

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Wednesday, January 12, 2000 the Zoning Administrator approved with conditions a Special Permit Major Modification to allow the construction of a classroom building for a church facility, additional parking, and a caretakers and storage portable building for the project known as Z99-134. Findings of Fact and conditions of approval for the project are listed on pages 2-5.

**Project Information**

Request: **Zoning Administrator Special Permit Major Modification** to construct a 11,730 square foot classroom building for an existing church and locate a 1,440 square foot portable building for a caretaker's residence and a storage facility on 1.93± partially developed acres in the Heavy Industrial (M-2S) zone.

Location: 8505 Morrison Creek (D6, Area 3)

Assessor's Parcel Number: 064-0020-063, 062

Applicant: A. J. H. & Associates (Anatole Hulewsky)  
8670 Winding Way  
Fair Oaks, CA 95628

Property Owner: Slavic Pentecostal Missionary Church- Golgotha, Inc.  
8505 Morrison Creek Drive  
Sacramento, CA 95828

Project Planner: Sandra Yope

General Plan Designation: Heavy Commercial or Warehouse  
South Sacramento

Community Plan Designation: Industrial  
Existing Land Use of Site: Church and Vacant  
Existing Zoning of Site: Heavy Industrial (M-2S)

Surrounding Land Use and Zoning:	Setbacks	Required	Proposed
North: M-2S; Industrial	Front:	25'	115'
South: M-2S; Industrial	Side(N):	0'	15'
East: M-2S; Industrial	Side(S):	25'	25'
West: M-2S; Industrial	Rear:	0'	10'

Property Dimensions: 297 feet x 260 feet  
Property Area: 1.77± acres

Square Footage of Buildings:	Existing structure:	7,200 square feet
	Proposed Multi-purpose building:	11,730 square feet
	Caretaker Residence:	720 square feet
	Storage Building:	720 square feet
	Total:	20,370 square feet
Height of Building:	Existing building:	1 story, 22 feet
	Proposed:	2 stories, 26 feet
Exterior Building Materials:	Building-	Concrete Block Tilt-up
	Portable-	Wood siding
Roof Materials:	Building-	Tar
	Portable-	Composition
Topography:		Flat
Street Improvements:		Existing

Project Plans: See Exhibits A-F

Previous Files: P91-253, Z98-121 (Parcel Merger)

Background Information: The Planning Commission approved a Special Permit to convert an existing warehouse building into a church on January 9, 1992 (P91-253). Any additions or modifications to a site that has a use that has a special permit requires a Special Permit Modification.

Additional Information: The applicant proposes to construct a two story 11,730 square foot building to provide classrooms and a multi-purpose room for the church. The building will be constructed out of matching materials to the existing church building. The parking lot will also be expanded into the recently merged adjacent lot. There will also be a 1,440 square foot mobile home located on northern portion of the site adjacent to the proposed classroom building. The mobile home area will be divided in half with the northern section used for storage and the southern section used for a caretaker's residence. The trash enclosure will be relocated from the current location to the west side of the mobile home. A separate parking space will be provided for the caretaker's residence. All setback requirements will be met. There will be no increase in seats for the church and therefore, no required additional parking spaces.

The project was noticed and staff received one call from an adjacent property owner who was upset because church members parked in front of the roll up door of his business on Sundays. The church was notified and will take care of the problem.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act Guidelines, Section 15332.

#### Conditions of Approval

1. The applicant shall comply with original conditions for church operations as stated in P91-253 to include a maximum of 220 seats.

2. The applicant shall finalize the recording of the parcel merger prior to obtaining building permits.
3. The classrooms are to be used for Sunday school or other church activities only. The classrooms are not to be used for a school or day care center separate from normal church support without additional entitlements. Additionally, the applicant shall not conduct concurrent services with the sanctuary at near capacity levels and a separate function at near capacity in the new multi-purpose room.
4. The mobile home shall be located on a permanent foundation with a skirt around the entire perimeter painted to match the building. The applicant shall make the following design modifications:
  - a. The mobile home shall be painted to match the existing and proposed building with the trim pieces also painted to match the trim of the other buildings.
  - b. A four foot wide planter shall be installed along the south side of the building with shrubs and ground cover.
  - c. The planter area in front of the relocated trash enclosure shall have Italian Cyprus planted in it (or a suitable alternative).
  - d. The three windows along the south side shall be replaced with four or six grid windows and have shutters painted to match the trim scheme. There shall be 1" x 4" trim pieces (painted) along the T-1/111 intersections at the gabled ends.
  - e. There shall be a deck the length of the west end, a minimum of six feet in width with a railing constructed out of redwood, cedar, or pressure treated lumber.
  - f. There shall be a porch cover at the west end which can be an extension of the existing roof or a second porch canopy that will extend up to the depth of the deck and the width of the mobile home.
  - g. The applicant shall obtain proper permits from the State of California (Housing and Community Development) for the modifications to the mobile home.
5. The new classroom/multi-purpose building shall have the following design modifications:
  - a. There shall be a matching trim band to the existing building (color and width) at the top of the building on all four sides.
  - b. A porte cochere shall be added over the second entrance (on west side) to a depth of ten feet to match the canopy projection of the first building. It shall be painted and designed to match the existing canopy. A smaller canopy projection with the same paint scheme shall be placed over the other two entrances on the west side.
6. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems ( per Section 11.12 of the

