

P99-092 - South Watt Business Park - Bldg. D

- REQUEST:
- A. Environmental Determination - Prior Negative Declaration
 - B. Plan Review to construct a 13,720 square foot, one story industrial building on 1.24 \pm acres in the M-1S-R zone.

LOCATION: NW corner of District Court & So. Watt Avenue
063-0053-003
Council District 6

APPLICANT:	Mike Peters, (916) 381-3600 8615 Elder Creek Road Sacto. CA 95828
OWNER:	Buzz Oates Enterprises II 8615 Elder Creek Road Sacto. CA 95828
PLANS BY:	Leo McGlade & Assoc. Inc 3417 Arden Wy. Sacto. CA 95825
APPLICATION FILED:	7-22-99
STAFF CONTACT:	Bridgette Williams, 264-5000

SUMMARY/RECOMMENDATION:

The applicant is proposing to construct a 13,720 square foot, one-story industrial building with thirty two (32) parking spaces on 1.24 \pm vacant acres in the Light Industrial Review (M-1S-R) zone. On January 2, 1990, the City Council approved a Rezone and Tentative Map of the South Watt Industrial Park from Agriculture to Light Industrial Review for future industrial buildings in the park (P87-378). In order to meet the applicant's objectives, the project requires the discretionary planning entitlements described above. In evaluating the project, the basic issues are site and building design and the project's compatibility with surrounding uses.

Staff recommends approval of the project. This recommendation is based on the project's consistency with policies in the General Plan regarding industrial development and compatibility with existing industrial land uses in the area.

PROJECT INFORMATION:

General Plan Designation:	Industrial - Employee Intensive
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	M-1S-R

Surrounding Land Use and Zoning:

North: Industrial & Vacant; M-1S-R
 South: Industrial; M-1S-R
 East: County; M-2S
 West: Industrial; M-1S-R

Setbacks:	Required	Provided
Front:	25'	41'
Side(St):	25'	91'
Side(Int):	0'	42'
Rear:	0'	22'

Property Dimensions:	Irregular
Property Area:	1.24± gross acres
Square Footage of Building:	13,720 square feet
Height of Building:	22 feet, 1 story
Exterior Building Materials:	Concrete & Glass
Roof Material:	Wood
Exterior Building Colors:	Lt. Gray/Tan-colored trim to match existing bldgs.
Parking Provided:	32 spaces @ 10,290 sqft\wsh. 3,430 sqft\off.
Parking Required:	Min. 19 spaces (1:1000 min. wsh) (1:500 max. wsh) Max. 32 spaces (1:400 min. office) (1:275 max. office)
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Driveway Permit	Public Works, Development Services
Building Permit	Development Services Division
Sign Permit	Development Services Division

BACKGROUND INFORMATION:

The proposal consists of the construction of a 13, 720 square foot industrial building in the M-1S-R zone. The intent is to construct a spec building for future occupancy of an industrial\commercial and\or office user that will be compatible with surrounding uses in the area. The hours of operation are indicated in the submitted application from 7:00 am - 6:00 pm daily. A specific tenant is unknown at this time.

Industrial uses are permitted by right in a Light Industrial (M-1S-R) zone. The review "R" zone gives the City the ability to ensure quality building design and materials as well as site layout for new construction in the South Watt Business Park. The "S" zoning suffix requires a 25 foot wide landscaped setback along all street frontages.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The proposed industrial use is consistent with the General Plan land use designation and the existing light industrial zone. The General Plan encourages industrial park expansions and opportunities for new warehousing/distribution activities (Sec. 4-19 policy 1). The City's Zoning Ordinance also recommends adequate landscape strips along public streets and fences/walls to screen outdoor storage and uses. The conditions placed on the project related to building and site design will ensure project consistency with goals and policies in the General Plan and the City's Zoning Ordinance.

B. Site Plan Design/Zoning Requirements

1. Setbacks

The M-1S(R) zoning requires a 25 foot landscape setback along all street frontages and complete screening of all outdoor storage. The site plan indicates adequate building and landscape setbacks along both District Court and South Watt Avenue. Sufficient rear and interior side yard setbacks are also provided. The proposed

site plan allows for adequate truck deliveries and vehicular circulation. Overall the building setbacks are compatible with surrounding setbacks in the industrial park. No indication of a storage area is illustrated on the site plan. Staff would recommend that all outdoor storage areas be adequately screened with a 6 foot high masonry wall and/or chain link fence with slats. Detailed elevations of a wall and/or fencing shall be submitted for review and approval of Planning staff prior to the issuance of building permits.

The trash enclosure/recycling bin is located at the rear of the site. All trash enclosures shall comply with the City's Trash/Recycling Ordinance.

