

CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

REPORT AMENDED BY STAFF 5-23-91

APPLICANT	Hoshida And Reyes,	2330 Alhambra Bl.,	Sacramento, CA 95817
OWNER	Roman Catholic Church,	P.O. Box 1706,	Sacramento, CA 95812-1706
PLANS BY	Hoshida and Reyes		
FILING DATE	2-11-91	ENVIR. DET.	Neg. Dec. REPORT BY DCS
ASSESSOR'S PCL. NO.	010-0224-021 and 025		

APPLICATION: A. Negative Declaration

- B. Rezone 6.8± partially developed acres from General Commercial (C-2) and Multi-Family Residential (R-4) to Office Building-Review (OB-R) zone;
- C. Major Project Special Permit to allow an office complex exceeding 40,000 sq. ft. (100,450 sq. ft.) in the Office Building (OB) zone;
- D. Variance to waive the six foot high masonry wall required between residential and non-residential uses.
- E. Plan Review to convert the existing Bishop Monogue School into offices and to construct a new two story, 38,300 square foot office building on 6.8 developed acres; and,
- F. Lot Line Adjustment to merge two existing lots into one lot.

LOCATION: 2541 21st Street

PROPOSAL: The applicant is requesting the necessary entitlements to rezone 6.8± developed acres from C-2 and R-4 to OB-R to allow the Bishop Monogue School to be converted to office use and to allow the construction of a new 38,300 square foot office building.

PROJECT INFORMATION:

General Plan Designation: Community Neighborhood/ Commercial
Existing Zoning of Site: C-2 and R-4
Proposed Zoning of Site: OB-R
Existing Land Use of Site: Bishop Monogue School and Surface Parking Lot

APPLC. NO. P91-034

MEETING DATE May 23, 1991

ITEM NO. 15

Surrounding Land Use and Zoning:

North: Commercial/ Office/ Post Office; C-2
South: Cemetery; R-4
East: Office and Commercial (Dept. of Motor Vehicles); C-2
West: Commercial; C-2

Property Dimensions: 377' X 845' Proposed Parking: 366
Property Area: 6.8± gross acres Parking Required: 251
Topography: Flat
Street Improvements: Existing
Utilities: Existing

Proposed Building: 38,300 square feet
Existing Buildings: 62,150 square feet
Total Buildings: 100,450 square feet

BACKGROUND INFORMATION

The City Planning Commission received a report on this proposal for the May 9, 1991 Planning Commission meeting. After the staff report was released, it was determined that additional entitlements, a Special yyPermit for a Major Project and a Variance to waive the masonry wall, were required. The project was continued from the May 9, 1991 agenda so the additional entitlements could be readvertised. This staff report includes an evaluation of these additional entitlements and supersedes the staff report dated May 9, 1991 for the project.

PROJECT EVALUATION:

A. Land Use and Zoning

The subject site is designated Community Neighborhood/ Commercial in the General Plan. Zoning of the site is General Commercial (C-2) and Multi-Family Residential (R-4). A variety of retail uses are located on the General Commercial (C-2) zoned property to the north. These uses include: a restaurant, offices and a post office. The zoning to the south is Multi-Family Residential (R-4) and is the location of a cemetery. To the west is General Commercial (C-2) property consisting of a variety of retail uses. To the east is General Commercial (C-2) zoned property and site of the Department of Motor Vehicles office complex. The subject site is zoned General Commercial (C-2) and Multi-Family Residential (R-4) and has been the location of the Bishop Monogue High School until 1990. While excess parking on the property has been rented to nearby office users, the entire parking area is now used for rented surface parking to nearby office users. The project is also located within a Design Review area of the City and will require the review and approval of the Design Review Board.

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B. Applicant's Proposal

The applicant is requesting the necessary entitlements to convert the school to an office facility. The applicant also requests approval of a new two story, 38,300 square foot office building for the site. There are currently two parcels within the project boundaries. One parcel is 100'X 150' in size and is located in the northwest corner of the site. The remaining parcel is approximately 6 acres in size. A lot line adjustment is requested to merge the two parcels for the development plan.

