

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Frank T. Oley, 1804 Tribute Road, Suite K, Sacramento, CA 95815
OWNER Cal-American Income Property Fund, 2029 Century Pk East, #960, Los Angeles, 90067
PLANS BY Carl Karcher Enterprises, PO Box 4999, Anaheim, CA 92803
FILING DATE 7/28/89 ENVIR. DET. Neg. Dec. REPORT BY CAS
ASSESSOR'S PCL. NO.: 079-0160-002

APPLICATION:

- A. Negative Declaration
- B. Special Permit for a drive-through service facility in conjunction with a 3,516+ square foot restaurant on a 0.94+ acre southeast portion of 11.2+ developed acres in the General Commercial (C-2) zone.

LOCATION:

North side of Folsom Boulevard, 200'+ west of Julliard Avenue

PROPOSAL:

The applicant is requesting the necessary entitlements to construct a 3,516+ square foot fast food restaurant with 97 seats and a drive-up service window.

PROJECT INFORMATION:

General Plan Designation: Community/Neighborhood Commercial and Offices
Existing Zoning of Site: C-2, General Commercial
Existing Land Use of Site: Shopping Center

Surrounding Land Use and Zoning:

		Setbacks	Required	Provided
North:	Residential, R-1 and R-3	Front:	50'	62'
South:	Commercial, M-2S	Side(Int):	0'	existing
East:	Commercial, C-2	Side(St):	5'	existing
West:	Commercial, C-2	Rear:	15'	existing

Seating: 97 seats
Parking Required: 32 spaces
Parking Provided: 41 spaces
Property Dimensions: Irregular
Property Area: 11.2+ acres
Square Footage of Building: 3,516+ square foot
Height of Building: 17'
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Stucco
Roof Material: Shingle or tile

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 11.2+ developed acres in the General Commercial (C-2) zone. The General Plan designates the site Community/Neighborhood Commercial and Offices. The surrounding land use and zoning is Residential, zoned R-1 and R-3 to the north; Commercial, zoned M-2S to the south; and Commercial, zoned C-2 to the east and west.

B. Applicant's Proposal

The applicant is proposing to construct a 3,516+ square foot Carl's Jr. restaurant with 97 seats and a drive-through service facility. The 0.94+ acre restaurant site is in the southeast corner of the 11.2+ acre parcel (see Exhibit D). To accommodate a 97 seat restaurant, 32 parking spaces are required. The applicant has proposed 41 spaces. The applicant has agreed to use a 6" high continuous concrete curb which incorporates the 2 foot vehicle overhang into a one foot wider landscape area and a one foot wider maneuvering area. On the north side of the restaurant, the one foot landscape area will be used for a planter along the north wall of the restaurant.

C. Staff Analysis

1. Landscaping

Landscaping shall be designed to conform to the 50% in 15 year parking lot tree shading requirement. Each of the landscaped areas should have living ground cover, not bark mulch, and they shall be irrigated and maintained.

2. Building Design

The exterior building is stucco and the roof is shingle or tile. The exterior building colors are cream, yellow, red and tan. The applicant has agreed to add attached awnings, similar to the ones already proposed for the south and east sides, to improve the design of the north and west elevations. The roof top equipment will be screened by the parapet roof. This screening is particularly important because of the drop in grade from adjacent Folsom Boulevard to the restaurant site.

3. Signs

Two attached signs are planned, one each on the south and east elevations. A monument sign, not taller than 9 feet, will be allowed at the driveway cut (see Exhibit A). No pole sign will be allowed. No corporate name or logo will be allowed on instructional or directional signs. The monument sign height would be the same height as required for the service station to the east.

4. Trash Enclosure

The trash enclosure located on the site must meet the requirements of the City Zoning Ordinance. The applicant plans to screen the transformer pad with landscaping.

5. Drive-Through Service Facility

One drive-up window is planned. The drive-through service facility meets the guidelines outlined in the Zoning Ordinance.

6. Tentative Map

When a tentative map is requested, the parcel described should include all parking, landscaped areas, and setbacks applicable to the use on the site.

Inspections, Water and Sewer, and Waste Removal. The following comments were received:

1. Traffic

- a. Parking lot maneuvering depth is 26', however minimum stall length is 18'.
- b. May require reciprocal access easements.

2. Engineering

Drainage pipes currently exist traversing the large parking lot in front of Raley's and also parallel to Folsom Blvd. Exact locations should be plotted on site plan and relocated if necessary. Water mains do not exist in Folsom Blvd. adjacent to the site. Water main will have to be extended to satisfaction of the Water Division for Building Permit and proposed Parcel Map. Sewer Services shall be obtained to satisfaction of County Sanitation District.

