

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Wednesday, September 17, 1997, the Zoning Administrator approved with conditions a plan review to remodel an existing apartment complex and a variance to waive a required masonry wall for a child care center for the project known as Z97-086. Findings of Fact and conditions of approval for the project are listed on pages 3-5.

Project Information

- Request: 1. Zoning Administrator Plan Review Modification to modify the exterior of all 100 apartments within the complex by changing the roof style and materials and adding 12 square feet to four bedroom units, add trash enclosures, add 1,000 square feet to a common use building, and revising the parking layout for the entire complex on 9.53± developed acres in the Multi-Family-Review (R-3-R), Multi-Family (R-3), and Standard Single Family (R-1) zones.
2. Zoning Administrator Variance to waive a required six foot wall for an on-site Head Start day care program

Location: 6501 Elder Creek Road (D6, Area 3)

Assessor's Parcel Number: 038-0210-062 and 063

Applicant: Rural California Housing Corporation (RCHC) (Peggy Jen)
 2125 19th Street
 Sacramento, CA 95818

Property Sacramento Housing and Redevelopment Agency
Owner: 630 I Street
 Sacramento, CA 95814

General Plan Designation: Medium Density Residential (16-29 du/na)
South Sacramento
 Community Plan: Residential (11-29 du/na)
Existing Land Use of Site: Apartments
Existing Zoning of Site: Multi-Family-Review (R-3-R), Multi-Family (R-3), and
 Standard Single Family (R-1)

Surrounding Land Use and Zoning:		Setbacks	Required	Existing
North:	R-1; Morrison Creek	Front:	25'	21'
South:	R-1A; Vacant	Side(E.):	5'	16'
East:	R-1; Vacant and Church	Side(W.):	25	22'
West:	R-1; Single Family	Rear:	15'	9'
Property Dimensions:	Irregular			
Property Area:	9.53± acres			
Parking Provided:	140 spaces			
Parking Required:	156 spaces (current standards)			
Square Footage of Buildings:	Apartments (100 units):			566-1,182 square feet
	Community Bldg.:			1,886 square feet
	Addition to Community Bldg.:			1,000 square feet
	Total:			92,260 square feet
Height of Buildings:	Two Stories, 25.3 feet			
Exterior Building Materials:	Lath and Plaster			
Roof Materials:	Composition Shingles			
Topography:	Flat			
Street Improvements:	Existing			
Utilities:	Existing			

Project Plans: See Exhibits A-C

Previous Files: None

Additional Information: The applicant is proposing an extensive remodel of the entire apartment complex and an addition to the community building in order to operate a Head Start program. There are a total of 100 apartments that make up the complex along with a community building. There is a basketball court on an adjacent parcel. The parcel is a large lot at the northeast corner of Elder Creek Road and 65th Street. The large lot with the apartments has a split zoning of R-3 and R-3-R. The "R" designates development review of the site for any exterior changes. The applicant has submitted for the R Review Modification.

The applicant proposes to remodel the exterior of every unit. The revisions will include constructing sloped roofs instead of flat roofs; removing both shingle siding and board and batten siding and replacing with lath and plaster; removing single pane windows and replacing with double pane windows; and adding an entry element to each unit. There are one through four bedroom apartments. Four bedroom apartments will be increased by twelve square feet for a shower addition. Privacy fences will also be added or replaced for all units.

Additionally, trash enclosures will be added, and the parking layout restriped to have more compact and handicap accessible spaces and to allow for the trash enclosures. The number of compact spaces increases from zero to 47 and handicap accessible spaces increases from zero to five. Although the current parking requirement for apartments is 1.5 space for

every unit and one additional guest space for every 15 units, the complex was built prior to the requirement and therefore does not have to meet the current parking requirement.

The proposed project review consists primarily of reviewing the new building design and materials. Design Review staff reviewed the project and has made several comments regarding the proposed design. Those comments are included as conditions.