The property is currently zoned General Commercial (C-2) and Multi-Family Residential (R-4). The applicant requests rezoning to Office Building-Review (OB-R). The Office Building zone allows the conversion from school to office use with the approval of a Special Permit. The "Review" designation provides the Planning Commission an opportunity to evaluate this project and any future redesigns. The Lot Line Adjustment will merge the two existing lots on the site into one lot.

C. Staff Analysis

Site Design and Layout- The site had been utilized for Christian Brothers High School during the 1950-60's. In the 1960's, Christian Brother's High School moved to Sacramento Boulevard (now Martin Luther King Jr. Boulevard). There are two existing buildings on the subject site which were constructed in 1965. The Bishop Monogue Catholic Girl's High School operated until June 1990. In September 1990 Christian Brothers High School became co-educational. The girls from Bishop Monogue were transferred to Christian Brothers High School which left the Broadway property vacant.

The applicant proposes a total of 100,450 square feet of office space for the site. There would be 62,150 square feet of floor area within the existing buildings and 38,300 square feet of floor area within the new two story office building. The existing buildings will be leased to the Department of Motor Vehicles for office space. The new two story building will become offices for the Catholic Diocese of Sacramento which is now located on the K Street Mall.

The new building proposed for the site will be a concrete tilt-up building with anodized aluminum windows and brick tile veneer siding. Because the site located within a Design Review Area of the City, the design details of the proposed building will be reviewed and approved by the Design Review Board prior to the issuance of any building permits.

Rezone- The request to rezone the property from General Commercial (C-2) and Multi-Family Residential (R-4) to Office Building- Review (OB-

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval to Rezone 6.8± partial developed acres from General Commercial (C-2) and Multi-Family Residential (R-4) to Office Building- Review (OB-R) zone and forward to the City Council;
- C. Approve the Major Project Special Permit to allow an office complex exceeding 40,000 sq. ft. (100,450 sq. ft.) in the Office Building (OB) zone subject to conditions of approval which follow;
- D. Approve the Variance to waive the six foot high masonry wall required between residential and non-residential uses subject to the findings of fact which follow;
- C. Approve the Plan Review to convert the existing Bishop Monogue School into offices and to construct a new two story, 38,300 square foot office building on 6.8± developed acres subject to conditions of approval which follow; and,
- D. Approve the Lot Line Adjustment to merge two existing lots into one lot subject to conditions which follow.

Conditions

- 1. Unless substantial evidence is provided to the Planning Director to establish legal non-conforming status, the maximum number of parking spaces shall be limited to 251 spaces. The existing tennis court shall not be used for parking or storage of vehicles. No final building approval shall be issued until portions of the parking area are redesigned for adequate access and landscaping to the satisfaction of the Traffic Engineer and Planning Director. ~~the parking area is brought into conformance with the City Parking Ordinance which includes: surfacing, Tree Shading requirements, etc.; (staff amended)~~
- 2. The existing parking lot shall conform to City standard for minimum dimensions (18 foot length and 8 foot width) with 26 feet of maneuvering;
- 3. The applicant shall comply with all mitigation measures specified in the negative declaration;
- 5. The applicant shall comply with developer TSM Ordinance as a major project. Approval of an adequate TSM Plan shall be attained prior to the issuance of any building permit;

6. Driveways and internal circulation design shall meet the approval of the City Traffic Engineer prior to the issuance of any building permits;