3. Waste Removal

Trash enclosure accessibility looks good.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project, as proposed, will not have a significant impact on the environment and has filed a negative declaration.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration.
- B. Approve the Special Permit for a drive-through service facility in conjunction with a 3,516⁺ restaurant subject to the conditions and based upon the findings of fact which follow: *sq. ft.*

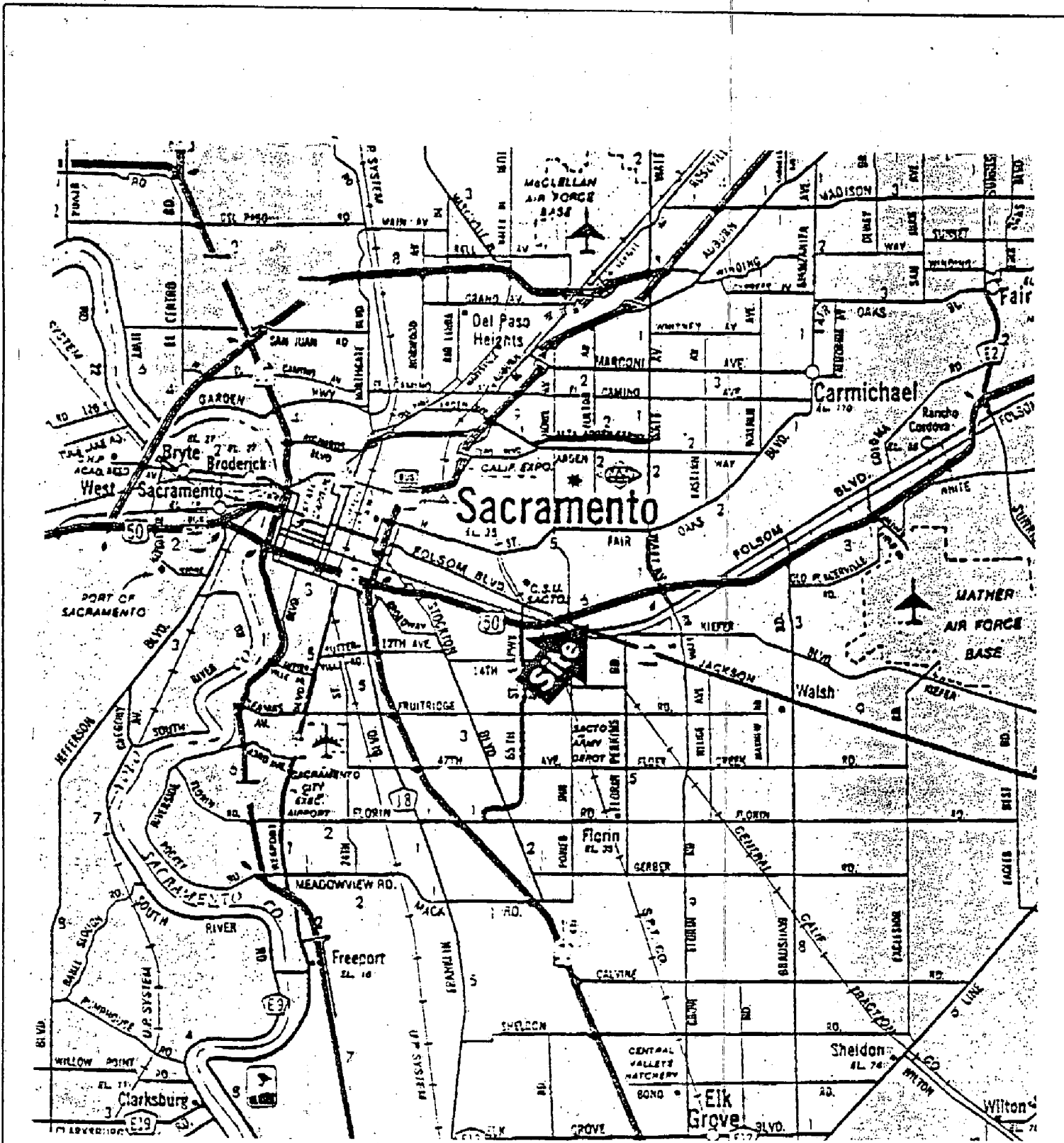
Conditions:

1. The landscape plan and parking design shall comply with the Tree Shading Ordinance.
2. A detailed landscape-irrigation plan indicating groundcover, shrubs and trees, (not bark mulch) shall be submitted to the Planning Director prior to issuance of building permits.
3. No prefabricated wheel stops shall be allowed along the periphery parking spaces. The 2 feet created by using continuous concrete curbs shall be divided equally between an increased landscaped area and increased maneuvering area.
4. Awnings shall be attached to all four sides of the building to enhance the design of the north and west walls.