Design and Procedures Manual).

7. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the improvement plans. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
8. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Only source control measures are required. This will not affect site design. Refer to the draft "Manual of Standards for Design of New Development On-Site Stormwater Quality Control Measures", dated January 23, 1995, for appropriate source control measures.
9. Only one domestic water service per parcel is allowed. Any new domestic water service shall be metered.
10. Multiple fire services are allowed per parcel and may be required.
11. The proposed development is located within Sacramento County Sanitation District No.1. Contact the Regional Sanitation District for sanitary sewer conditions.
12. The parking area shall conform with all ADA requirements. The compact stalls shall be designated on the plans and on the site.
13. The new parking spaces shall conform with the Zoning Ordinance to include shading requirements.
14. The applicant shall submit revised plans for Planning review and approval prior to submission for building permits. Any additional changes, modifications, or additions will require Planning review and approval.
15. The applicant shall obtain all necessary building permits prior to commencing construction.
16. The applicant shall remove the existing storage shed once the portable building is installed.

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that the proposed expansion will not substantially alter the characteristics of the site or the surrounding mixed use area.
2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
  - a. adequate on-site parking and setbacks will be provided;
  - b. the proposed expansion will provide additional parking for the site; and

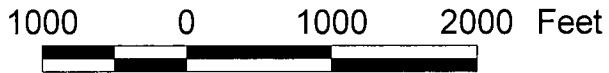
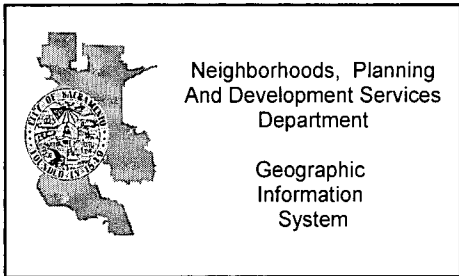
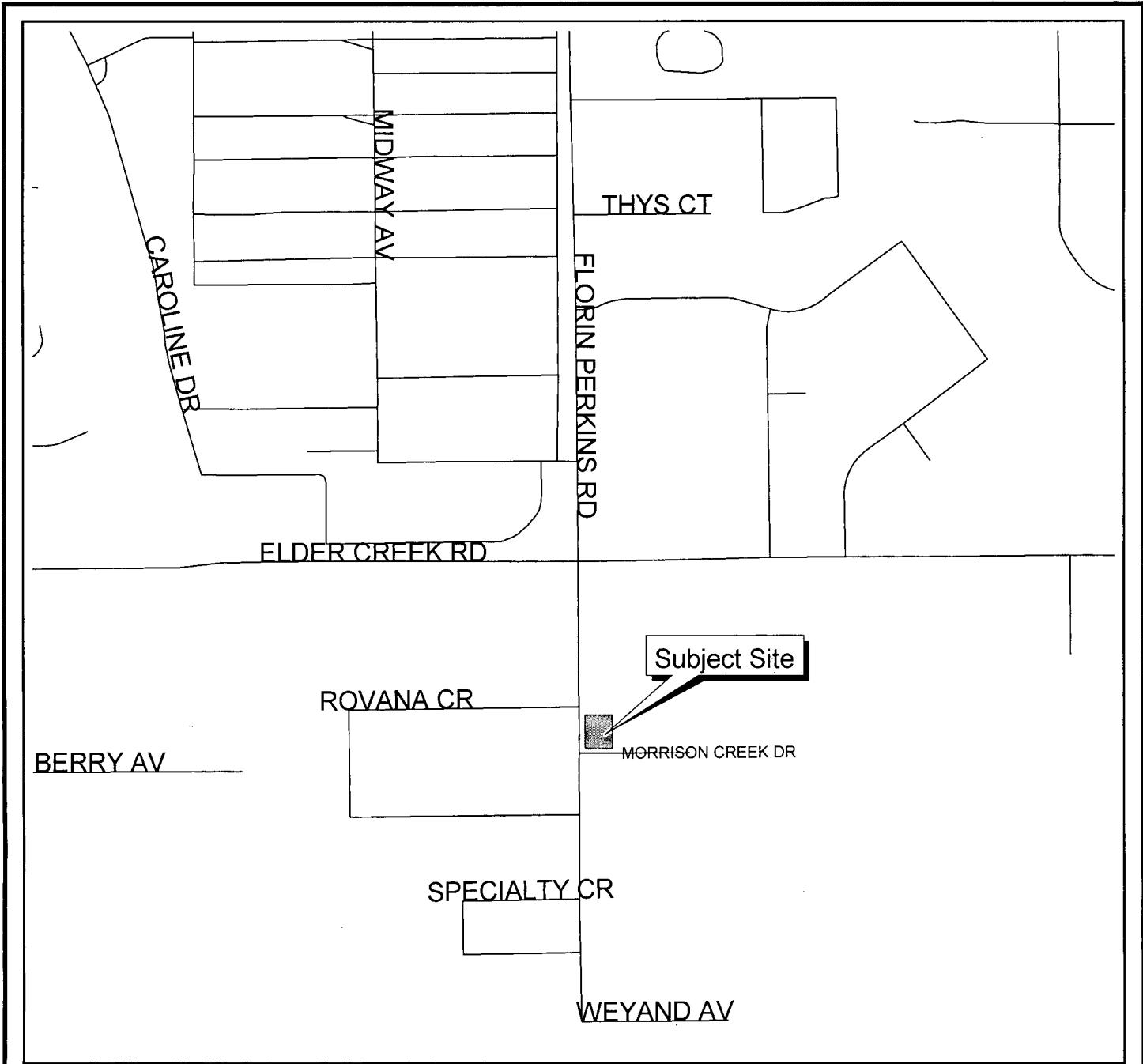
- c. new landscaping will be provide to provide a visual buffer for the portable building.
3. The project is consistent with the General Plan and the South Sacramento Community Plan which designate the subject site as Heavy Commercial or Warehouse and Industrial respectively. A church is permitted in any zone with a Special Permit.