2. Parking/Circulation

The Zoning Ordinance requires a minimum of 1 parking space per 1000 gross building square footage and a maximum of 1 parking spaces per 500 gross building square footage for an industrial use. The submitted site plan reflects a total of 32 parking spaces on site; two of which are handicap. Adequate parking is provided. Staff has no objection to the amount of parking provided. Fifty percent of all surfaced areas (parking, maneuvering, aisles) must be shaded.

Two driveways are proposed for ingress and egress onto the subject from District Court. The City's Transportation Department has indicated that the overall circulation on site is sufficient for vehicular and pedestrian safety. Power Inn Business & Transportation Association has recommended that alternative transportation measures be considered on site. The site plan depicts bicycle parking on the east side of the building, adjacent to the parking lot. One suggestion made by the association was that a "carpool only" parking space be designated near the building entrance or in a shaded area.

3. Landscaping

The site plan depicts the required 25 foot landscape setback along District Court. Landscape setbacks along South Watt Avenue measure between 23 - 25 feet. Staff would recommend that a minimum 25 foot landscape setback be provided along the entire property line facing South Watt Avenue. The site plan shall be revised to reflect a 25 foot landscape setback along both South Watt Avenue and District Court prior to issuance of a building permit. Fifteen (15) gallon honey locust trees are proposed along South Watt Avenue but not adjacent to District Court. It is recommended that a minimum of two honey locust trees be planted along District Court to remain consistent with the overall streetscape/landscaping plan proposed. All landscaping shall be irrigated.

4. Signage

No specific signage or sign program was submitted with the application. All detached and attached signage will be required to comply with the City's Sign Ordinance and obtain sign permits. The City's Sign Ordinance allows one detached monument sign for each street frontage in the M-1S zone. The detached monument sign shall not exceed twelve feet in height, measured from the sidewalk or parking lot, whichever is lower. Sign area shall not exceed 48 square feet. Because the site is located on a corner, two attached signs for each occupancy is allowed. The attached signs shall not exceed a total aggregate area of three square feet of sign area for each front foot of building occupancy.

C. Building Design

The applicant proposes to construct a tilt-up concrete building with glass windows. The proposed building height is 22'6". The roof material will be wood. Building colors include light gray with tan colored trim to match existing buildings in the park. Design Review staff is not opposed to the building's design or color proposal. The building's design and color will be compatible with the surrounding buildings in the industrial park.

PROJECT REVIEW PROCESS:

A. Environmental Determination

On January 2, 1990, the City Council ratified a Negative Declaration for the proposed subdivision (P87-378). Section 15162 of the CEQA Guidelines provides that an additional Negative Declaration need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. The proposed project is development of an industrial building allowed in the industrial zone. Therefore, a new Negative Declaration is not required.

B. Public/Neighborhood/Business Association Comments

The proposed project was routed to the Power Inn Business & Transportation Association for review and comment. The business association indicated that bicycle lockers and a carpool space shall be provided on the site. The association comments have been included as conditions of approval.

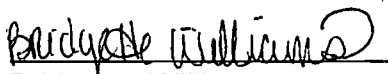
C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. Comments have been included as conditions of approval in the Notice of Decision.

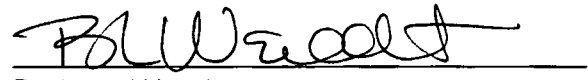
PROJECT APPROVAL PROCESS: Planning Commission has the authority to approve or deny the Plan Review. The Planning Commission action may be appealed to the City Council. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION: Staff recommends the Planning Commission adopts the Notice of Decision and Findings of Fact which approves the Plan Review to construct a 13,720 square foot, one story industrial building on 1.24± acres in the M-1S-R zone. .