- a. no pole sign shall be allowed.
 - b. no corporate name or logo shall be included on directional or informational signs, and
 - c. no monument sign taller than 9 feet shall be allowed.
6. The trash enclosure must meet requirements in the Zoning Ordinance.
 7. The project shall be developed as shown on the submitted plans and subject to the above conditions.

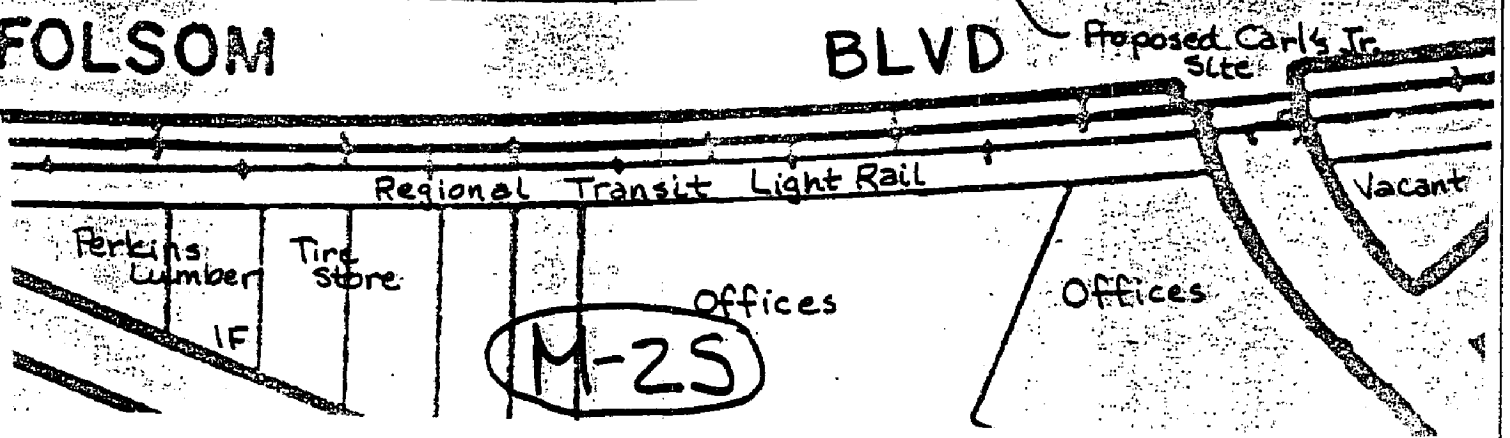
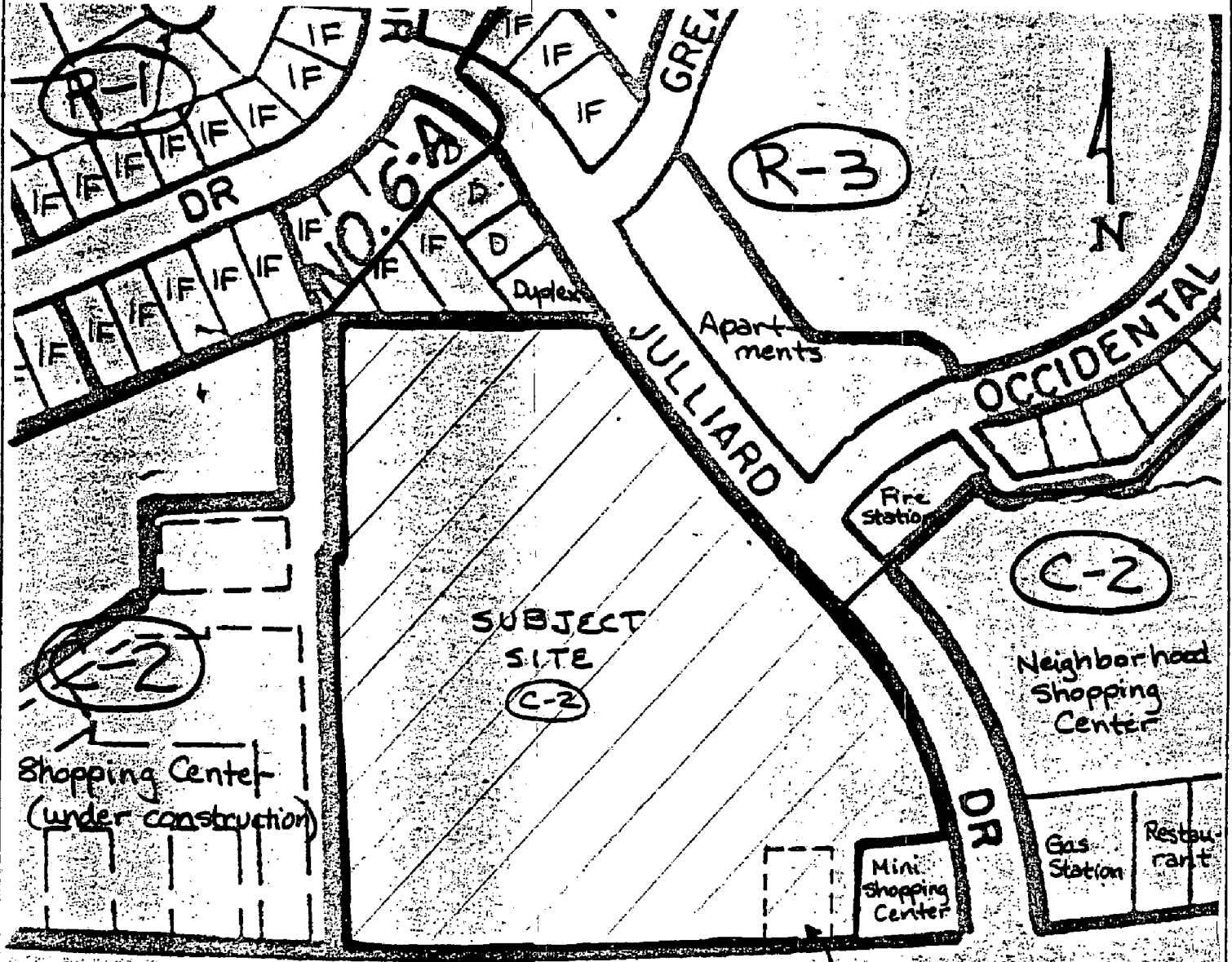
Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that the project is a commercial use in a commercial zone.
2. The project will not be detrimental to the public health or safety in that:
 - a. adequate on-site parking and landscaping is provided, and
 - b. the building design is compatible with the existing shopping center.
3. The project is consistent with the General Plan which designates the site as Community/Neighborhood Commercial and Offices.