  
\_\_\_\_\_  
Joy D. Patterson  
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

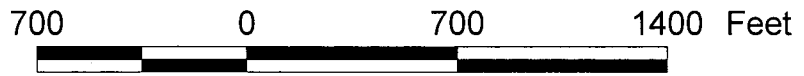
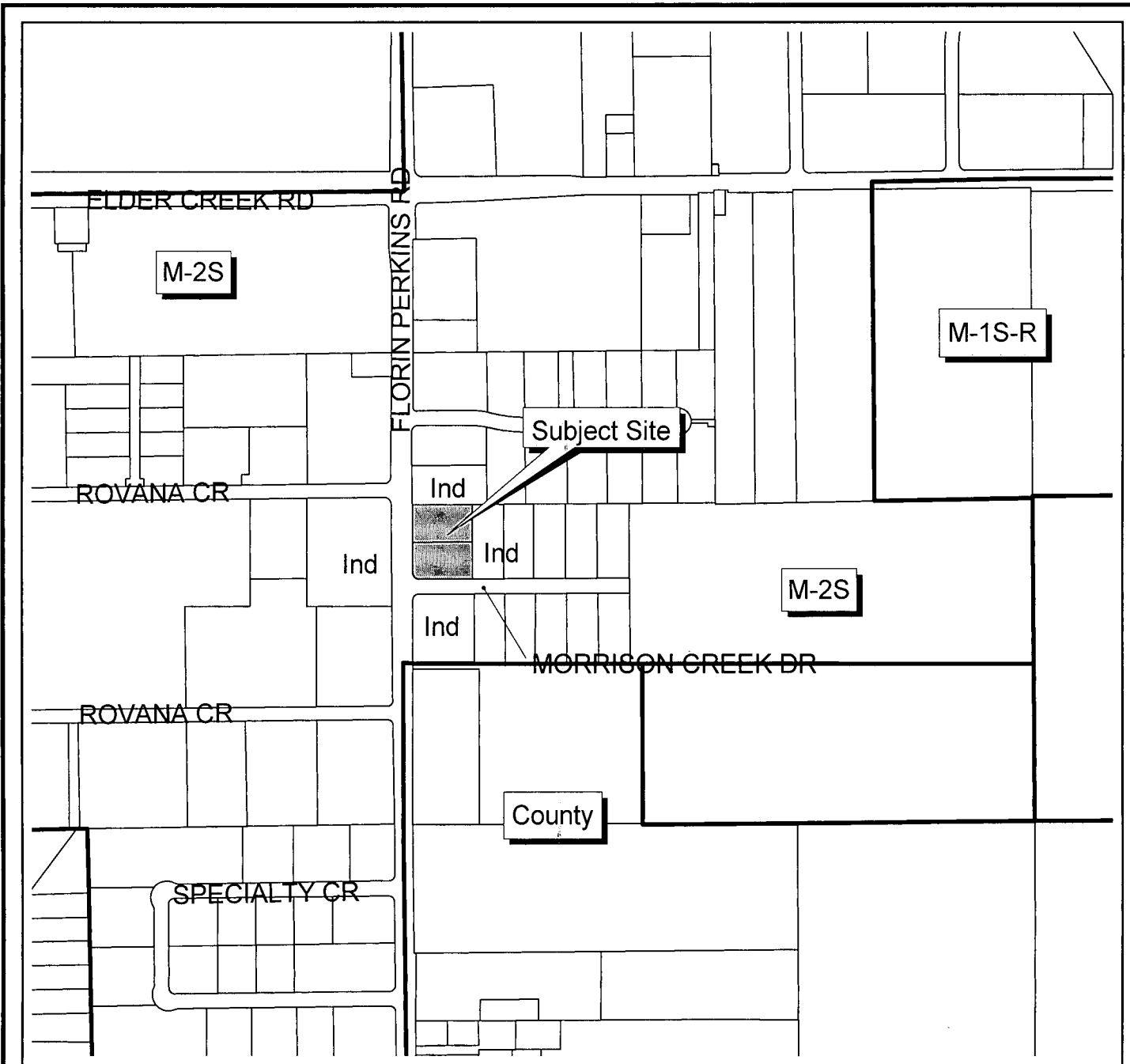