Report Prepared By,


Bridgette Williams
Associate Planner

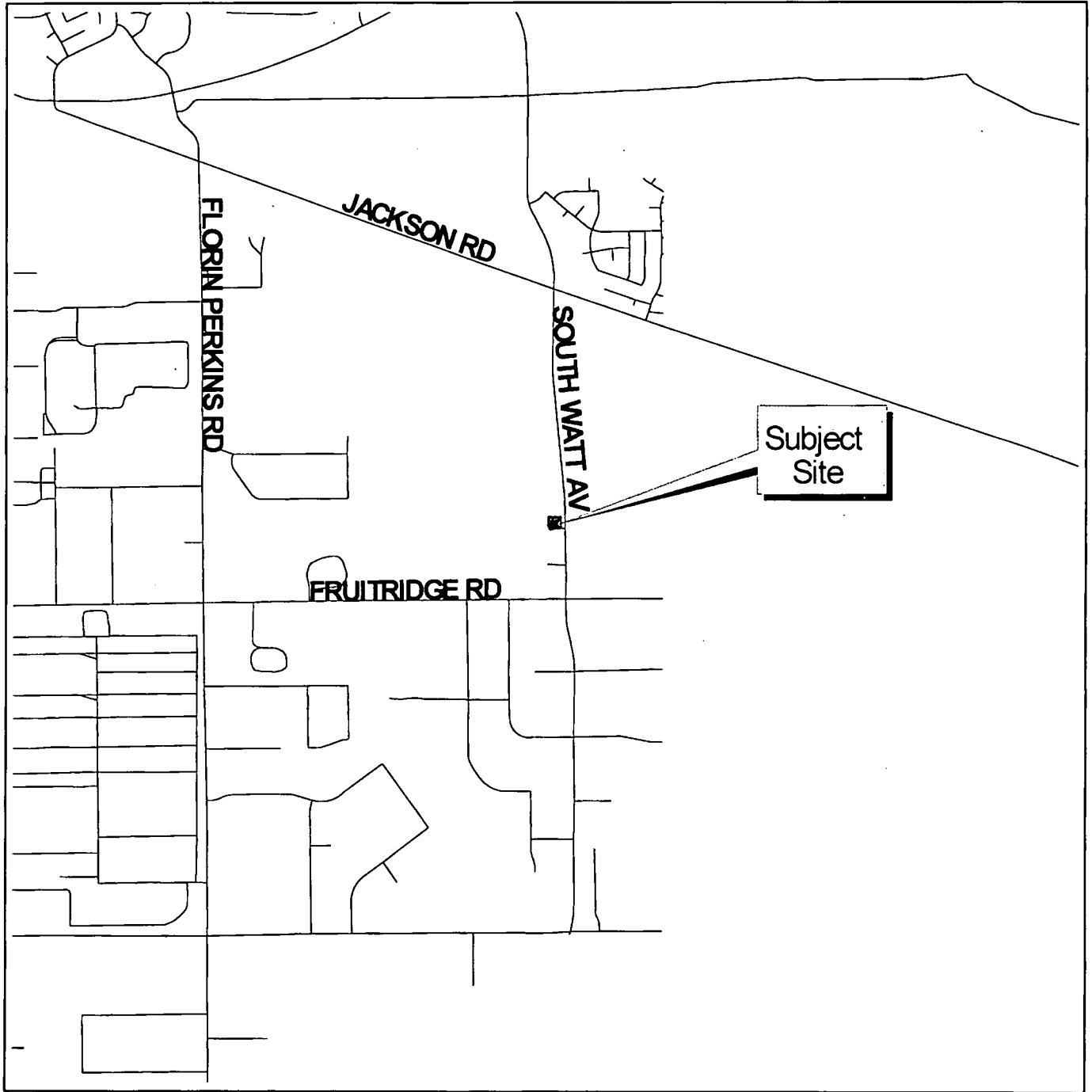
Report Reviewed By,


Barbara Wendt
Senior Planner

Attachments

Attachment A	Vicinity Map
Attachment B	Land Use and Zoning Map
Attachment C	Notice of Decision and Findings of Fact approving the Plan Review
Exhibit C-1	Site Plan
Exhibit C-2	Landscape Plan
Exhibit C-3	Floor Plan
Exhibit C-4	Elevations

