

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Wednesday, July 2, 1997, the Zoning Administrator approved with conditions a special permit to allow additional office space exceeding the 25 percent allowed by right in the Heavy Industrial (M-2) zone for the project known as Z97-059. Findings of Fact and conditions of approval for the project are listed on pages 3 and 4.

Project Information

Request: Zoning Administrator Special Permit to exceed the maximum allowed 25 percent office space in the M-2 zone by allowing 74 percent (3,733 square feet) of office space within a 5,040 square foot building on 0.41± developed acres in the Heavy Industrial (M-2S) zone.

Location: 8140 37th Avenue (D6, Area 3)

Assessor's Parcel Number: 027-0360-009

Applicant: WEB Service Co., Inc. (Joseph Kophaldt) 8140 37th Avenue Sacramento, CA 95824	Property Owner: Same as applicant
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General Plan Designation: Heavy Commercial or Warehouse
South Sacramento

Community Plan Designation: Industrial

Existing Land Use of Site: Industrial

Existing Zoning of Site: Heavy Industrial, M-2S

Surrounding Land Use and Zoning:

North: M-2S; Warehouse/Industrial

South: M-2S; Warehouse/Industrial

East: M-2S; Warehouse/Industrial

West: M-2S; Warehouse/Industrial

Property Dimensions:	Irregular
Property Area:	0.41± acres
Parking Provided:	11 spaces
Parking Required:	9 spaces (1 space per 400 square feet office)

3 spaces (1 space per 500 square feet commercial)
Total: 12 spaces
Square Footage of Building: 5040 square feet
Height of Building: One Story, 16 feet
Exterior Building Materials: Concrete
Roof Materials: Framed Roof
Topography: Flat
Street Improvements: Existing
Utilities: Existing

Project Plans: See Exhibits A and B

Previous Files: None

Additional Information: The applicant proposes to remodel a single story 5,040 square foot office building on the site to provide additional office space. The existing building has 1,760 square feet of office now and will be remodeled to have 3,733 square feet of office. The applicant/owner operates a coin laundry machine business that has expanded. The business also owns the adjacent property to the west that contains all the warehouse facilities.

The Zoning Ordinance requires a Zoning Administrator's Special Permit when the office use in the M-2 zone exceeds 25 percent of the total building square footage and is less than 10,000 square feet. The proposed total office space in the remodeled structure is 74 percent of the total building square footage. The office space is required for the operation of the business.

The proposed site plan indicates there will be 11 parking spaces which is one less than required for the additional office space. The office area requires a total of nine parking spaces and the remaining commercial use requires three parking spaces. The site plan does not show any type of trash enclosure.

The project has been noticed and staff has received one call from the property owner to the south concerned that a new office use was locating at the site and his industrial use would create noise problems. He had no objections to the project after staff explained the proposal.

Environmental Determination

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15303(c)}.

Conditions of Approval

1. The applicant shall provide one additional striped parking space in the paved area in front of the building. The parking spaces shall be to City standards.
2. A trash enclosure (if one is to be provided) shall be indicated on the revised site plan submitted to the Building Division prior to issuance of building permits. The trash enclosures shall be located and built to the standards in the Zoning Ordinance. The enclosures shall provide adequate receptacles for recycling in accordance with the recycling requirements of the Zoning Ordinance.
3. Any further additions of structures for office use shall require an additional Special Permit.
4. Size and location of the office area shall conform to the plans submitted.
5. The applicant shall obtain all necessary building permits prior to commencing construction.

Findings of Fact:

1. The project, as conditioned, is based upon sound principles of land use in that the proposed office use within an existing industrial building that is compatible with the surrounding industrial and warehouse uses.
2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
 - a. adequate on-site parking and setbacks will be provided; and
 - b. the expanded area will be within an existing building.
3. The project is consistent with the General Plan and the South Sacramento Community Plan which designates the site Heavy Commercial or Warehouse and Industrial respectively.