The applicant also indicated that 1,000 square feet will be added to the existing community building and a exterior yard will be enclosed with a fence in order to operate a Head Start day care program. The program will be operated by Sacramento Employment and Training Agency (SETA). Any child care programs operated by SETA are exempt from the City's Zoning Ordinance requirement for a Special Use permit.

The programs are required to meet the requirements for a child care center which includes providing a six foot solid masonry wall along all perimeter property lines. The applicant is requesting a Variance from the wall requirement. The play yard will be fenced and is interior to the site. There is a creek to the north, a church to the east, and public streets to the south and east. By today's standards, there should have been a wall built along the east property line due to the parking area along that property line. Normally the church to the east would have also been required to build a wall along the east (church's west) property line; however, the church and the apartment complex were both constructed prior to the wall requirements.

The applicant also indicated that existing signage will be refurbished; however, no new signage details were provided.

The site is located within the South East Area Neighborhood Association area. The proposed plans were submitted to the neighborhood association and no comments were received by staff. The project has been noticed and staff has not received any calls.

Environmental Determination

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15301 and 15302}.

Conditions of Approval

1. The applicant shall make the following exterior changes to the proposed exterior remodel of the buildings on site (see staff Exhibit D):
 - a. Drop the horizontal band below sill of upper windows;
 - b. Provide grids (white frames suggested) on all windows;
 - c. Provide stucco trim around all windows and sills for all windows;

- d. Use 25 year dimensional composition shingles on the roof;
- e. Design Review staff shall review and approve all final exterior color selections prior to issuance of building permits (staff recommends two colors of stucco).

Any variations or proposed changes shall be subject to review and approval by Design Review staff (Luis Sanchez, 264-5957).

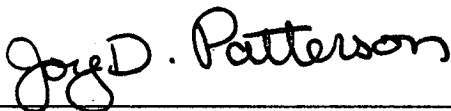
- 2. All trash enclosures shall be located and built to the standards in the Zoning Ordinance. The enclosures shall provide adequate receptacles for recycling in accordance with the recycling requirements of the Zoning Ordinance.
- 3. Provide a fire rated wall between the meeting room and the day care area within the community building to the satisfaction of the Building Division.
- 4. The applicant shall obtain all necessary building permits prior to commencing construction to include a Change of Use Building Permit for the community building.
- 5. Any modifications to the approved plans will require additional Planning review and approval.
- 6. Any new signage must comply with the Sign Ordinance and have a sign permit.

Findings of Fact- R Review:

- 1. The project, as conditioned, is based upon sound principles of land use in that the proposed remodel will update an existing older apartment complex.
- 2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
 - a. adequate on-site parking, maneuvering, and setbacks will be provided;
 - b. the dilapidated structures will be remodeled and refurbished; and
 - c. the proposed exterior remodel of the buildings will be compatible with the existing residential and commercial buildings in the area.
- 3. The project, as conditioned, meets the requirements of the Zoning Ordinance for land use and site design requirements.
- 4. The project is consistent with the General Plan and the South Sacramento Community Plan which designate the site as Medium Density Residential (16-29 du/na) and Residential (11-29 du/na) respectively.

Findings of Fact- Variance:

1. Granting the variance does not constitute a special privilege extended to an individual applicant in that a variance would be and has been granted to other property owners facing similar circumstances.
2. Granting the variance request does not constitute a use variance in that the apartment complex is a residential use that is permitted in the Multi-Family (R-3) zone.
3. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
 - a. the play yard will be adjacent to the community building which is in the center of a 9+ acre site;
 - b. the apartment complex and community building were built prior to requiring masonry walls; and
 - c. there are no apartments in close proximity to the community building.