P99-092.SR



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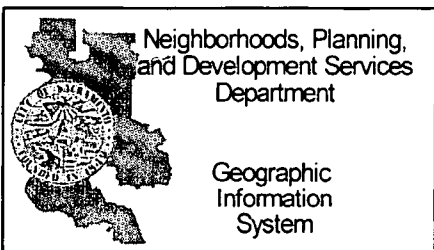
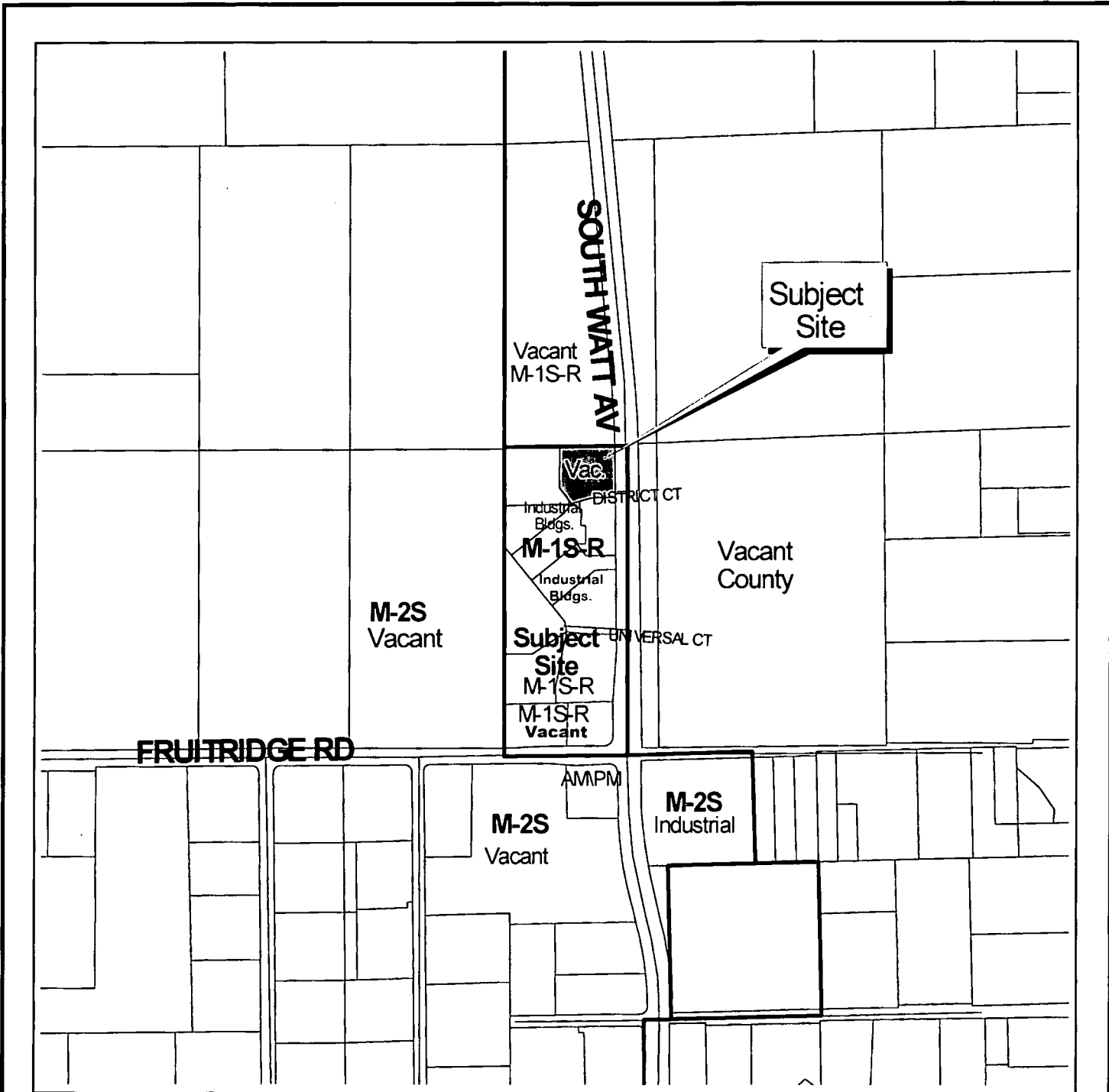


Neighborhoods, Planning,
and Development Services
Department

Geographic
Information
System

Vicinity Map
P99-092





Land Use & Zoning Map P99-092



ATTACHMENT C

NOTICE OF DECISION AND FINDINGS OF FACT FOR A PLAN REVIEW TO CONSTRUCT A 13,720 SQUARE FOOT INDUSTRIAL BUILDING ON 1.24± ACRES IN THE LIGHT INDUSTRIAL REVIEW (M-1S-R) LOCATED AT THE NORTHWEST CORNER OF DISTRICT COURT & SOUTH WATT AVENUE (P99-092) (APN:063-0053-003)

At the meeting of October 28, 1999, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Environmental Determination: Prior Negative Declaration**
- B. **Adopted the Notice of Decision and Findings of Fact approving the Plan Review to construct a 13,720 square foot industrial building on 1.24± acres in the M-1S-R zone.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- B. **Plan Review:** The Plan Review to construct a 13,720 sqft. industrial building in the M-1S-R zone is approved subject to the following findings of fact and conditions of approval:
 - 1. The proposed development is consistent with policies in the General Plan and the land use designation which designates the site for industrial uses.
 - 2. The proposed use will remain in keeping with adjacent industrial\commercial and office uses in the surrounding area.
 - 3. Adequate landscaping, setbacks, maneuvering and parking is provided on the site.

Conditions of Approval - Plan Review**General**

- 1. The proposed building shall be located on the site as depicted on the attached site plan. Any deviation for location of the building and/or parking spaces shall be reviewed by City staff prior to issuance of a building permit.