Joy D. Patterson

Joy D. Patterson
Zoning Administrator

20%
No

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall

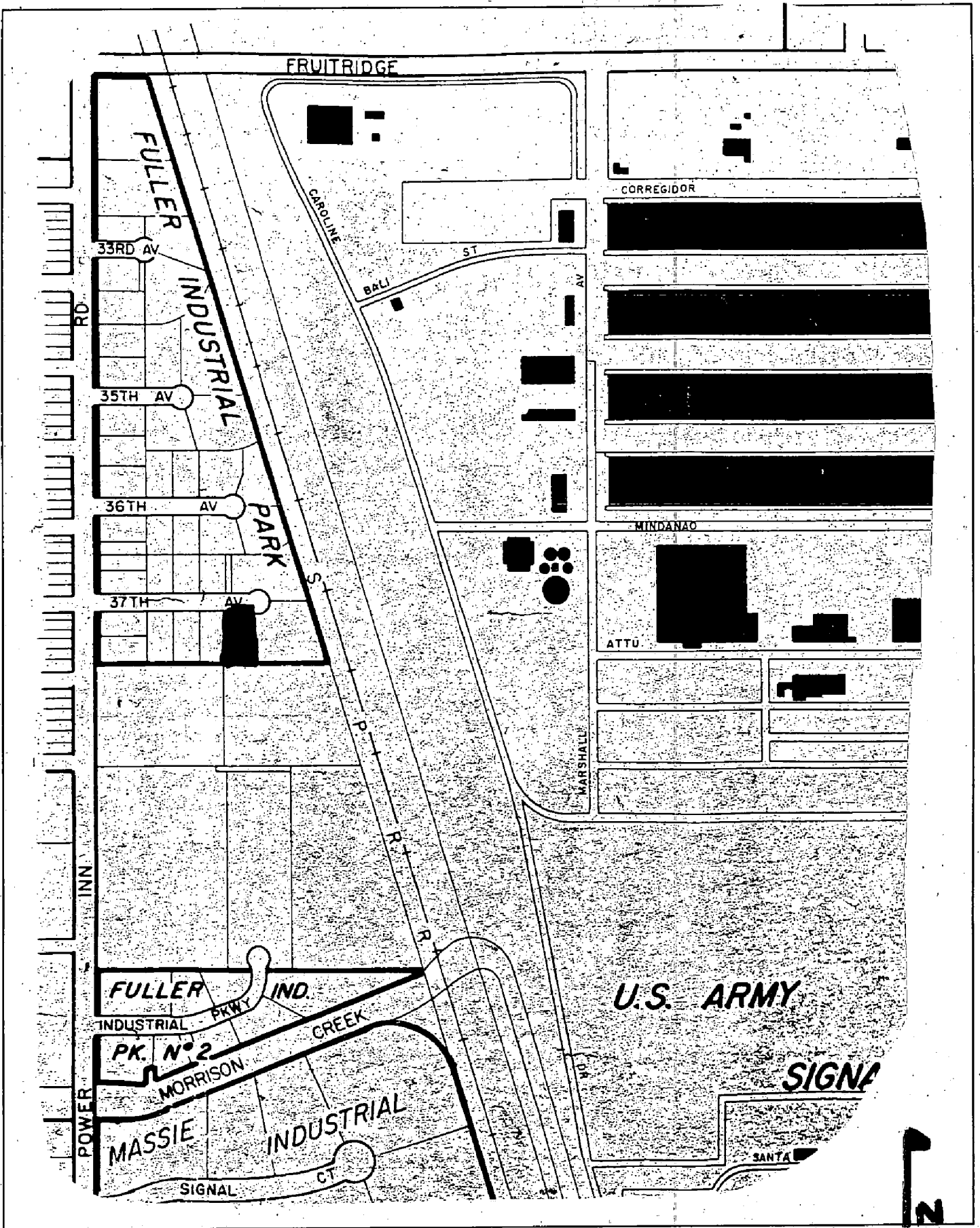
be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