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File  
Applicant  
Bob Erickson; 7500 Morningside Drive; Granite Bay, CA 95746  
ZA Log Book



# VICINITY MAP



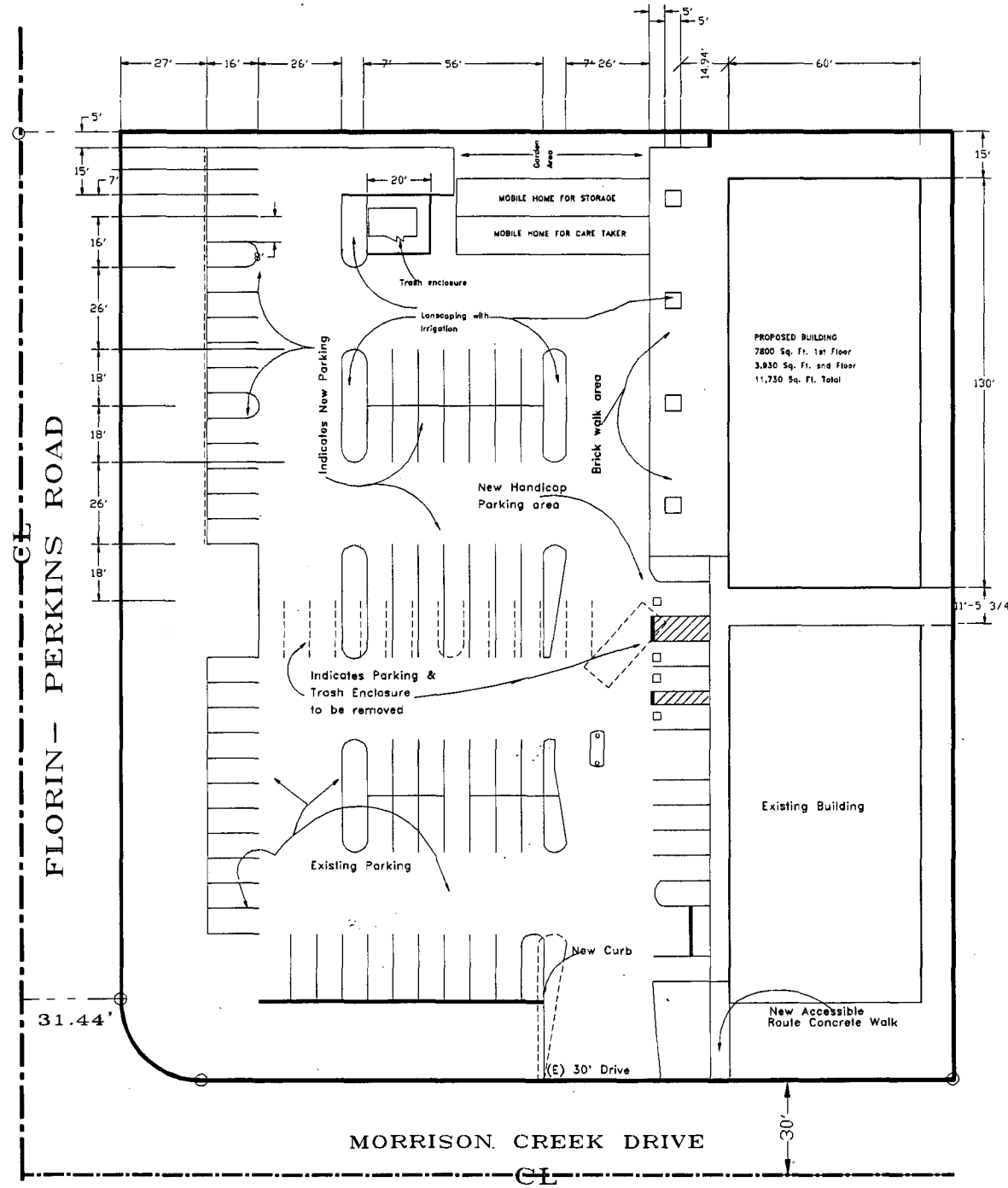



Neighborhoods, Planning  
And Development Services  
Department


Geographic  
Information  
System

# LAND USE AND ZONING





**Z99-134**  
 Revised 12/15/99

SITE PLAN 1"=20'-0" 

DRAWN BY:  
 A. HULEWSKY  
 SCALE:  