2. 25 foot wide landscape setbacks shall be provided on all public right-of-ways. A minimum of two honey locust trees shall be planted along District Court. All landscaping shall be irrigated.
3. Fifty percent of all surfaced areas (parking, maneuvering, aisles) shall be shaded.
4. All outdoor storage areas shall be adequately screened with a 6 foot high masonry wall and/or chain link fence with slats. Detailed elevations of a wall and/or fencing shall be submitted for review and approval of Planning staff prior to the issuance of building permits.
5. All detached and attached signage shall comply with the City's Sign Ordinance and sign permits shall be obtained. Detached monument signs shall not exceed twelve feet in height, measured from the sidewalk or parking lot, whichever is lower. Sign area shall not exceed 48 square feet. The attached signs shall not exceed a total aggregate area of three square feet of sign area for each front foot of building occupancy.
6. Bicycle lockers and a "carpool" parking space shall be provided on the site.
7. A two hour fire wall along the west property line shall be provided and the opening must be protected per 1997 Uniform Building Code. All exterior walls less than 10' from the property line will be required to provide a 30" parapet wall.
8. Back flow preventors shall be screened and/or not located in the building and landscape setbacks.
9. No more than 25% of office shall occupy the building. A Special Permit shall be obtained to increase the 25% office space allowed.

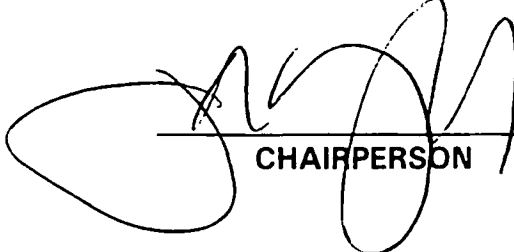
Utilities Department

10. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the on-site domestic, irrigation and fire suppression systems.

11. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
12. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
13. The proposed development is located within Sacramento County Sanitation District No.1. Contact the Regional Sanitation District for sanitary sewer conditions.
14. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
15. Any new domestic water services shall be metered. Only one domestic water service will be allowed per parcel.
16. Multiple fire services are allowed per parcel and may be required.
17. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Only source control measures are required. **However, the proposed site plan allows parking lot drainage to surface flow through a grassy swale in the landscape strip adjacent to South Watt Avenue prior to collection in an underground drainage system. This method of on-site treatment control is strongly recommended and encouraged.**
18. Adequate fire flow shall be provided.
19. A looped hydrant system with an average of 300' spacing shall be provided.
20. Knox Box access shall be required; the City's Fire Department shall review and approve any fence or gate provided on site.

Public Works Department

- 21. Remove and reconstruct any existing deteriorated curb, gutter, and sidewalk per City standards.
- 22. Existing driveways, sidewalks, and handicap ramps shall comply with current ADA standards.
- 23. Pay a contribution of 8.9% of the cost of constructing pavement for the future widening of South Watt Avenue. The contribution shall be based on the cost of constructing one traffic lane 12 feet in width by 1,284 feet in length.



CHAIRPERSON

ATTEST:



SECRETARY TO CITY PLANNING COMMISSION

10-29-99
DATE (P99-092)

- Exhibit C-1 - Site Plan
- Exhibit C-2 - Floor Plan
- Exhibit C-3 - Building Elevations