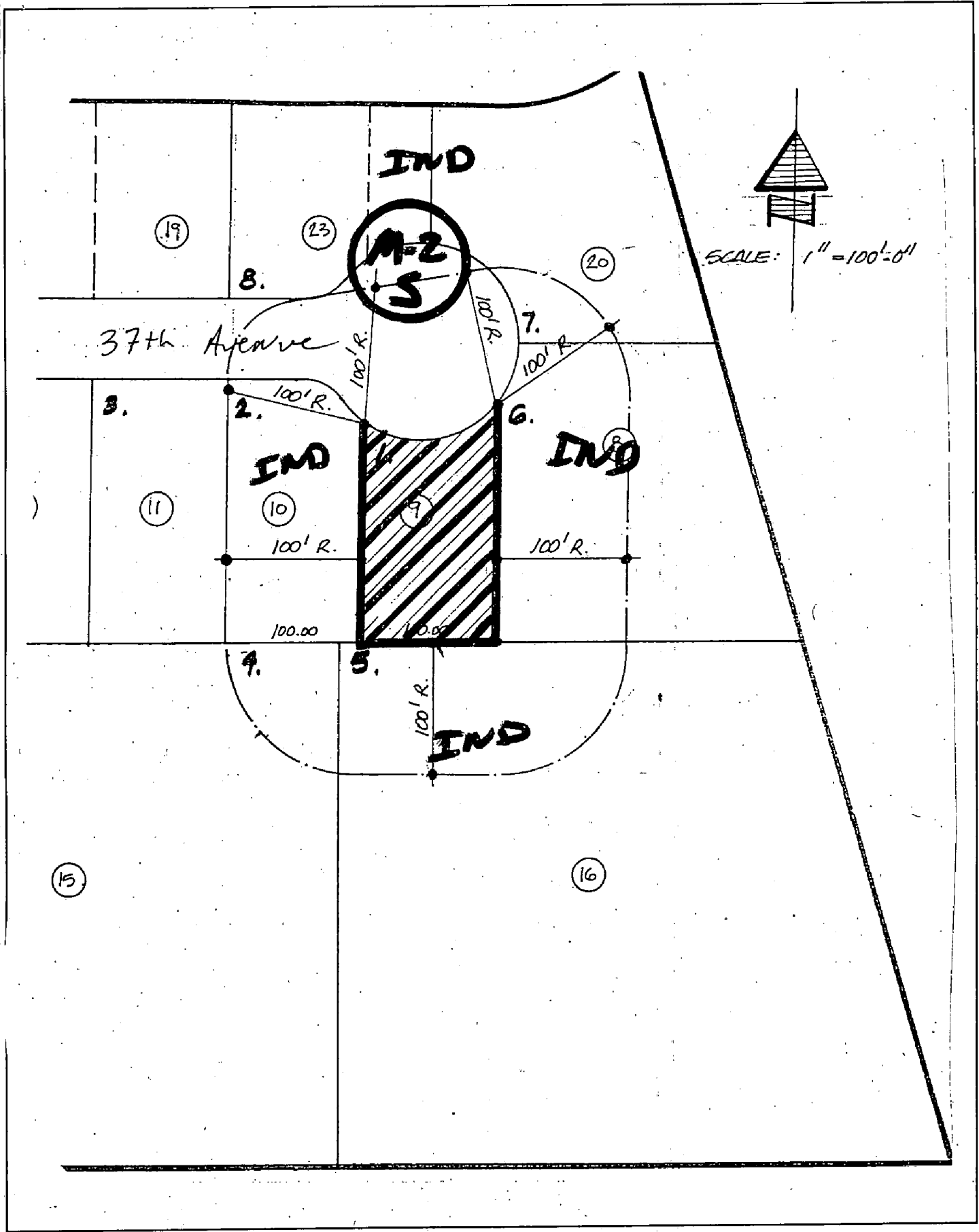
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Applicant

ZA Log Book



VICINITY MAP



LAND USE & ZONING MAP

297-059

JULY 2, 1997

ITEM 1

GENERAL CONSTRUCTION NOTES:

1. DISCLAIMER: THE PROJECT ARCHITECT OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY DISCREPANCY OR AMBIGUITY IN THE CALCULATIONS, DRAWINGS OR SPECIFICATIONS. THE PROJECT ARCHITECT OR ENGINEER HAS BEEN NOTIFIED, CORRECTED THE DISCREPANCY, MADE THE CALCULATION OR MORE CLEARLY EXPLAINED THE INTENT OF THE CALCULATIONS, DRAWINGS OR SPECIFICATIONS.
2. ALL NEW CONSTRUCTION SHALL CONFORM TO THE LOCAL BUILDING CODES AND ORDINANCES AS PER LOCAL REQUIREMENTS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND ALSO RESOLVE ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.
4. ALL DIMENSIONS ARE TO CENTER OR OUTSIDE OF ROOM STUD LINES. DIMENSION SHALL TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND RESOLVE ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
5. PROVIDE A MECHANICAL VENTILATION SYSTEM FOR ALL MASH-TABLE AREAS SURROUNDING A MINIMUM OF 2.0 FPM OF OUTSIDE AIR WITH A TOTAL CIRCULATION OF NOT LESS THAN 5 CFM PER OCCUPANT.
6. PROVIDE NATURAL LIGHTING FOR ALL HABITABLE AREAS WHICH HAVE LESS THAN ONE-TENTH (0.1) OF THE TOTAL FLOOR AREA OF NATURAL LIGHT PROVIDED.
7. ALL WALLS AND PARTITIONS SHALL BE EFFECTIVELY FIRE STOPPED WITH 2" MINIMUM THICKNESS OF GYPSUM BOARD AT FLOOR, CEILING AND BETWEEN FLOORS AND CEILING AT 2' INTERVALS NOT TO EXCEED 8'-0" VERTICALLY. AT PARTY WALLS PROVIDE DISTANCES OF 2'-0" IN THE HORIZONTAL DIMENSION (SECTION 201.11).
8. THE INTERIOR WALL AND CEILING FINISHES SHOULD COMPLY WITH TABLE NO. 42-B AND SECTION 4205.
9. PROVIDE DUAL SWITCH LIGHTING WHERE REQUIRED BY CODE.
10. SEE ORIGINAL PLANS FOR ALL DETAILS AND SPECIFICATIONS NOT SHOWN ON THIS PLAN.
11. ALL ALUMINUM FINISHES AND CONSTRUCTION TO BE SAME AS EXISTING UNLESS NOTED OTHERWISE.
12. EXISTING AND NEW DOORS TO CORRIDORS SHALL BE 30 MIN. LABEL ASSEMBLY WITH SELF-CLOSURE TO MATCH.
13. WALL AND CEILING FINISHES SHALL MEET CLASS II REQUIREMENTS FOR MIN. PLANE SPREAD PER CHAPTER 42, 402 U.B.C.
14. ALL GLASS SHALL BE OF THE QUALITY TYPE, SIZE AND THICKNESS CONFORMING TO CHAPTER 24 OF 1993 U.B.C. (GLASS WITHIN 10' OF A DOOR SHALL COMPLY WITH SECTION 2404).
15. PROVIDE APPROVED FIRE DAMPERS ON HVAC DUCTWORK WHERE REQUIRED BY CODE.
16. ALL SIGNAGE SHALL BE ON A SEPARATE PERMIT.
17. THE SPRINKLER SYSTEM IS PART OF THIS VALUATION.

SUSPENDED CEILING SYSTEM NOTES:

- SUSPENDED CEILING FRAMING SYSTEMS SHALL BE DESIGNED TO RESIST A LATERAL FORCE OF ONE PERCENT OF THE CEILING WEIGHT AND ANY LOADS INDIARY TO THE SYSTEM. FOR PURPOSES OF DETERMINING THE LATERAL FORCE, MINIMUM CEILING HEIGHT OF 8' 0" SHOULD BE USED.
- IF CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND THERE ARE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING DESIGN METHOD MAY BE EMPLOYED:
- A. THE LATERAL FORCE HAVING BEEN PROVIDED BY EACH MEMBER WITHIN 10' TO BE AVOIDED IN FOUR DIRECTIONS AND 40 POUNDS PER SQUARE FOOT TO THE MAIN RAFTERS WITHIN 2' OF THE CROWBAR AND TO THE CEILING. THESE LATERAL SUPPORT POINTS SHALL BE PLACED 12" O.C. IN EACH DIRECTION WITH THE FLOOR EACH MEMBER.
- B. ALLOWANCE SHALL BE MADE FOR LATERAL MOVEMENT OF THE SYSTEM. MAIN RIBBERS AND CROSS RIBBERS MAY BE ATTACHED AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RIBBER MAINTAINED AT THE OTHER TWO WALLS.
- C. VERTICAL SUPPORT SHALL BE PROVIDED AS REQUIRED IN CHAPTER 47 WITH THE ADDED REQUIREMENT THAT DISCONTINUED ENDS OF CROSS RIBBERS AND MAIN RIBBERS BE VERTICALLY SUPPORTED WITHIN 8' OF SUCH DISCONTINUITIES AS MAY OCCUR WHERE THE CEILING IS DISRUPTED BY A WALL.
- D. LIGHTING FIXTURES AND AIR DIFFUSERS SHALL BE SUPPORTED DIRECTLY BY MEMBERS TO THE STRUCTURE ABOVE.
- EXCEPTION: (1) RECESSED LIGHTING FIXTURES NOT OVER 24" IN HEIGHT, AND SUSPENDED AND PENDENT HANG FIXTURES NOT DIRECTLY TO THE CEILING SYSTEM SUPPORTED BY A POSITIVE ATTACHMENT SUCH AS SCREWS OR BOLTS.
- (2) AIR DIFFUSERS WHICH WEIGH NOT MORE THAN 30 LBS. AND WHICH RECEIVE NO THERMAL LOADS FROM DUCT WORK MAY BE POSITIVELY ATTACHED TO AND SUPPORTED BY THE CEILING RIBBERS.
- THE ABOVE REQUIREMENTS ARE INTENDED TO BE IDENTICAL TO THOSE CURRENTLY ENFORCED BY THE CITY OF LOS ANGELES, U.S.G. STANDARD 4146 (1976 CODE) AS AN ACCEPTABLE DESIGN METHOD. OTHER METHODS MAY BE USED PROVIDED THEY ARE SUBSTANTIATED BY DESIGN CALCULATIONS USING THE LOADS SPECIFIED IN CHAPTER 23.

ACCESSIBILITY NOTES



DIMENSIONS FOR WHEELCHAIRS

WHEELCHAIRS

ALTHOUGH THERE ARE VARIOUS SIZES AND TYPES OF WHEELCHAIRS, AN ADULT WHEELCHAIR IS AROUND 27 INCHES HIGH AND 42 INCHES LONG. THE LAP OF A PERSON SEATED IN THE CHAIR IS APPROXIMATELY 21 INCHES HIGH. THE ARMREST IS APPROXIMATELY 24 IN. HIGH, AND THE HANDLE IS 56 INCHES HIGH.

SIZE AND APPROACH

THE MINIMUM CLEAR SPACE REQUIRED TO ACCOMMODATE A SINGLE STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES WIDE BY 48 INCHES LONG. THE MINIMUM CLEAR SPACE MAY BE PROVIDED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT AND MAY INCLUDE PART OF THE CLEAR SPACE REQUIRED UNDER SOME OBJECTS.

TURN AROUND SPACE

A WHEELCHAIR REQUIRES A CLEAR SPACE 27 INCHES HIGH AND 60 INCHES IN DIAMETER, OR 21 INCHES HIGH AND 36 INCHES BY 60 INCHES TO DO A 180 DEGREE TO 360 DEGREE TURN.

MANEUVERING SPACE

ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR SPACE FOR A WHEELCHAIR IS REQUIRED TO ADJUST OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR SPACE. IF THE CLEAR SPACE IS LOCATED IN AN ALLEVE OR CORNER ON ALL OR PART OF THREE SIDES, ADDITIONAL SPACE MAY BE REQUIRED. AN ADDITIONAL 18 INCHES IS REQUIRED FOR A FRONT APPROACH ALLOVE IF IT IS MORE THAN 24 INCHES DEEP. AN ADDITIONAL 18 INCHES IS REQUIRED FOR A SIDE APPROACH ALLOVE IF IT IS MORE THAN 18 INCHES DEEP.

