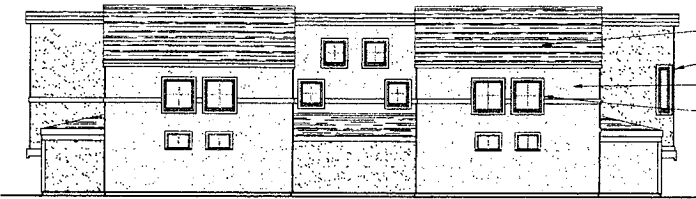
11 of 11 Sheets 32

C-2

297-086

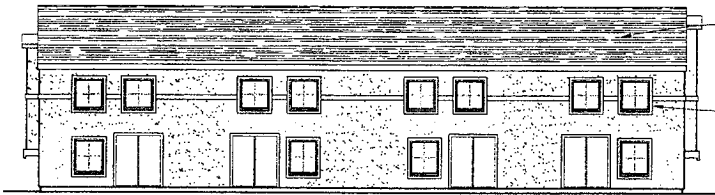
September 17, 1977

Item 5



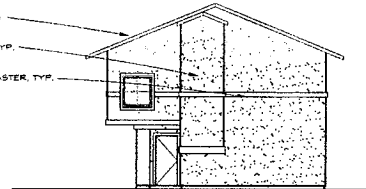
NEW 5/12 SLOPED ROOF COMPOSITION ROOFING SHINGLES  
 NEW LATH AND PLASTER, EXISTING SHINGLES REMOVED, TYP.  
 NEW LATH AND PLASTER FINISH COAT OVER EXISTING PLASTER, TYP.  
 NEW WINDOW WITH NEW TRIM DETAILS, TYP.

BUILDING '4C' FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



NEW 5/12 SLOPED ROOF COMPOSITION ROOFING SHINGLES  
 NEW LATH AND PLASTER, EXISTING SHINGLES REMOVED, TYP.  
 NEW LATH AND PLASTER FINISH COAT OVER EXISTING PLASTER, TYP.  
 NEW WINDOW WITH NEW TRIM DETAILS, TYP.

BUILDING '4C' REAR ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING '4C' END ELEVATION, TYP  
SCALE: 1/8" = 1'-0"



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REVISIONS


### KENNEDY ESTATES

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Rural California  
 Housing  
 Corporation  
 Project

**RCHC**  
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 Sacramento, California  
 95814  
 916.442.4731

REVISIONS  
 S.D. COMMENTS - 8/25/76  
 FIRE DEPT. COMMENTS - 8/14/76

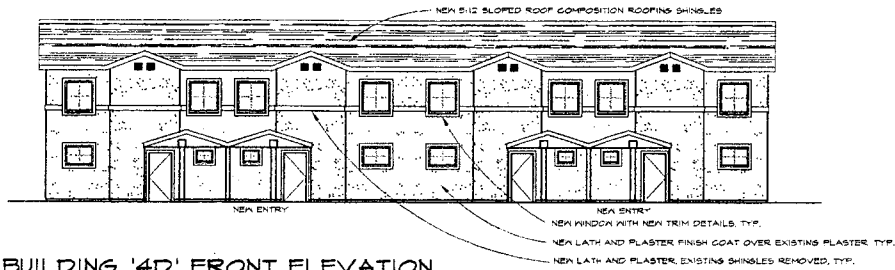
C-3

### A-4

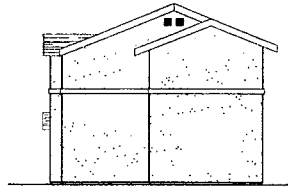
297-086

September 17, 1997

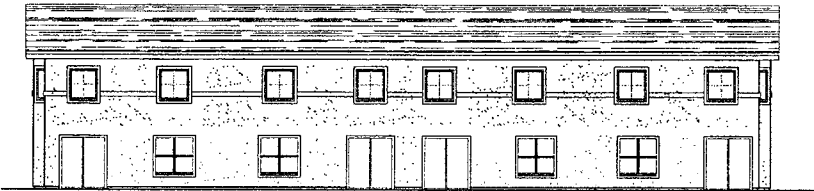
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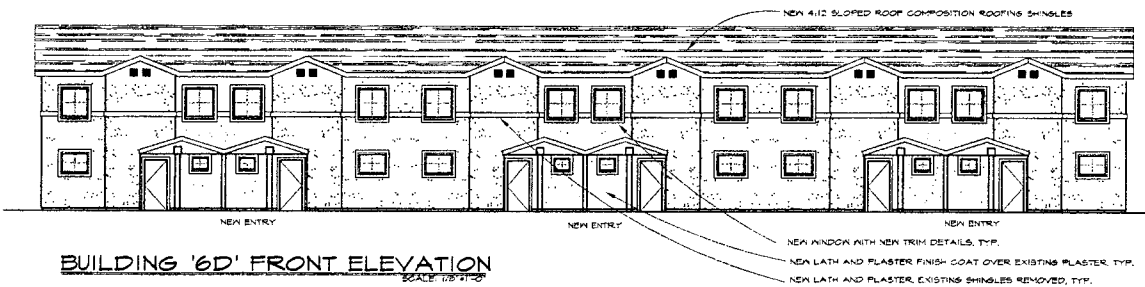
**BUILDING '4D' FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