SHADE CALCULATION

CREDIT	PLANT SET	SQ. FT.	SHADE CREDIT	SHADE REQD.
	ZEL	48	7 x 48 = 336	1370
	OLE	48	3 x 48 = 144	1620
			480	1750

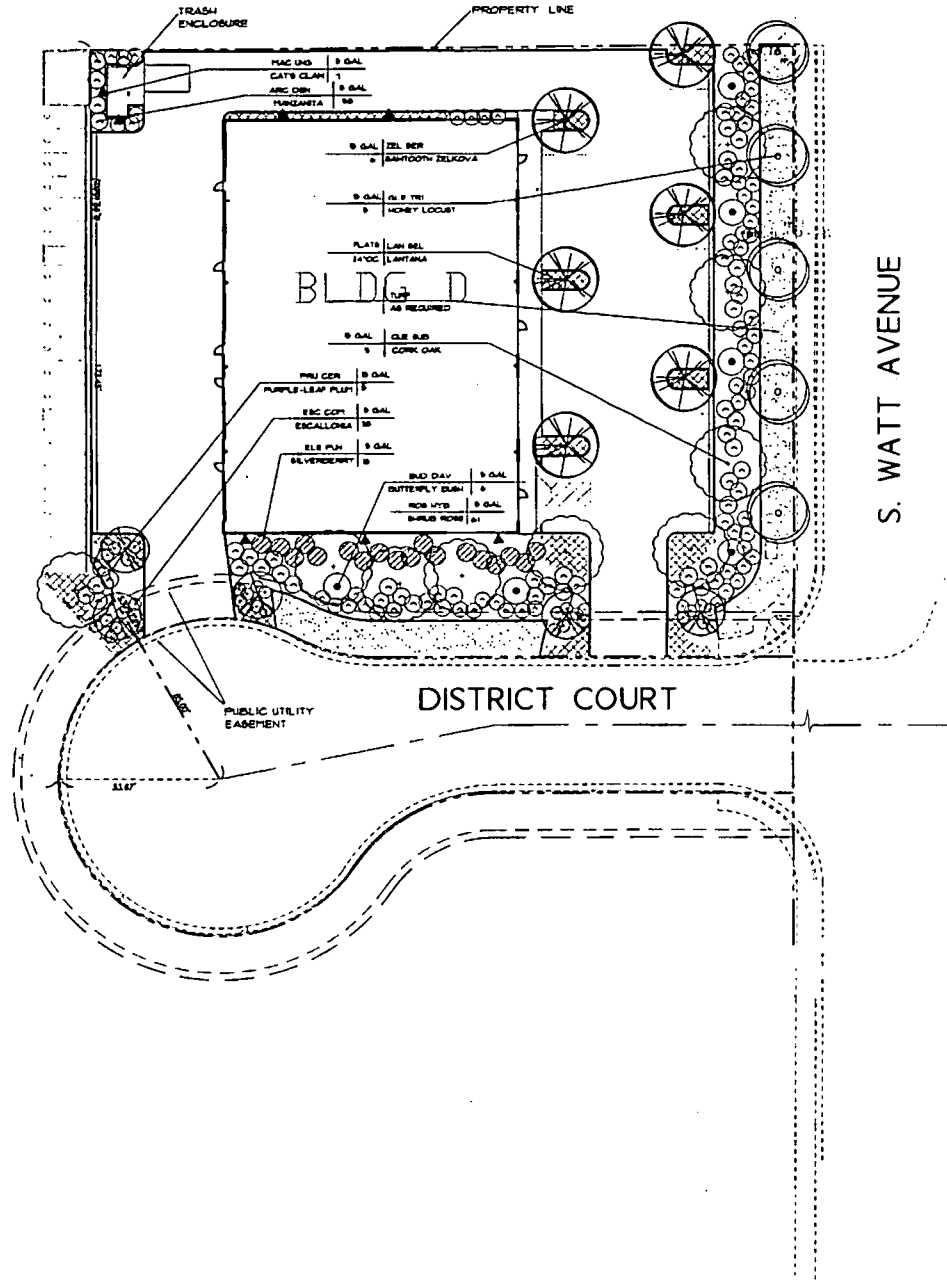
SOILS REPORT

CONTRACTOR SHALL OBTAIN A SOIL TEST, AS PER SACRAMENTO COUNTY'S WATER USE AND CONSERVATION AND WATER CONSERVING LANDSCAPE REQUIREMENTS ORDINANCE, AS PER PAGE 6 OF ORDINANCE. SOIL SAMPLES SHALL BE COLLECTED AFTER GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF LANDSCAPE MATERIALS. CONTRACTOR SHALL SUBMIT A COPY OF SOILS TEST TO COUNTY LANDSCAPE ARCHITECT, MARTIN C. HANCOCK, 908 G STREET, 9TH FLD, SACRAMENTO, CA 95814 AND QUADRIC FOR APPROVAL AND PRIOR TO INSTALLING SOIL AMENDMENTS. CONTRACTOR SHALL INSTALL SOIL AMENDMENTS, AS RECOMMENDED OR BETTER, TO CORRECT FOR PROBLEMS NOTED BY THE SOILS REPORT.

CONTRACTOR SHALL OBTAIN ANNUAL IRRIGATION SCHEDULES FOR PLANT ESTABLISHMENT, AND ESTABLISHED LANDSCAPE AS PER ORDINANCE REQUIREMENTS ON PAGE 7 OF ORDINANCE. IRRIGATION SCHEDULES SHALL USE THE SOILS TEST INFILTRATION RATE IN CALCULATING SCHEDULES. CONTRACTOR SHALL SUBMIT ANNUAL IRRIGATION SCHEDULES FOR APPROVAL AND STAMPING BY THE COUNTY LANDSCAPE ARCHITECT.

PLANTING LEGEND

PLANT	COMMON NAME	SYMBOL	SIZE	QTY	NOTE
PLU CER	PRUNUS CERIFERA 'ATROPURPUREA'	PURPLE LEAF PLUM	8 GAL	200	4' x 6'
OLE RUB	OLEA RUBRA	COKE OAK	8 GAL	200	4' x 6'
ZEL BER	ZELANON BERRILLII	SMALLEY SILVER	8 GAL	200	4' x 6'
ZEL TRI	ZELANON TRICHOPHYLLUS	HONEY LOCUST	8 GAL	200	4' x 6'
PLU CER	PRUNUS CERIFERA	COKE OAK	8 GAL	200	4' x 6'
OLE RUB	OLEA RUBRA	COKE OAK	8 GAL	200	4' x 6'
OLE RUB	OLEA RUBRA	COKE OAK	8 GAL	200	4' x 6'
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OLE RUB	OLEA RUBRA	COKE OAK	8 GAL	200	4' x 6'
OLE RUB	OLEA RUBRA	COKE OAK	8 GAL	200	4' x 6'
OLE RUB	OLEA RUBRA	COKE OAK	8 GAL	200	4' x 6'
OLE RUB	OLEA RUBRA	COKE OAK	8 GAL	200	4' x 6'