MIN FORWARD REACH

IF THE CLEAR SPACE ONLY ALLOWS A FORWARD APPROACH TO AN OBJECT, THE MAXIMUM MIN FORWARD REACH ALLOWED IS 40 INCHES. IF THE FORWARD REACH IS TO A CONTROL, SWITCH, OR A CREEK OR CONTROL (WITHOUT CABINETS), AND THE OBSTRUCTION IS 30 TO 28 INCHES DEEP, THE ALLOWABLE REACH SHALL BE LOWERED TO 44 INCHES.

SIDE REACH

IF THE CLEAR SPACE ALLOWS A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM SIDE REACH ALLOWED IS 34 INCHES AND THE LOW SIDE REACH IS REQUIRED TO BE NO LESS THAN 4 INCHES ABOVE THE FLOOR. IF THE SIDE REACH IS OVER AN OBSTRUCTION SUCH AS A COUNTER, THE ALLOWABLE SIDE REACH SHALL BE LOWERED TO 40 INCHES.

DOORS AND HARDWARE

DOORS

ENTRANCES: ALL PRIMARY ENTRANCES TO BUILDINGS AND FACILITIES ARE REQUIRED TO BE MADE ACCESSIBLE. A PRIMARY ENTRANCE IS DEFINED AS "ANY ENTRANCE TO A FACILITY WHICH HAS A SUBSTANTIAL FLOOR OF PRECEDENCE TO ANY OTHER MAJOR PORTION OF THE FACILITY". RELOCATING DOORS CAN NOT BE USED AS A REQUIRED ENTRANCE FOR THE HANDICAPPED. RELOCATED ENTRANCES ARE REQUIRED TO BE ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAVEL.

DOOR HEIGHTS AND HEIGHTS: REQUIRED DOOR HEIGHTS ARE REQUIRED TO HAVE A CLEAR OPENING NOT LESS THAN 80 INCHES HIGH. FOR HINGED DOORS, THE OPENING IS MEASURED WITH THE DOOR AT A 90 DEGREE ANGLE FROM ITS CLOSED POSITION. AT LEAST ONE OF A PAIR OF DOORS, INCLUDING AUTOMATIC DOORS, MUST PROVIDE THE 80 INCH CLEAR OPENING. DOOR HEIGHTS ARE REQUIRED TO BE A MINIMUM OF 80 INCHES.

CONSTRUCTION: THE BOTTOM 10 INCHES OF DOORS EXCEPT ALUMINUM AND FIBER DOORS ARE REQUIRED TO HAVE A SMOOTH UNTEXTURED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

HARDWARE

HARDWARE: HAND ACTIVATED DOOR OPENING HARDWARE IS REQUIRED TO BE CENTERED BETWEEN 30 AND 44 INCHES HIGH. LATCHES AND LOCKS WHICH ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL ARE REQUIRED TO HAVE A SMOOTH SURFACE WITH LEVER TYPE HARDWARE. BY PANELED, DOUBLE AND TRIPLE DOORS ARE REQUIRED TO HAVE A SMOOTH SURFACE TO PROVIDE PASSAGE WITHOUT REDUCING THE ABILITY TO OPERATE AS DESCRIBED ABOVE IN THE DIRECTION OF TRAVEL.

CLOSERS: THE HAZARD EFFORT TO OPERATE DOORS CANNOT EXCEED 8.5 POUNDS FOR EXTENSION DOORS AND 5 POUNDS FOR INTERIOR DOORS. REQUIRED POWER DOORS MAY REQUIRE UP TO 15 POUND EFFORT. THE EFFORT IS TO BE MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. DOORS WITH AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE REQUIREMENTS.

THRESHOLDS: THRESHOLDS ARE REQUIRED TO BE NO HIGHER THAN 1/2 INCH HIGH. BEVEL OR SLOPE THE EXPOSED EDGE AT AN ANGLE NOT EXCEEDING 45 DEGREES SO THAT NO SINGLE VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4 INCH.

CORRIDORS AND AISLES

CORRIDORS

HEALTH CORRIDORS SERVING AN OCCUPANT LOAD OF TEN OR MORE ARE REQUIRED TO BE A MINIMUM 44 INCHES WIDE.