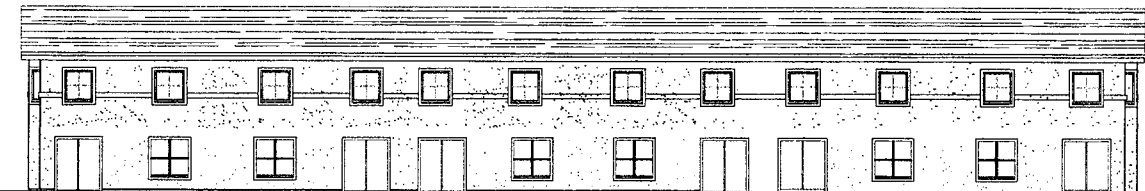
**BUILDING '4D' '6D' END ELEVATION**  
SCALE: 1/8" = 1'-0"



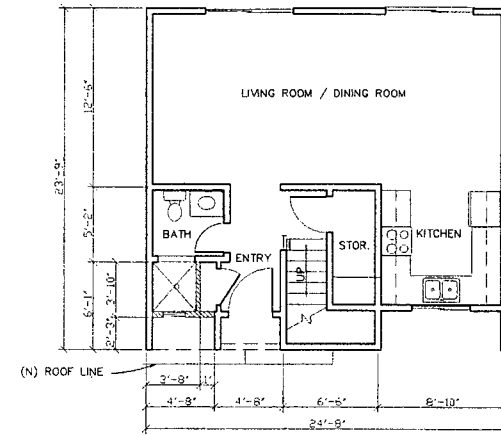
**BUILDING '4D' BACK ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING '6D' FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING '4D' BACK ELEVATION**  
SCALE: 1/8" = 1'-0"



LEGEND:  
 (E) Walls  
 (E) Walls to be removed  
 (N) Walls

**BUILDING 'D' (N) FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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Revised  
 P.C. COMMENTS - 3/25/96  
 FIRE DEPT. COMMENTS - 8/24/96

Drawings

Building 4D  
 Building 6D

Drawn: [ ]  
 Date: 10/21/97  
 Scale: [ ]