Joy D. Patterson
Zoning Administrator

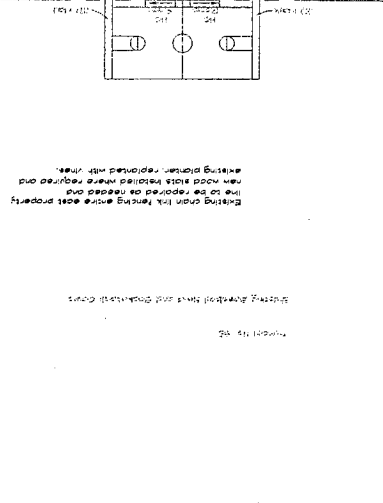
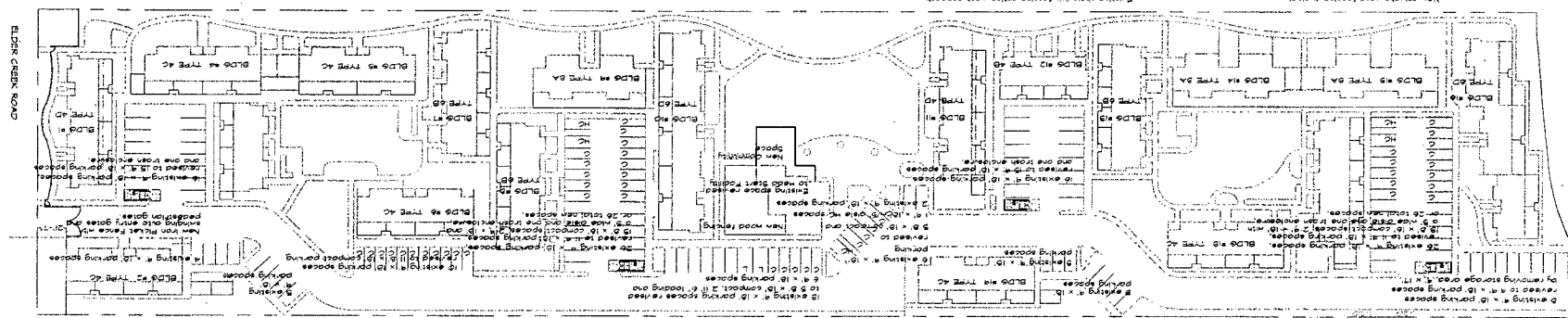
The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File
Applicant
ZA Log Book
Luis Sanchez, Design Review

780-0-662
 SEPTEMBER 17, 1997
 ITEMS

7 97-086

SITE PLAN 1" = 40'-0"



REQUIREMENTS

ALL BUILDINGS SHALL BE CONFORMANT WITH THE CITY OF SACRAMENTO ZONING ORDINANCES AND THE CALIFORNIA BUILDING CODE.

BLDG #	TYPE	AREA (SQ FT)	HEIGHT (FT)	STORIES	PERMITS
1	AC	10,000	10	3	1
2	AC	10,000	10	3	1
3	AC	10,000	10	3	1
4	AC	10,000	10	3	1
5	AC	10,000	10	3	1
6	AC	10,000	10	3	1
7	AC	10,000	10	3	1
8	AC	10,000	10	3	1
9	AC	10,000	10	3	1
10	AC	10,000	10	3	1
11	AC	10,000	10	3	1
12	AC	10,000	10	3	1
13	BA	10,000	10	3	1

REMARKS:

1. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CITY OF SACRAMENTO ZONING ORDINANCES AND THE CALIFORNIA BUILDING CODE.

2. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA FIRE CODE.

3. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLUMBING CODE.

4. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA ELECTRICAL CODE.

5. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA MECHANICAL CODE.

6. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA GAS CODE.

7. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PEST CONTROL CODE.

8. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA ACCESSIBILITY STANDARDS.

9. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA ENERGY CODE.

10. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

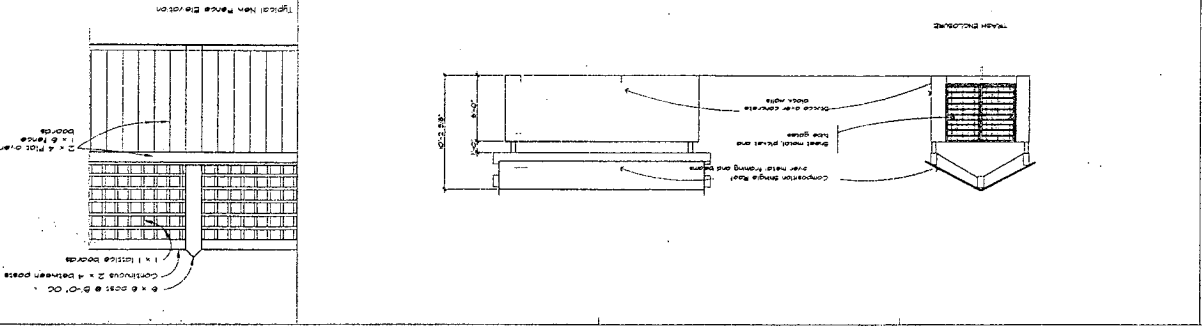
11. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA HISTORIC PRESERVATION ACT.

12. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA LAND USE ACT.

13. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA WATER RESOURCES ACT.

14. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA AIR RESOURCES ACT.

15. ALL BUILDINGS SHALL BE CONFORMANT WITH THE CALIFORNIA CLIMATE CHANGE ACT.



KENNEDY ESTATES
 6301 Elder Creek
 Sacramento, CA 95824
 Project: Housing Corporation
 RCT
 2125 14TH
 SACRAMENTO, CA 95814
 916.442.41

EXHIBIT - A

DATE: _____

SCALE: _____

BY: _____

FOR: _____

NO. OF SHEETS: _____

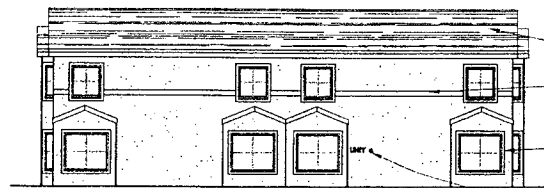
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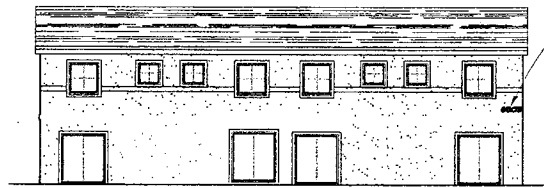
297-086

SEPTEMBER 17, 1997

ITEMS

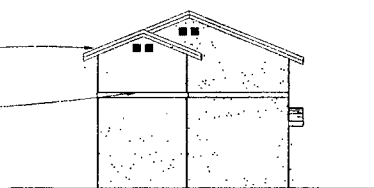


BUILDING '4B' FRONT ELEVATION
SCALE: 1/8" = 1'-0"

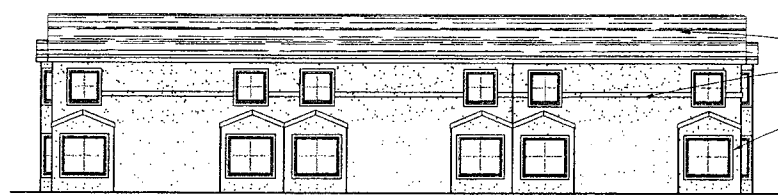


BUILDING '4B' BACK ELEVATION
SCALE: 1/8" = 1'-0"

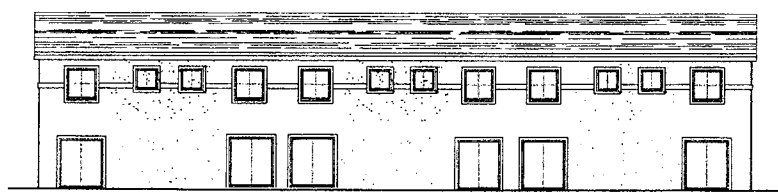
- NEW 5/12 SLOPED ROOF COMPOSITION ROOFING SHINGLES
- NEW LATH AND PLASTER FINISH COAT OVER EXISTING PLASTER, TYP.
- NEW LATH AND PLASTER, EXISTING SHINGLES REMOVED, TYP.
- NEW WINDOW WITH NEW TRIM DETAILS, TYP.
- NEW 10" HIGH BUILDING NUMBERS AND 6" HIGH UNIT LETTERS



BUILDING '4B' END ELEVATION
SCALE: 1/8" = 1'-0"