02613


VICINITY MAP



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LAND USE & ZONING MAP

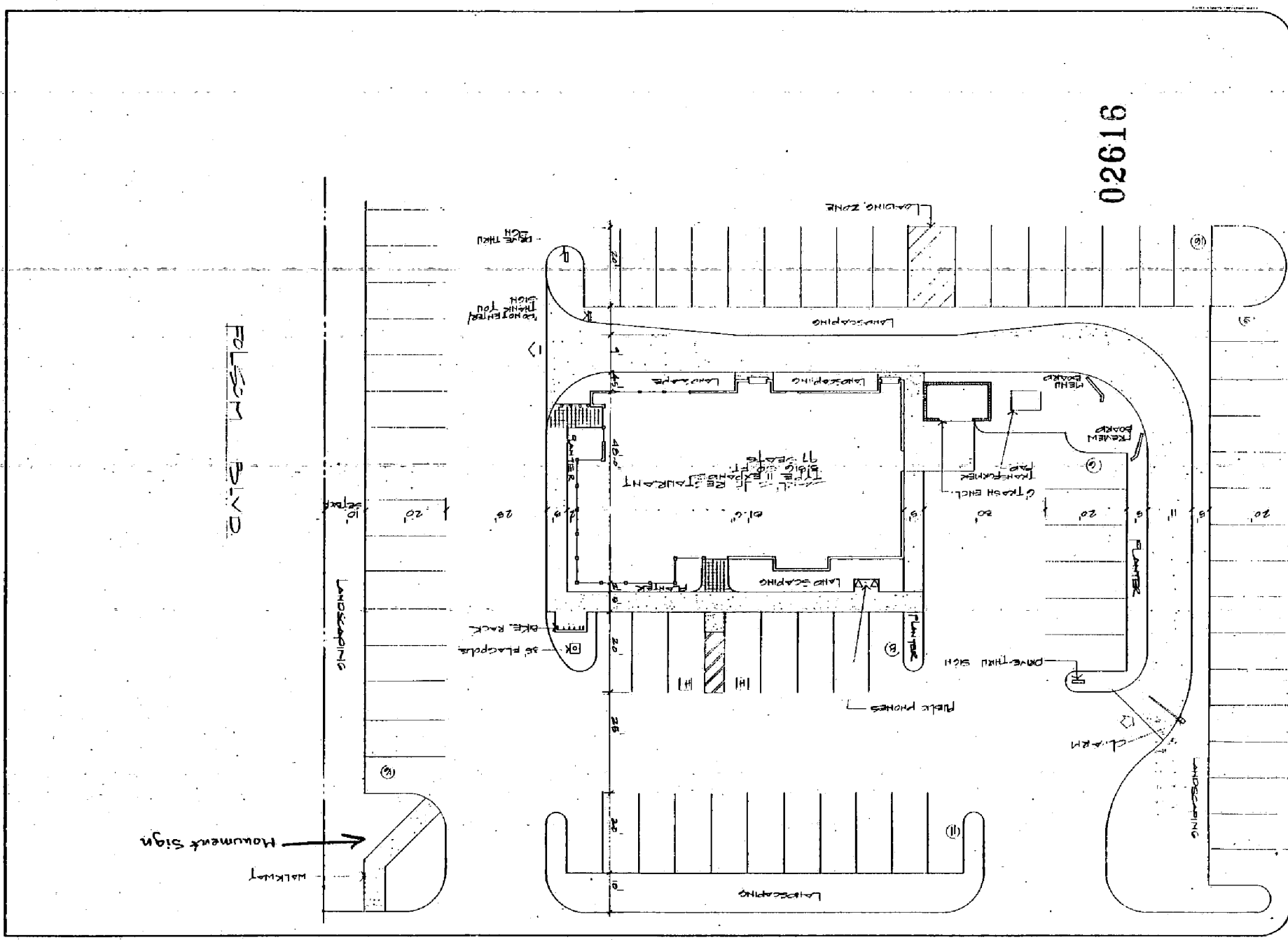
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Scale	1" = 10'
Drawn by	TC