099-092 - revised landscaping plans received 7-28-09



S.WATT AVENUE
BUILDING D
SACRAMENTO, CA



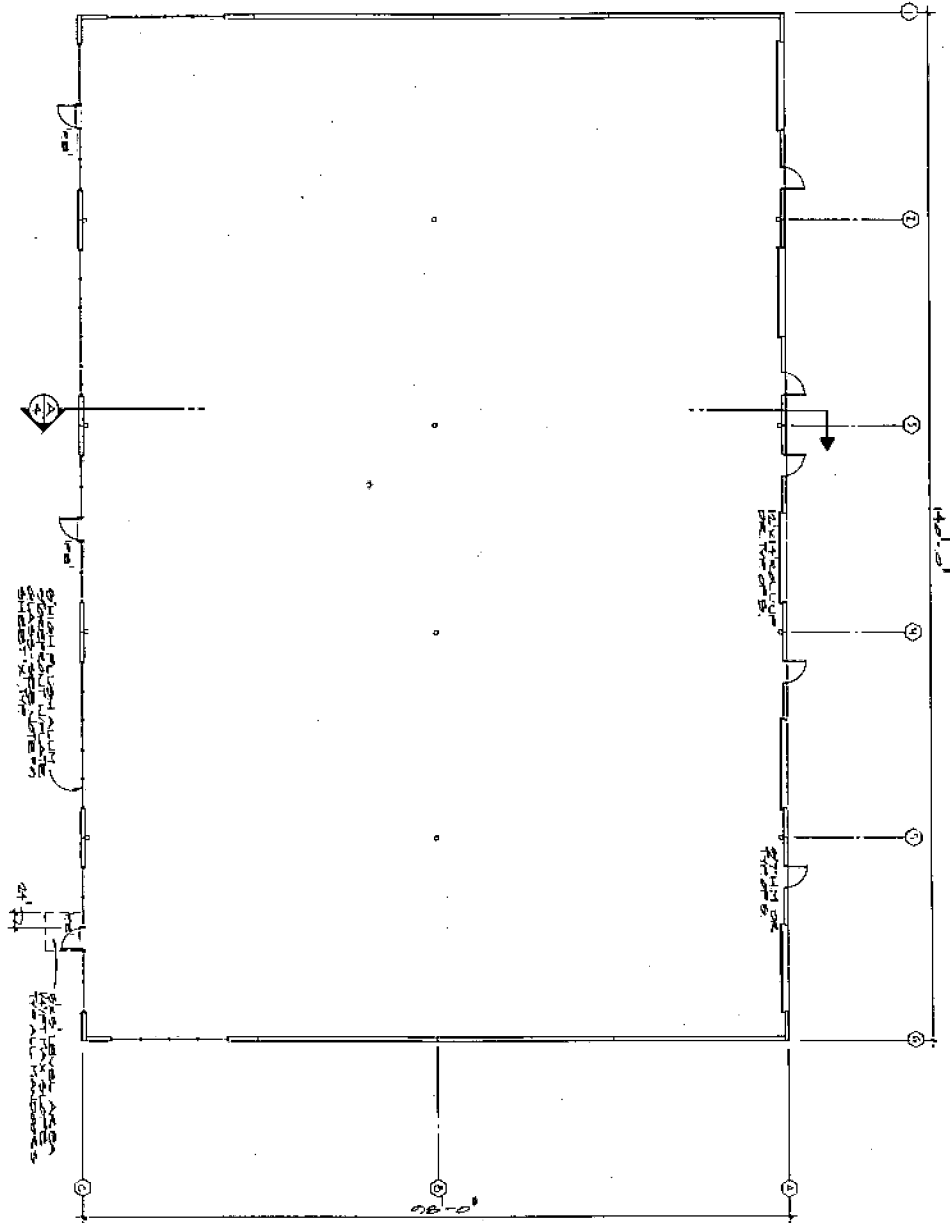
PLANTING PLAN

DATE: 7/28/09
PROJECT NO: 099-092
DRAWN BY: [Signature]
CO:

L2.1

FLOOR PLAN

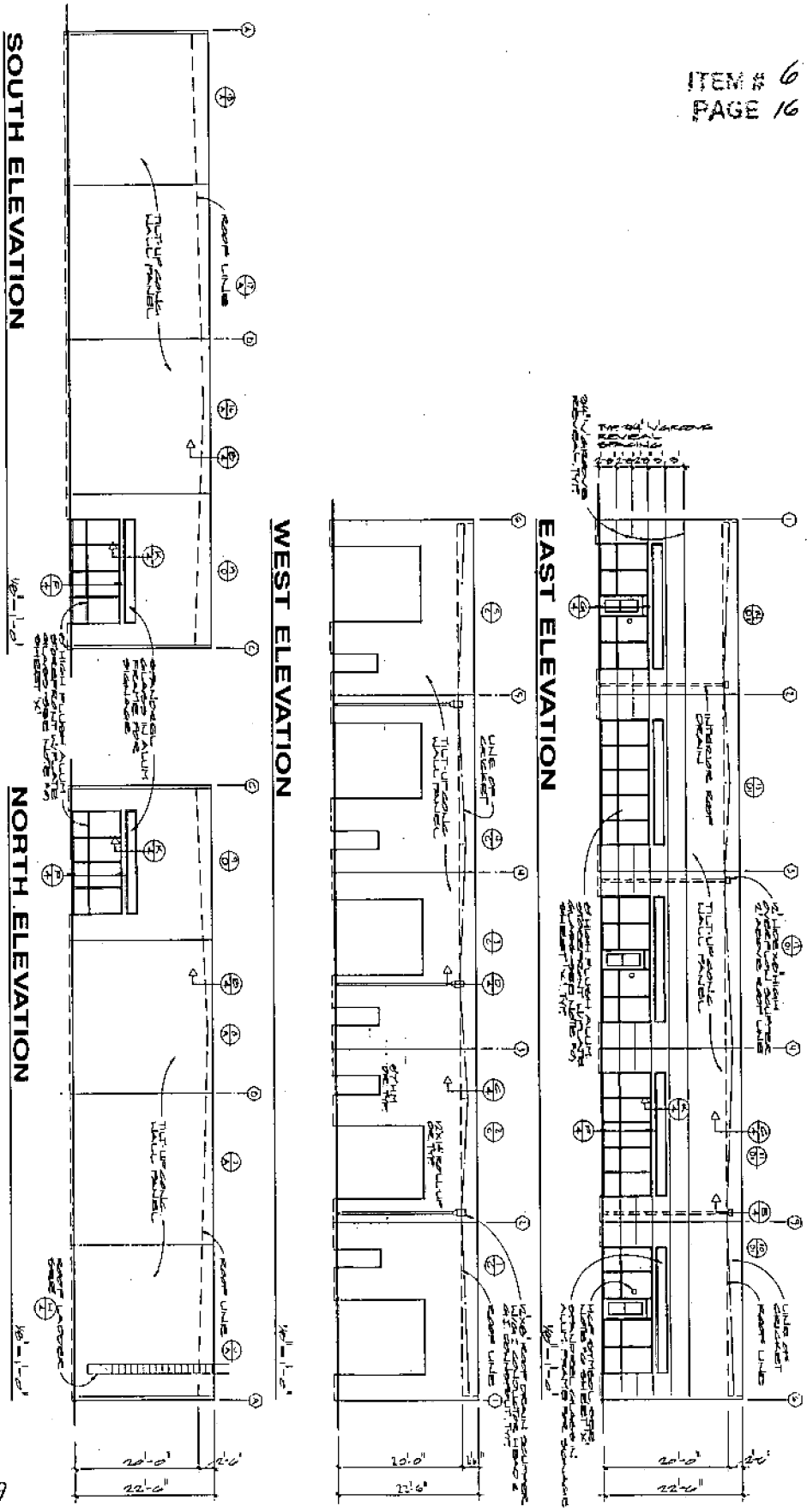
BUILDING SHELLO ONLY. SEE NOTE #16 SHEET X.
ALL DOORS SHALL COMPLY WITH NOTES # 8 & 9, SHEET X.
E.E. DESIGNATES "PRIMARY ENTRANCE". SEE NOTE #1, SHEET X.
ALL MAIN GROSS AND STORE FRONT GROSS SHALL BE
COMBINED TO OBTAIN GROSS FLOOR AREA. ALL
CORNER FINISH SHALL BE 1/2" THICK. SEE NOTE #17, SHEET X.
ENTIRE BUILDING SHALL BE SPRINKLERED. SEE NOTE #17, SHEET X.



Parcel 063-0053-003

P99-092
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NO.	DATE	BY	REVISION	DATE	BY	REVISION	DATE	BY	REVISION	
PROPOSED BUILDING D SOUTH WATT AVENUE CITY OF SACRAMENTO				FLOOR PLAN				 Leo McGlade & Associates, Inc. 3617 Nolan Way, Suite A, Sacramento, CA 95825 (916) 486-8380		SHEET NO. 2



Parcel 063-0053-003

*P99-092
~~P99-081~~
rcvd 6-27-99*