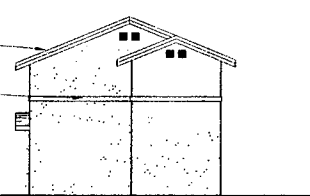


BUILDING '6B' FRONT ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING '6B' BACK ELEVATION
SCALE: 1/8" = 1'-0"

- NEW 5/12 SLOPED ROOF COMPOSITION ROOFING SHINGLES
- NEW LATH AND PLASTER FINISH COAT OVER EXISTING PLASTER, TYP.
- NEW LATH AND PLASTER, EXISTING SHINGLES REMOVED, TYP.
- NEW WINDOW WITH NEW TRIM DETAILS, TYP.



BUILDING '6B' END ELEVATION
SCALE: 1/8" = 1'-0"



Cynthia Easton Architect
4531 Freeway Blvd
Sacramento, CA 95822
916-453-1505
FAX: 916-453-0842

Drawings

KENNEDY ESTATES

6301 Elder Ct
Sacramento, Ca
95824

Rural California
Housing
Corporation
Project

RCH
2125 19TH ST
Sacramento, Ca
95814
916.442.4111

EXHIBIT - C

Revisions
P.C. COMMENTS - 3/25/98
FIRE DEPT. COMMENTS - 6/14/97

Drawings

Building 4B
Building 6B

Date: 08/27/97
Sheet

A-3

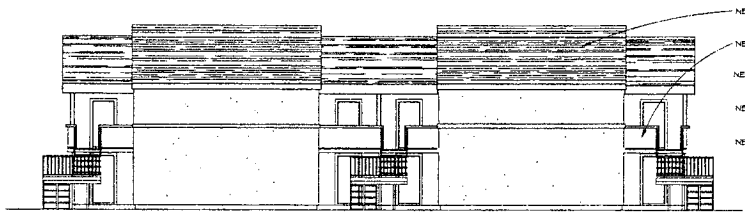
11 of 52

C-1

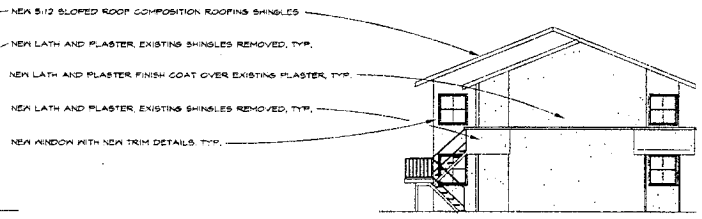
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SEPTEMBER 17, 1977

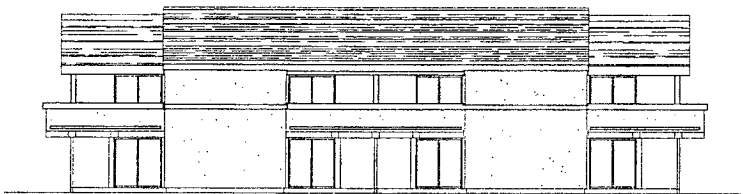
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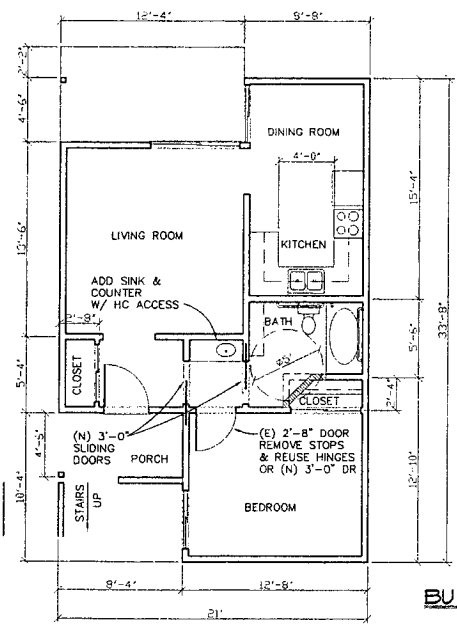
BUILDING '8A' FRONT ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING '8A' END ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING '8A' REAR ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 'A' (N) FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