 1"=20'-0"

A.L.H. & ASSOCIATES  
 8570 WINDING WAY  
 FAIR OAKS, CALIF. 95628  
 PHONE: 916-965-5879

PAGE - 01

RE-SUBMITTED  
 11-28-99  
 PROPERTY ADDRESS  
 8505 MORRISON CREEK DR.  
 SACRAMENTO, CA. 95828  
 CONTACT - ANATOLE  
 PHONE-965-5879  
 PHONE-208-5879  
 CONTACT - ROBERT  
 PHONE-791-0758

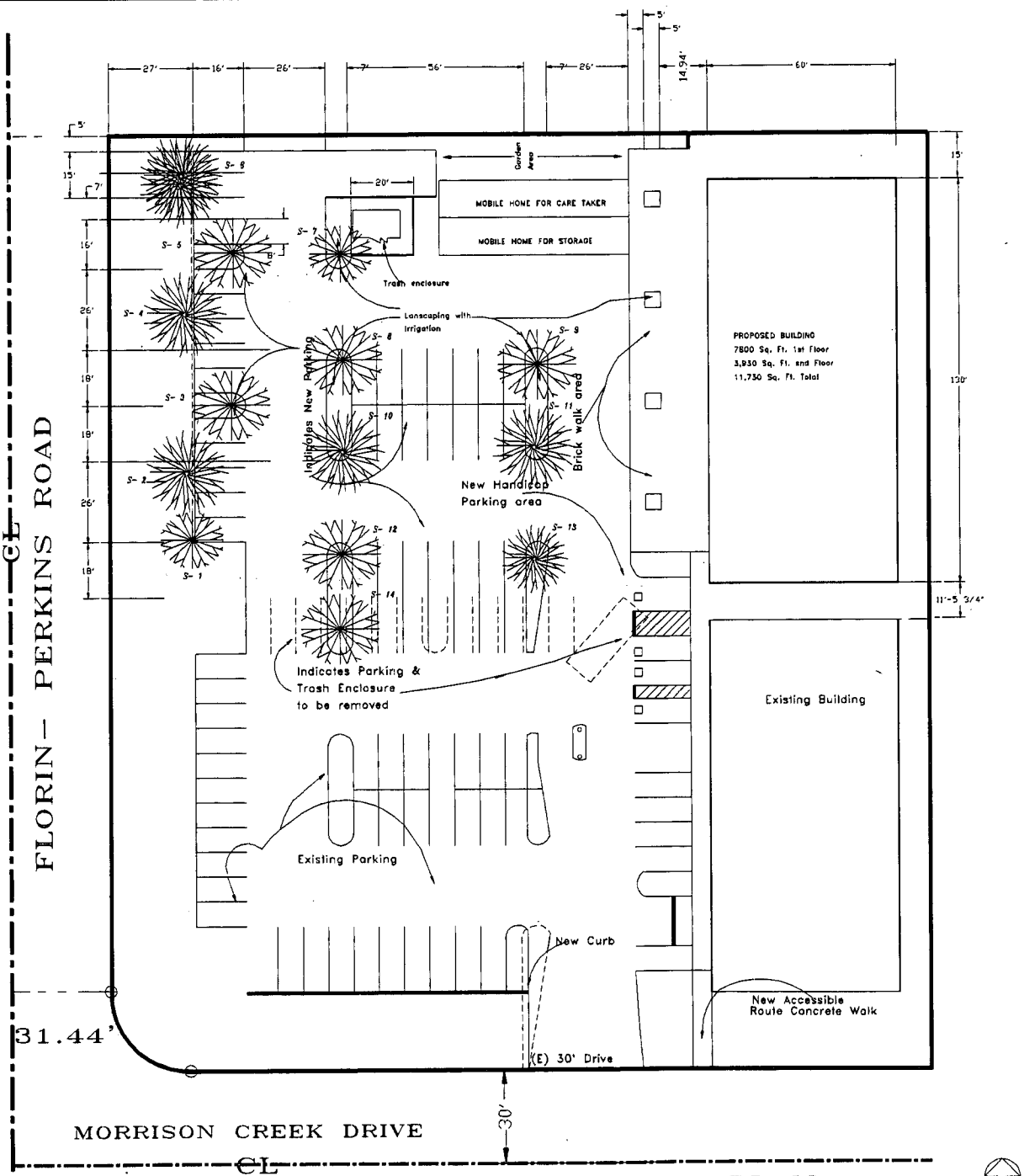
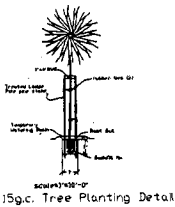
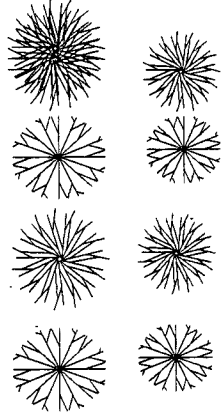