AISSLES

HEALTH AISLES ARE REQUIRED TO BE NOT LESS THAN 6 FEET WIDE IF SERVING ONLY ONE SIDE AND NOT LESS THAN 8 FEET 6 INCHES IF SERVING BOTH SIDES. THE WIDTH SHALL BE INCREASED BY 1/2 INCH PER EACH 5 FEET IN LENGTH TOWARD THE END. CROSS AISLES OR FOYER NON-FLOOR HEATING AREAS. A MINIMUM AISLE WIDTH OF 36 INCHES IS REQUIRED FOR WHEELCHAIR PASSAGE.

PROTRUDING OBJECTS

OBJECTS WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 60 INCHES FROM THE FLOOR CAN NOT PROTRUDE MORE THAN 4 INCHES INTO WALLS, HALLS, CORRIDORS, PASSAGeways OR AISLES. OBJECTS WITH THEIR LEADING EDGES WITHIN 27 INCHES OF THE FLOOR MAY PROTRUDE ANY DISTANCE, BUT MAY NOT REDUCE THE REQUIRED CLEAR SPACE OR HORIZONTAL SPACE FOR A WHEELCHAIR. FREE STANDING OBJECTS MOUNTED ON POSTS OR PILES MAY OVERHANG 12 INCHES FROM 27 INCHES TO 60 INCHES ABOVE THE FLOOR.

HEADROOM: 80 INCHES CLEAR IS REQUIRED FOR HEAD ROOM IN WALLS, HALLS, CORRIDORS, PASSAGeways, AISLES AND OTHER CIRCULATION SPACES.

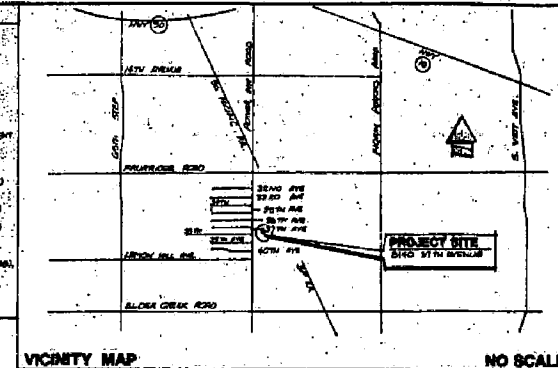
CONTROLS, SWITCHES AND OUTLETS

NEW CONSTRUCTION

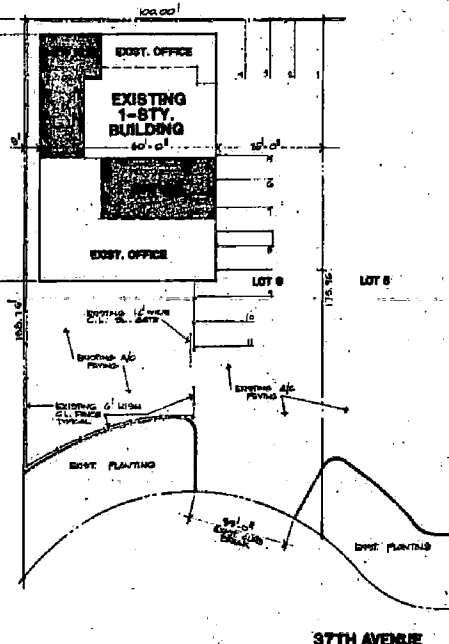
HANDILY OPERATED SWITCHES AND CONTROLS FOR LIGHTS, POWER, HEAT, VENTILATION, SHUTTERS, DOORS AND BY-LINE CONTROLS OF OPERATED AND ESSENTIAL USE ARE TO BE CENTERED BETWEEN 50 INCHES AND 48 INCHES FROM THE FLOOR. ELECTRICAL CONVENIENCE WALL OUTLETS ARE TO BE CENTERED A MINIMUM 15 INCHES FROM THE FLOOR. ELECTRICAL CONVENIENCE FLOOR OUTLETS AND BANDING ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS OR HOOK WALLS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.