- (E) Walls
- (E) Walls to be removed
- (N) Walls



Cynthia Easton Architect
4532
Freeman Blvd.
Sacramento, CA 95822
916-433-1500
Fax: 916-433-0643

Consultants

KENNEDY ESTATES

6301 Elder Creek
Sacramento, California
95824

Rural California
Housing
Corporation
Project

RCHC
2125 19TH Street
Sacramento, California
95814
916-442-4731

Personnel
P.C. CONSULTANTS - 3/2/75/80
RURAL CALIF. HOUSING - 6/14/74

Drawings

Building #0
Building #0

Rev: _____
Date: 09/26/77 (pp 15)
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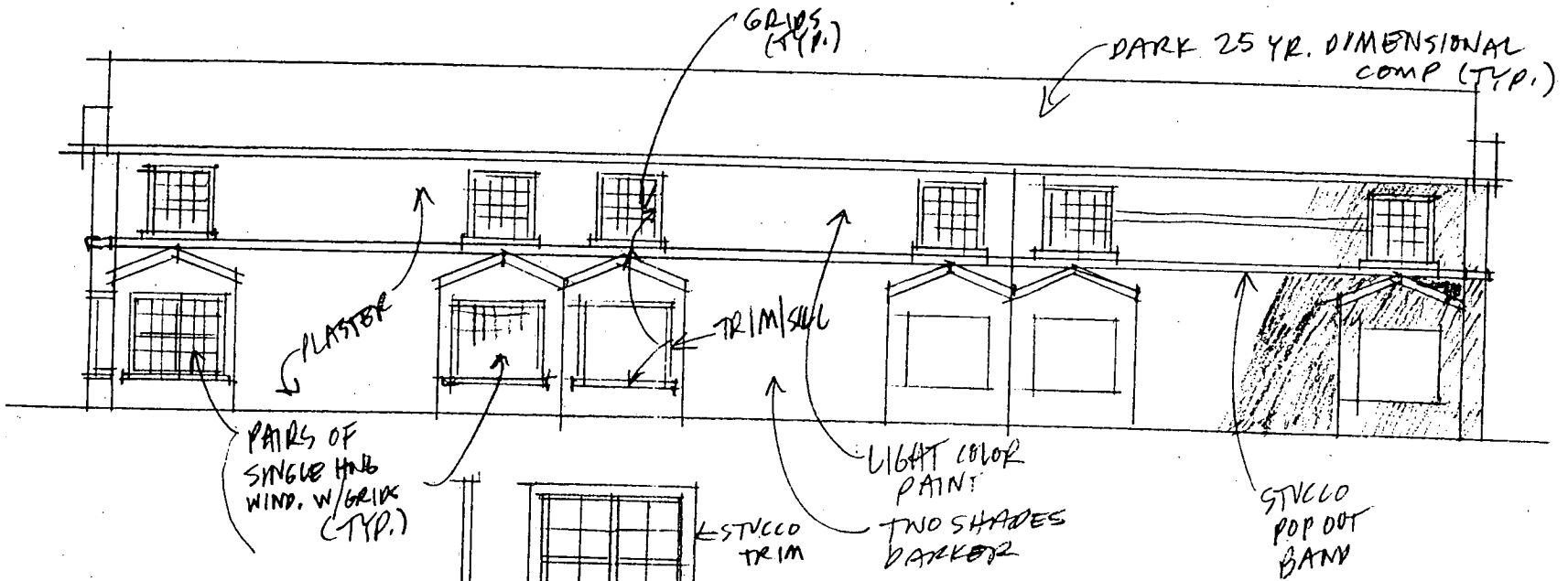
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E.977-086