**EXHIBIT B**

**Shade tree schedule**

**Project Notes:**  
 Parking lot shade shall meet the min. 50% tree shade ratio in 15 years

S-1	Chloris Baccata	150al.	S-1
S-2	Chloris Baccata	150al.	S-1
S-3	Chloris Baccata	150al.	S-4
S-4	Valley Oak	150al.	S-4
S-5	Valley Oak	150al.	S-7
S-6	Chloris Baccata	150al.	S-8
S-7	Chloris Baccata	150al.	S-8
S-8	Chloris Baccata	150al.	S-8
S-9	Chloris Baccata	150al.	S-10
S-10	Chloris Baccata	150al.	S-11
S-11	Persea Baccata	150al.	S-12
S-12	Persea Baccata	150al.	S-13
S-13	Persea Baccata	150al.	S-14
S-14	Persea Baccata	150al.	S-14
S-15	Persea Baccata	150al.	S-14



RE-SUBMITTED  
 11-28-99

PROPERTY ADDRESS  
 8505 MORRSON CREEK DR.  
 SACRAMENTO, CA. 95828

CONTACT- / ANATOLE  
 PHONE-965-5879  
 PHONE-208-5879

CONTACT- ROBERT  
 PHONE-791-0758

**A.L.H. & ASSOCIATES**  
 8570 WINDING WAY  
 FAIR OAKS, CALIF. 95628  
 PHONE: 916-965-5879

DRAWN BY:  
 A. HULEWSKY  
 SCALE:  
 1"=20'-0"

**Z99-134**

Revised 12/15/99

Z99-134

January 12, 2000

ITEM 3

LANDSCAPING PLAN 1"=20'-0"





1997 UBC Chapter 23  
E320313 Bracing

Braced wall lines shall be of braced wall panels which meet the requirements for the location and local building codes. The type and amount of bracing is specified in Table E3-IV-D-1 and are in line or must be offset from each other by a minimum of 4 feet or (1219mm).  
Braced wall panels shall start at a maximum of 8 feet (2438mm) from each end of a braced wall line. The braced wall lines shall be clearly marked on the plans.  
1. The wood structural panel sheathing shall be no less than 5/16 inch (7.9mm) for 16-inch (406 mm) stud on center spacing and not less than 3/8 inch for 24-inches (610mm) stud spacing on center in accordance with Tables E3-II-A-1 and E3-IV-D-1.