Carls Jr.
Sacramento, CA

SITE PLAN

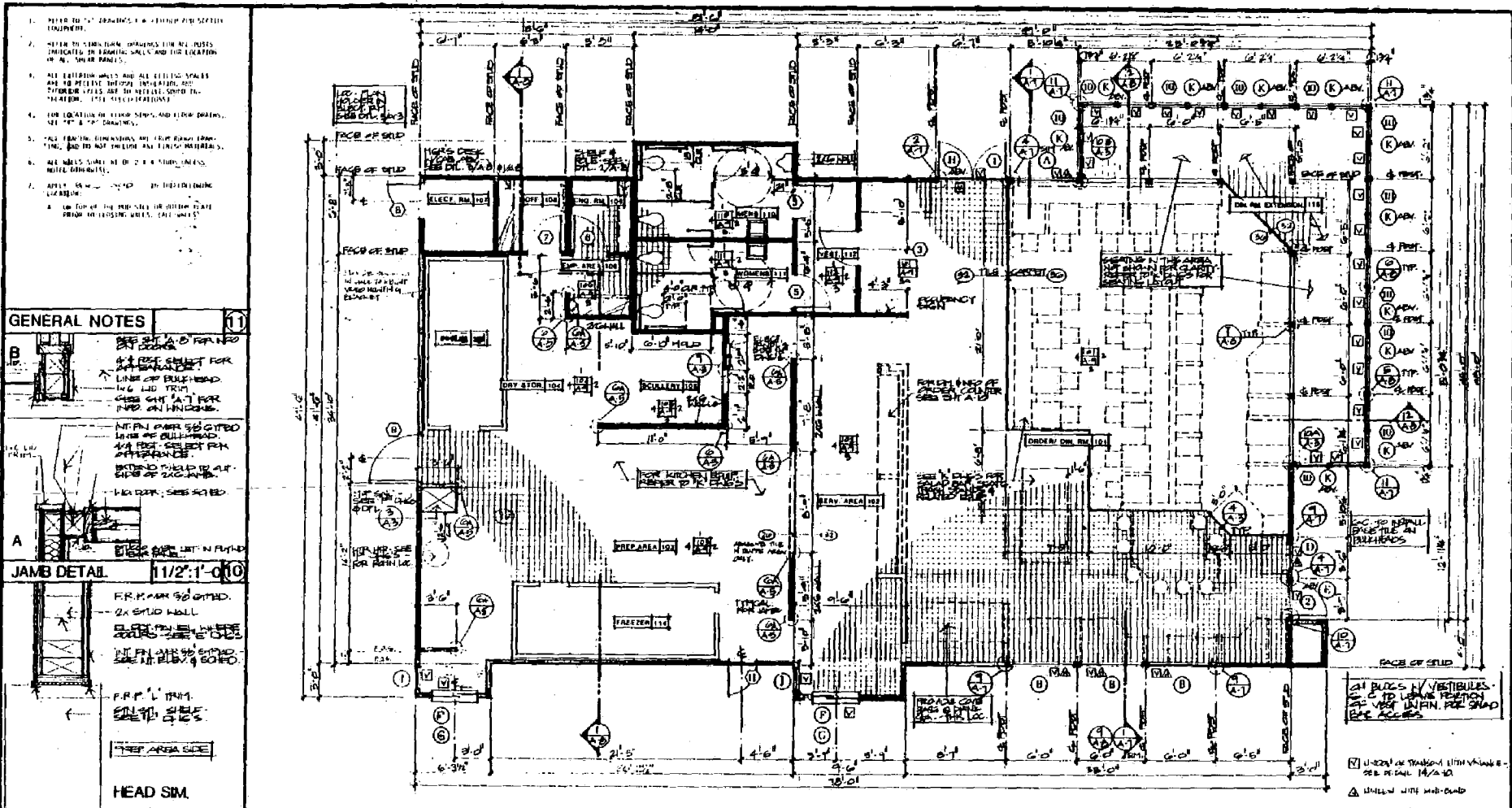
NO.	REVISION	DATE	BY



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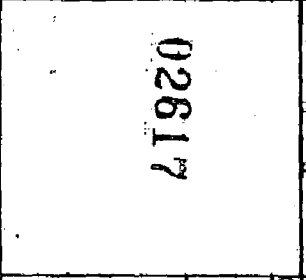
September 14 1968



GENERAL NOTES

1. REFER TO "DRAWINGS" & "FIXTURE AND EQUIPMENT" SCHEDULE.
2. REFER TO "SCHEDULE" DRAWINGS FOR THE DIMENSIONS INDICATED IN DIMENSION LINES AND THE LOCATION OF "SCHEDULE" DRAWINGS.
3. ALL FINISHES AND ALL CEILING SPACES ARE TO BE FINISHED WITH THE FINISHES AND MATERIALS LISTED IN THE "FINISHES" SCHEDULE.