SYMBOL LEGEND

- ⊗ NEW RECESSED FLOURESCENT LIGHT FIXTURE (ON WATER HARDWARE)
 - ⊕ BANDING INDICATOR (IN OR OUTSIDE)
 - ⊖ NEW RELOCATED OUTLET OR SWITCH BOX (ON NEW EXISTING)
 - ⊙ NEW TELEPHONE OUTLET (NON-POWER)
 - ⊚ NEW HALL SWITCH (NO TO 2' MAX. R-RELOCATED)
 - ⊛ EXISTING PARTITION
 - ⊜ NEW PARTITION
 - ⊝ REMOVE PARTITION
 - ⊞ NEW LATCH BOX
 - ⊟ NEW RETURN AIR GRILLE (RE-EXISTING, R-RELOCATED)
 - ⊠ NEW SUPPLY AIR GRILLE (RE-EXISTING, R-RELOCATED)
 - ⊡ NEW THERMOSTAT (RE-EXISTING, R-RELOCATED)
 - ⊢ EXISTING FIRE ALARM DEVICE (R-RELOCATED, R-RELOCATED)
 - ⊣ EXISTING DOOR TO BE REMOVED OR RELOCATED
- DOORS AND WINDOWS**
- ① EXISTING 30" WIDE x 80" DOOR TO REMAIN
 - ② REMOVE EXISTING DOOR AND REPLACE WITH 30" x 80" STUD AT 10' O.C.
 - ③ 36" WIDE STEEL VULF DOOR
 - ④ 48" x 80" 1/2" MIN. STEEL DOOR | FRAME
 - ⑤ NEW 30" x 80" x 1 1/2" GLASS DOOR WITH EXISTING LABEL WITH SELF-CLOSURE
 - ⑥ 30" GLASS WINDOW 1/2" MIN. FRAME & SECURITY
 - ⑦ 36" GLASS WINDOW 1/2" MIN. FRAME & SECURITY



VICINITY MAP NO SCALE



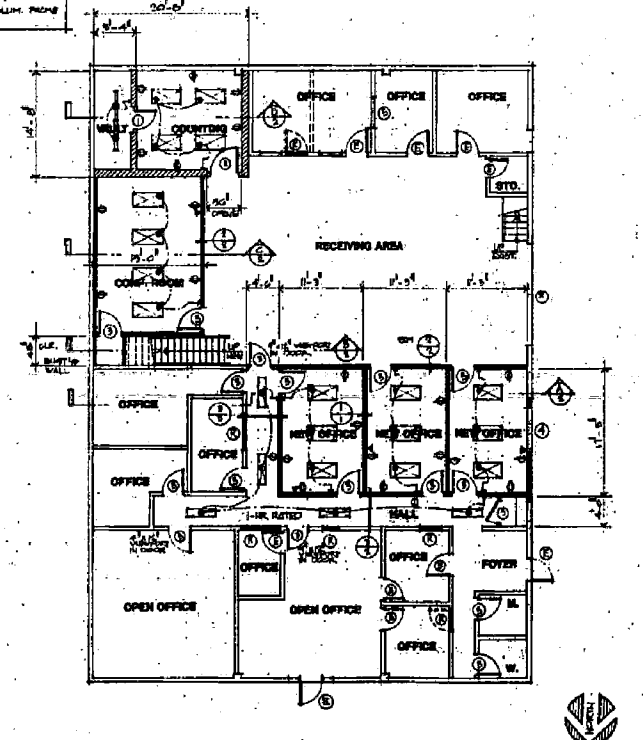
SITE PLAN

EXISTING 1-STY. BLDG. 60' x 100' 11' 0"

EXISTING OFFICE AREA 11' 0" x 11' 0"

NEW OFFICE BLDG. 11' 0" x 11' 0"

SCALE: 1" = 10' 0"



FLOOR PLAN

SCALE: 1" = 8' 0"

EXHIBIT - A
 AN OFFICE REMODEL FOR THE SERVICE BOARD OF LOS ANGELES
 3700 37TH AVENUE, ALHAMBRA, CALIF. 91803
 TYPED BY: [Name]
 DATE: [Date]
 DRAWN BY: [Name]
 DATE: [Date]