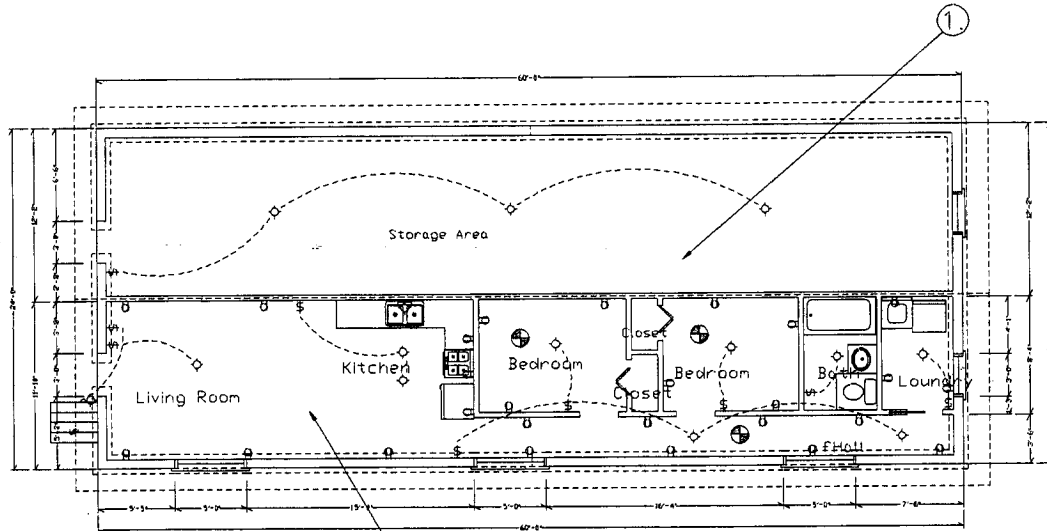
**E320314 Alternate braced wall panels:**

1. In 1-story buildings, each of the panels shall have a minimum length of no less than two (2) feet eight (8) inches (813mm) and a height of not more than ten feet (3048 mm). Each panel shall be sheathed on one face with a minimum of 3/8 thickness (9.5mm) plywood sheathing nailed with #8 common or galvanized box nails in accordance with Table E3-II-B-1 and blocked at all plywood edges. Two anchor bolts shall be installed in accordance with Section 1808.6. Shall be provided in each panel. Anchor bolts shall be placed at panel quarter points. Each panel end stud shall have a tie-down device fastened to the foundation, capable of providing an approved uplift capacity of minimum of 1,800 pounds (816.5 kg). The tie down device shall be installed according to manufacturer's recommendations. The panels shall be supported directly on a foundation which is continuous across the entire length of the braced wall line. This foundation must be reinforced with minimum of one No. 4 bar top and bottom.

**E320311 Wall Framing**

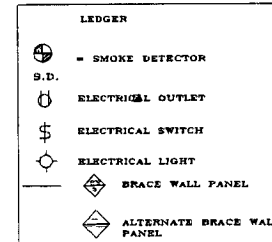
**E320311 Size, height and spacing**

The size, height and spacing of the studs shall be in accordance with Table E3-IV-B except Utility grade studs must be spaced at no less than a spacing of 16 inches (406 MM) on center, or support more than a roof and ceiling, or exceed 8 feet (2438 MM) in height for exterior walls. Load-bearing walls or 18 feet (5488 mm) for exterior non-load-bearing walls.  
E320312 Framing details.  
Studs shall be placed with their wide dimension 8 perpendicular to the wall. Please note that no less than three studs shall be installed @ each corner of an exterior wall.



LIVING AREA  
1440 sq ft

- NOTE:
- 1 - WALL TREATMENT AND FRAMING:  
EXTERIOR SIZE OF WALL TO BE ONE (1) INCH STEEL SYSTEM ON 1/2" (12.7mm) CENTER TO BE 2 1/2" (63.5mm) FOR 1/2" ON CENTER MAX. INSULATION TO BE R-19 BATT. WALL HEIGHT MAX. TO BE 10'0"
  - 2 - ALL FRAMING MATERIAL FOR INTERIOR WALLS TO BE 2x4 (50.8mm) OR 2x6 (50.8mm) CENTER WALL TREATMENT TO BE 1/2" (12.7mm) SPRAY POLYURETHANE CEILING TO BE SPACED ACCORDING TO LIGHT FIXTURES AND BATH AREA TO BE PARTIAL SCHEDULE 40. WALL HEIGHT 95 1/2"
  - 3 - ALL WOOD SHALL BE PREVIOUSLY TREATED OR KILN DRIED AND SHALL HAVE RESISTANCE TO ROT AND TERMITES.
  - 4 - CEILING INSULATION TO BE R-38 BATT'S PER I.C.
  - 5 - ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED ALL LOCAL AND NATIONAL BUILDING CODES & REGULATIONS.