**A-5**

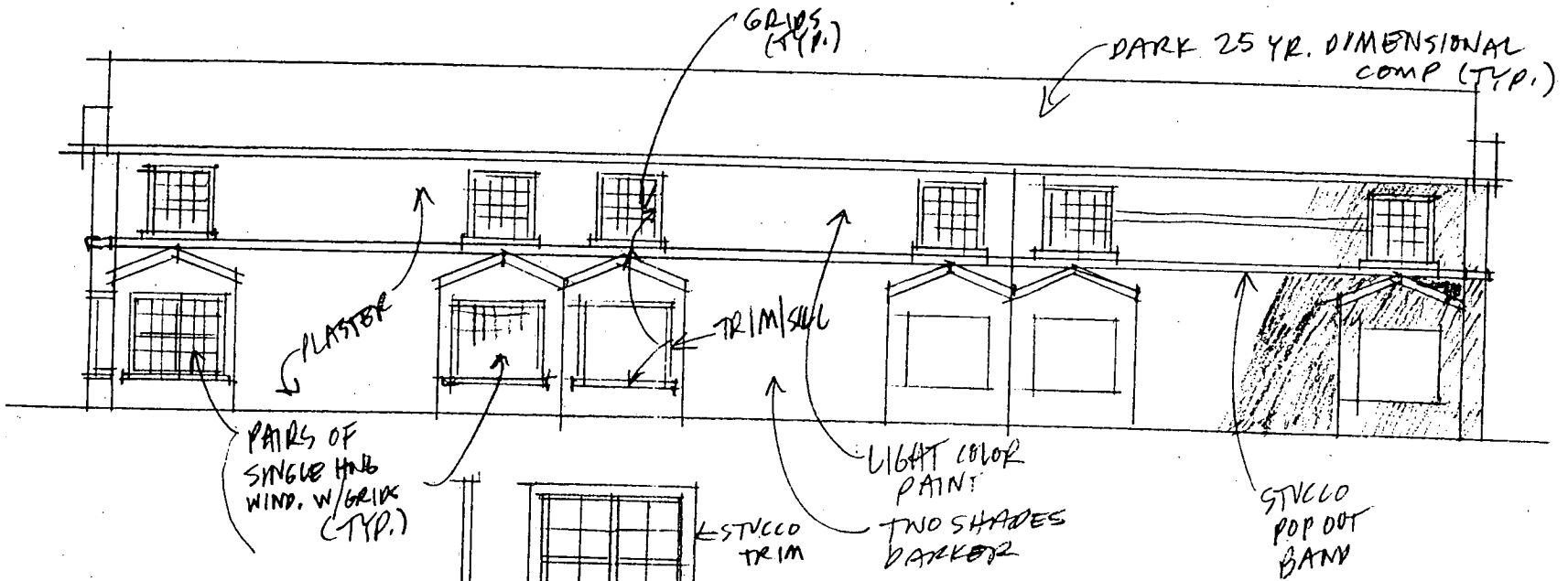
Total Sheets: 22

C-4

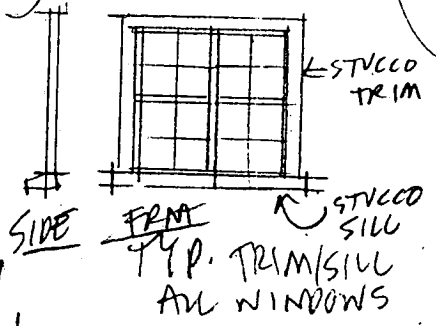
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SEPTEMBER 17, 1997

Item #5



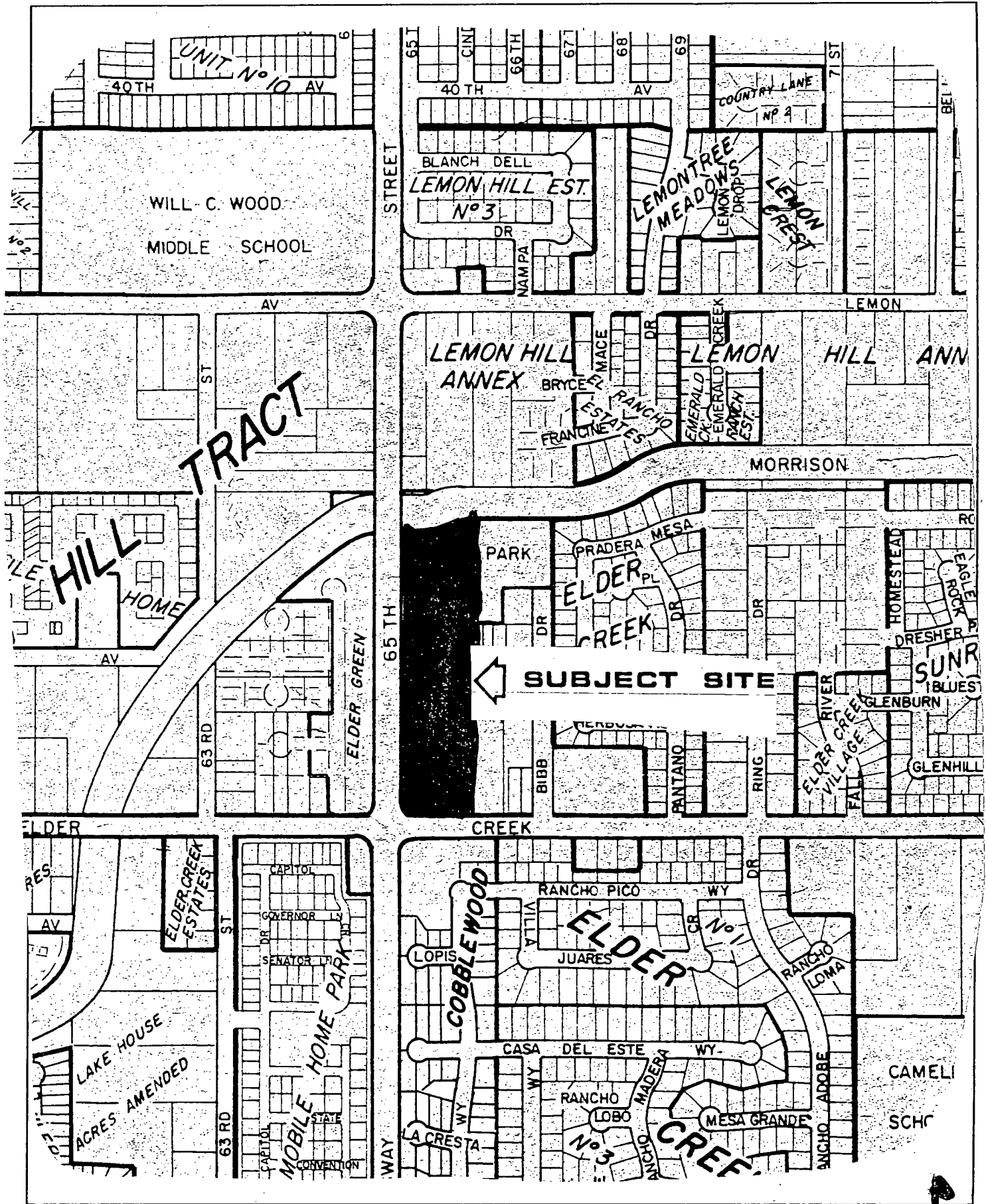
TYPICAL ELEV.