4. THE LOCATION OF LIGHT FIXTURES AND LIGHT DIMENSIONS ARE TO BE FINISHED WITH THE FINISHES AND MATERIALS LISTED IN THE "FINISHES" SCHEDULE.
5. ALL FINISH DIMENSIONS ARE TO BE FINISHED WITH THE FINISHES AND MATERIALS LISTED IN THE "FINISHES" SCHEDULE.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
7. APPLY FINISHES TO THE FOLLOWING LOCATIONS:
 - A. THE TOP OF THE WALLS OR CEILING SHALL BE FINISHED WITH THE FINISHES LISTED IN THE "FINISHES" SCHEDULE.

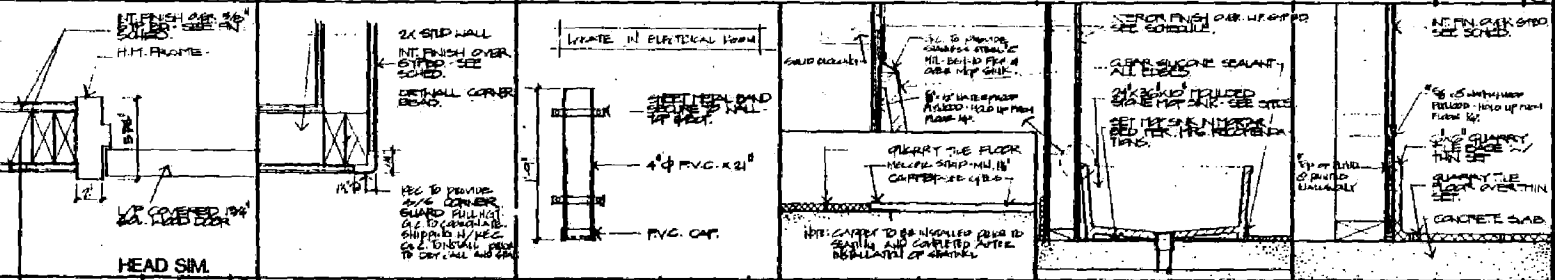
JAMB DETAIL 1 1/2" : 1'-0"