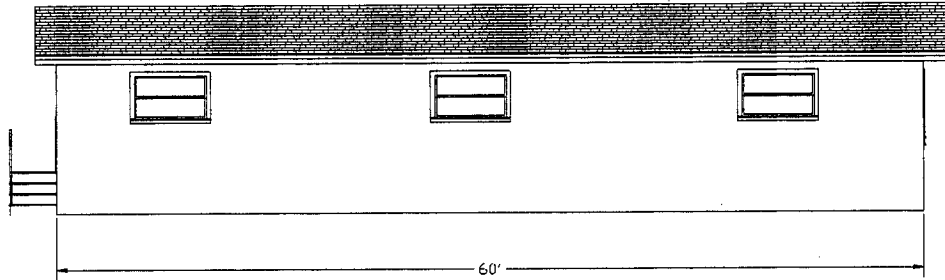
- KEY NOTES
1. Storage Area for gardening supplies and ground maintenance
  2. Caretaker's residence

SUBMITTED-DATE
PROJECT-NAME
COUNTY OF-
PHONE-
CONTACT-

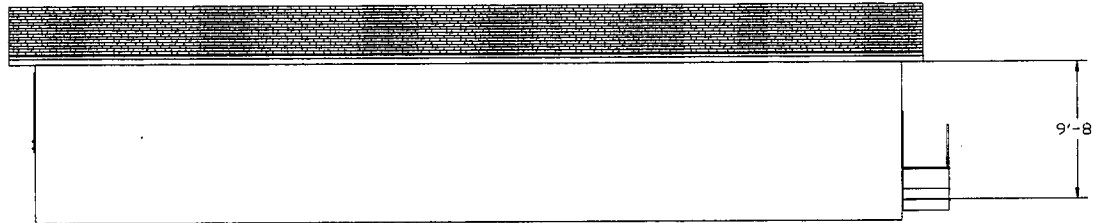
**Z99-134**  
Revised 12/15/99

**A.L.H. & ASSOCIATES**  
8570 WINDING WAY  
FAIR OAKS, CALIF. 95628  
PHONE: 916-965-6879

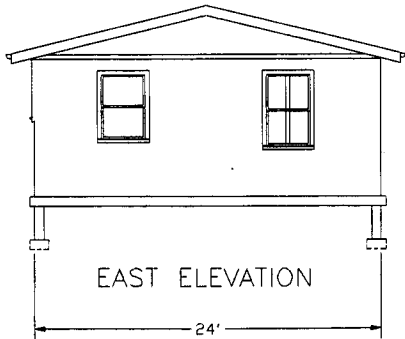
DRAWN BY:  
**A. HULEWSKY**  
SCALE:  
1/4"=1'-0"



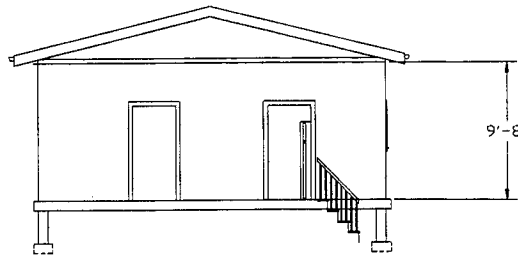
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

232011. Wall Framing:

232011.1 Size, height and spacing:

The size, height and spacing of the studs shall be in accordance with Table 23-1V-B except Utility grade studs must be spaced at no less than a spacing of 16 inches (406 MM) on center, or support more than a roof and ceiling or exceed 8 feet (2438 MM) in height for exterior walls load-bearing walls or 10 feet (3048 mm) for interior nonload-bearing walls.

232011.2 Framing details:

Studs shall be placed with their wide dimension @ perpendicular to the wall. Please note that no less than three studs shall be installed @ each corner of an exterior wall.

Z99-134

Revised 12/15/99

MOBILE HOME ELEVATIONS

SUBMITTED-DATE

PROJECT-NAME

COUNTY OF-

PHONE-

CONTACT-

A.L.H. & ASSOCIATES  
 8570 WINDING WAY  
 FAIR OAKS, CALIF. 95628  
 PHONE: 916-965-5879

DRAWN BY:  
 A. HULEWSKY  
 SCALE:  
 1/4"=1'-0"