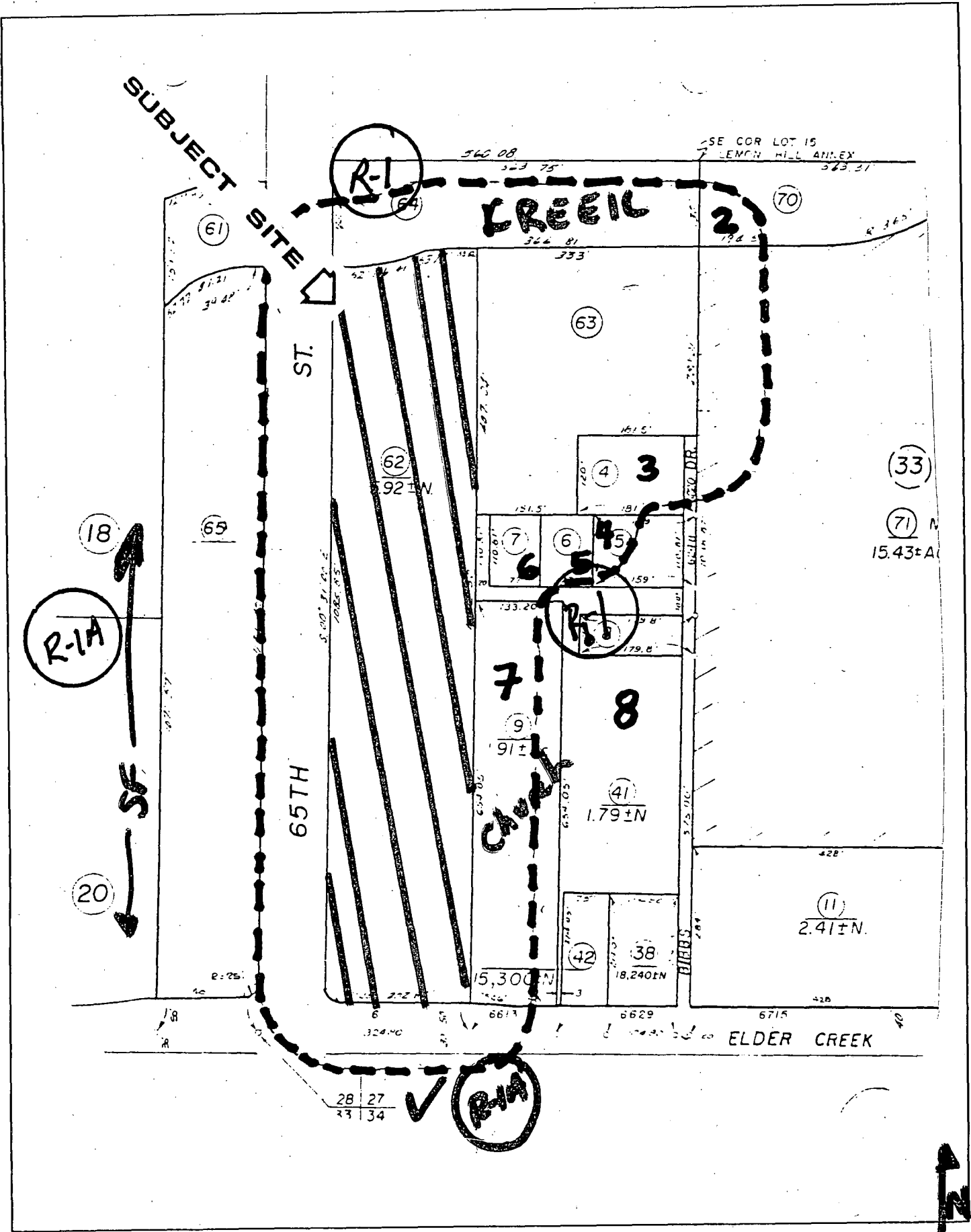
SUGGESTED COLORS

- UPPER PLASTER - LIGHT TAN
- LOWER PLASTER - DEEP TAN
- FASCIA - HUNTER GREEN (OK.)
- STUCCO BAND - WHITE
- WINDOWS - WHITE
- ROOF - DARK BROWN OR CHARCOAL

EXHIBIT D



VICINITY MAP



LAND USE & ZONING MAP