HEAD SIM. 3'-1'-0"



FLOOR PLAN 1/4" : 1'-0"



JAMB DTL 3'-1'-0" 7 COR. GUARD 3'-1'-0" 8 DETAIL 1 1/2" : 1'-0" 6 CARPET DTL. 3'-1'-0" 4 MOP SINK 1 1/2" : 1'-0" 3 BASE DTL. 3'-1'-0" 2

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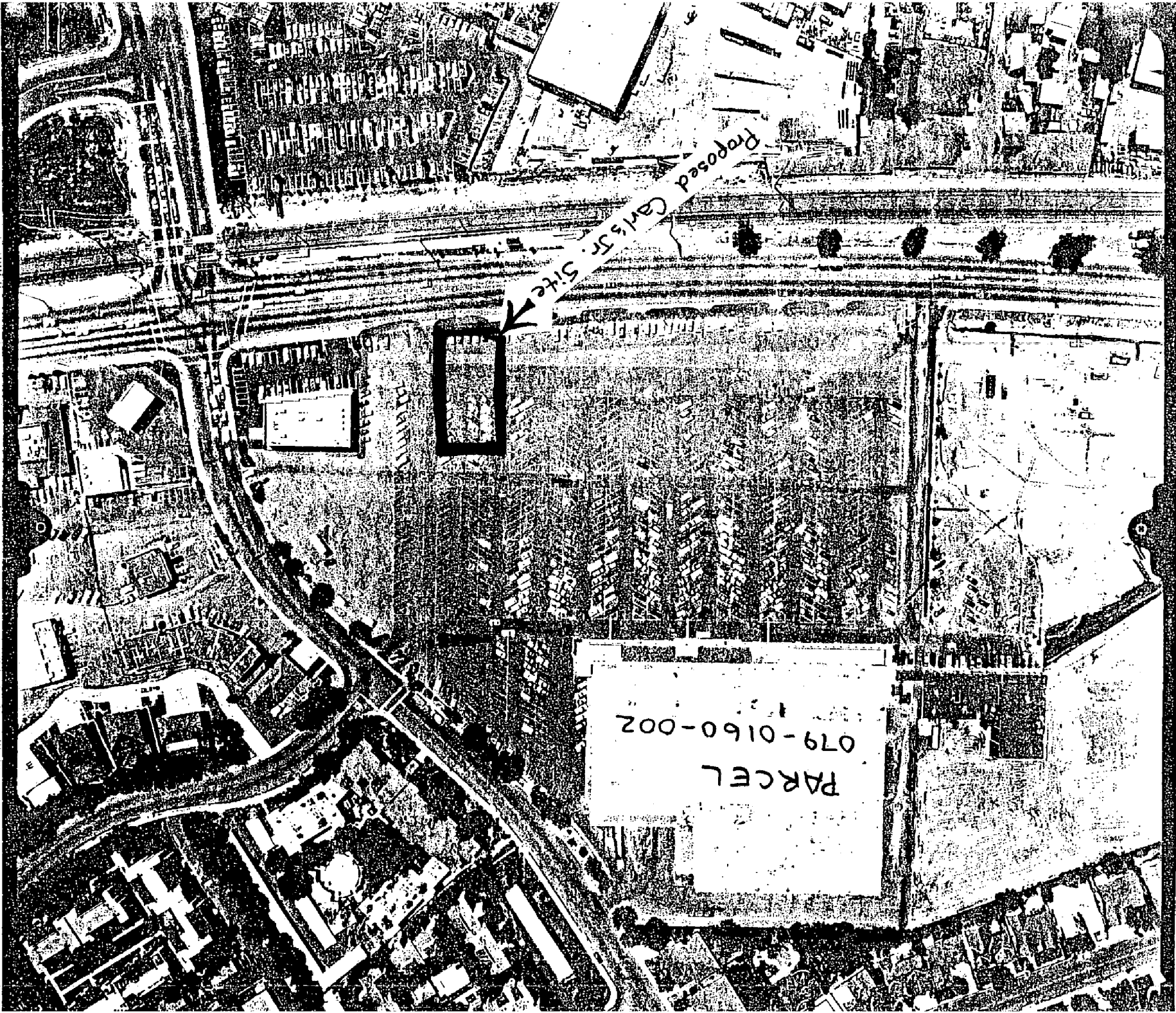
CARL KARCHER ENTERPRISES, INC. FLOOR PLAN & DETAILS