SEPTEMBER 17, 1997

Item #5

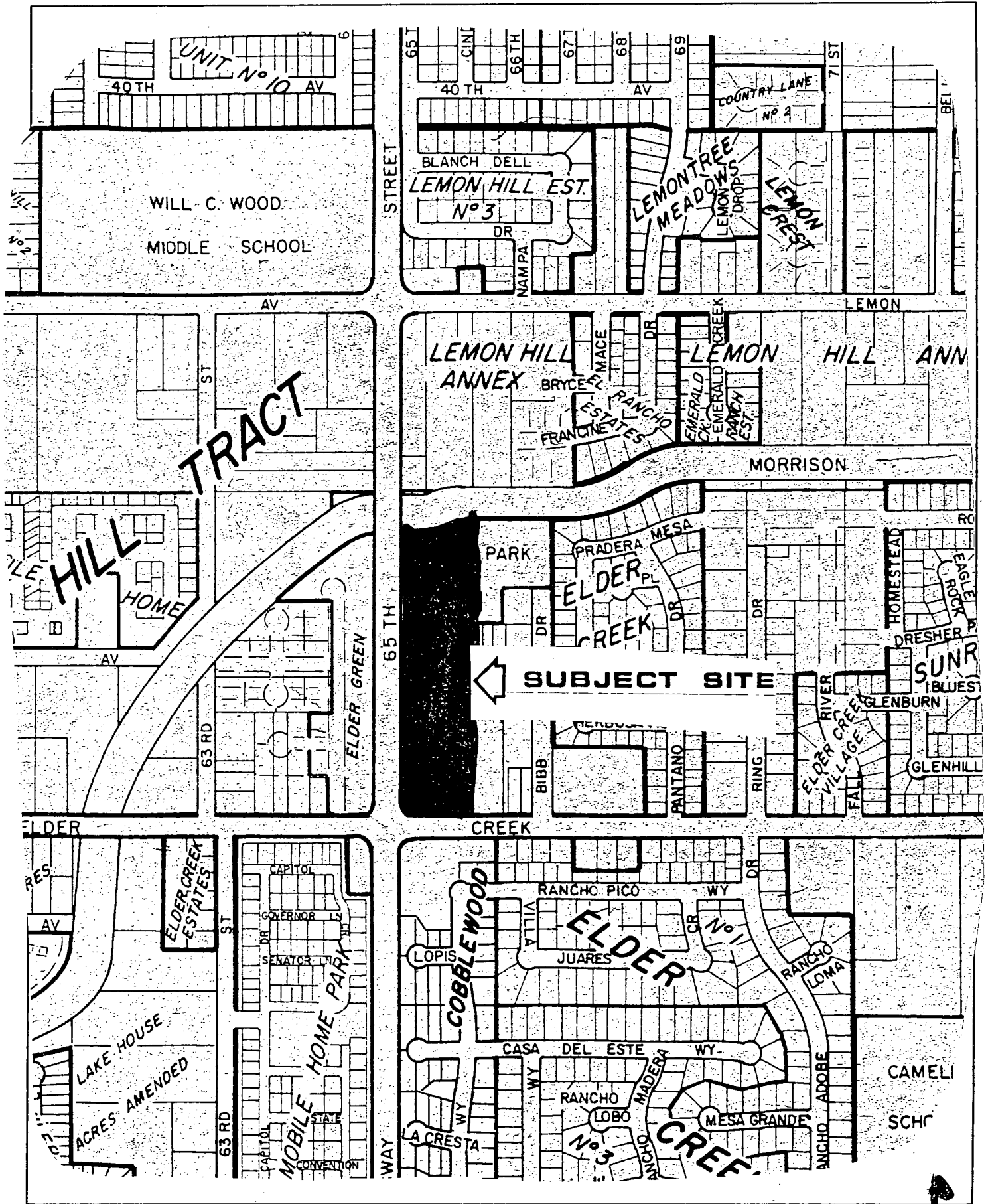


TYICAL ELEV.

SUGGESTED COLORS

- UPPER PLASTER - LIGHT TAN
- LOWER PLASTER - DEEP TAN
- FASCIA - HUNTER GREEN (OK.)
- STUCCO BAND - WHITE
- WINDOWS - WHITE
- ROOF - DARK BROWN OR CHARCOAL

EXHIBIT D



VICINITY MAP