Carl's Jr. RESTAURANT

1500 NORTH HARBOR ANAHEIM, CALIF. 92801

SHEET NUMBER A-3

EXHIBIT B



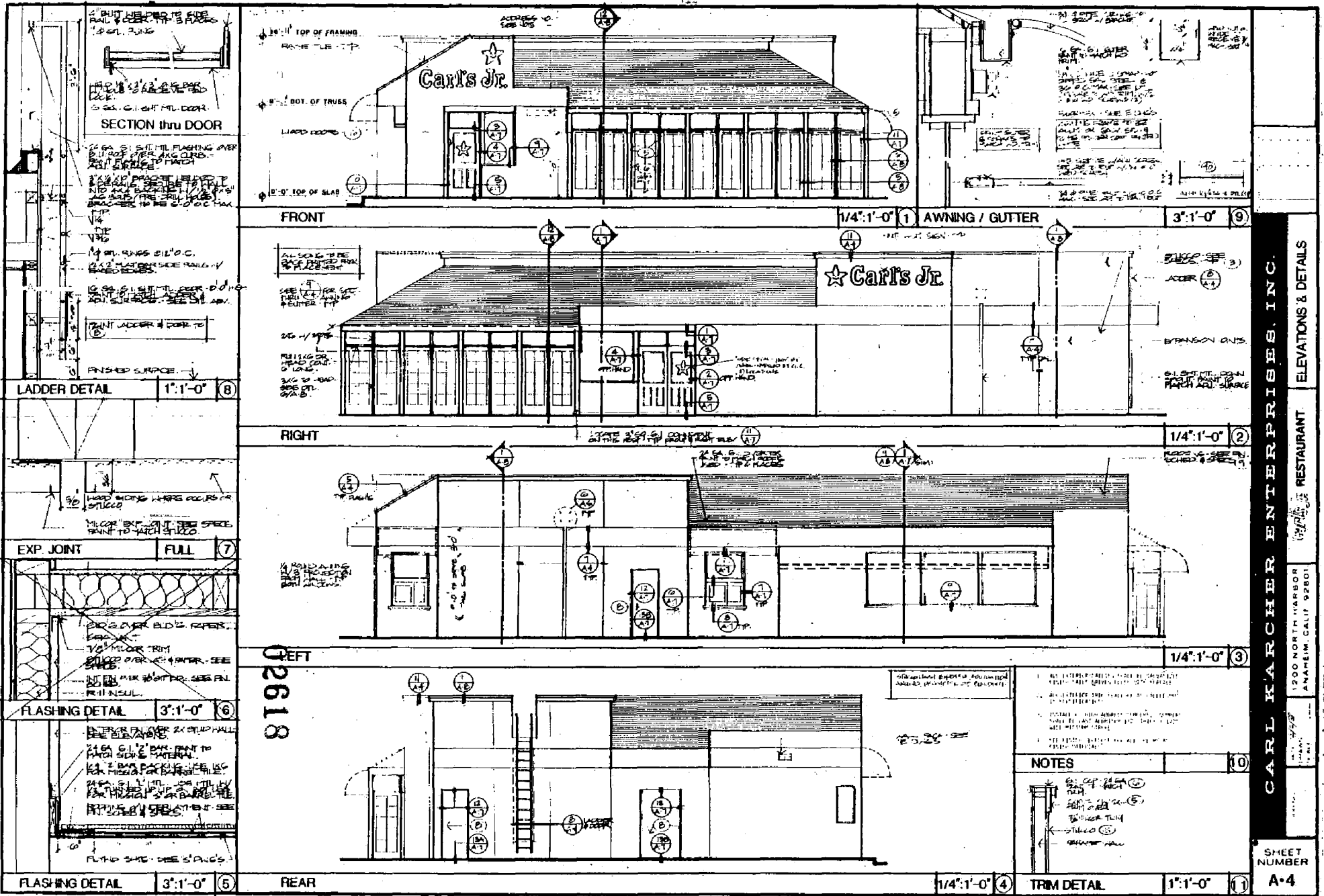
Proposed Carliss St. Site

PARCEL
079-0160-002

P89-284

September 14, 1989

Item #21



CARL KARCHER ENTERPRISES, INC.
ELEVATIONS & DETAILS
RESTAURANT
1200 NORTH HARBOR
ANALHEIM, CALIF. 92801

SHEET NUMBER
A-4

EXHIBIT C