Mandatory Mitigation Measures

- A. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of construction zones. Elements of this program should include the following:
- o Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50%.
 - o Cover stockpiles of sand, soil, and similar materials with a tarp.
 - o Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
 - o Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.
 - o Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
- B. The 18 inch Ash may be replaced or removed at the applicant/ developer's discretion (due to its health). The applicant/ developer of the proposed project shall transplant the three Valley Oak trees and the one Pone tree. Prior to transplanting, the applicant/ developer shall consult with the City Arborist regarding the time and location of the transplanting.
- C. All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses and oncoming traffic.
- D. The applicant/ developer agrees to pay such lawful fees, taxes or assessments imposed through the use of development fees, impact fees, fee districts, community facilities districts, assessment districts, or other fair, equitable, and appropriate mechanisms designed to address project impacts on the existing combined storm water sewer system, and shall execute an agreement

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MEETING DATE May 23, 1991

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satisfactory to the City Attorney and suitable for recordation which obligates the applicant to pay fair, equitable, and appropriate development or related fees, impact fees or assessments or taxes as and when enacted, imposed, or levied.

E. The applicant will comply with the following State regulation:

- o Section 65-019 of the California Labor Code requires developers to identify all asbestos containing materials in existing building prior to demolition or renovation.

If asbestos containing materials are identified on the project site, the applicant will determine the quantity of material to be removed and comply with the following applicable State and Federal regulations:

- o California Occupational Safety and Health Administration (CAL-OSHA) work safety standards must be applied to any demolition or renovation of structures that contain more than 100 square feet of asbestos containing materials. Specific standards are provided by CAL-OSHA (San Francisco Office (415) 974-7633)).
- o Environmental Protection Agency (EPA) National Air Emission Standards must be applied to any demolition or renovation of structures than contain more than 160 square feet or 260 linear feet of asbestos containing materials. Specific information is provided by EPA (San Francisco Office: (415) 974-9633)).

In order to document compliance with these measures, the applicant will provide a copy of the awarded demolition bid to the City Environmental Coordinator prior to issuance of a building permit for demolition.

Findings of Fact- Variance

1. Granting the variance will not constitute a special privilege extended to an individual property owner in that a variance would be granted to other property owners facing similar circumstances;
2. Granting the variance will not be injurious to the public welfare in that the cemetery use will not be adversely affected by noise or other negative impacts;
3. Granting the variance does not constitute a use variance in that a office use is permitted in the O-B zone.

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RESOLUTION NO.
ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION
ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO MERGE THE COMMON PROPERTY LINE OF ALL THAT PORTION OF LOTS A AND B AS SHOWN ON EXHIBIT E AND F (010-0224-021 and 025) (P91-034)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located at 2541 21st Street; and

WHEREAS, lot line adjustment is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15305{a}); and

WHEREAS, the lot line adjustment is consistent with the General Plan land use designation on the property;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line adjustment for property located at 2541 21st Street, City of Sacramento, be approved as shown and described in Exhibits E, and F attached hereto, subject to the following conditions:

The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment being recorded:

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist and pay necessary fees;
2. File a waiver of parcel map; and
3. Notice: Property to be subdivided in accordance with this map may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The

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applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 1989, available at the City of Sacramento's Public Works Department, Development Services Division, Room 100, 927 10th Street.

CHAIRPERSON

ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

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The applicant proposes a total of 100,450 square feet of office space for the site. There would be 62,150 square feet of floor area within the existing buildings and 38,300 square feet of floor area within the new two story office building. The existing buildings will be leased to the Department of Motor Vehicles for office space. The new two story building will become offices for the Catholic Diocese of Sacramento which is now located on the K Street Mall.

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Rezone- The request to rezone the property from General Commercial (C-2) and Multi-Family Residential (R-4) to Office Building- Review (OB-

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R) is necessary to allow the proposed office use on the site. The General Plan supports this request as it designates the site as Community/ Neighborhood Commercial and Offices.

Major Project Special Permit- A Major Project Special Permit is required for projects exceeding 40,000 sq.ft. in the OB zone. The project will be subject to provisions of the TSM Ordinance which will require the developer to reduce trips by at least 35 percent.

Variance- Section 3 of the Zoning Ordinance requires construction of a six foot high solid masonry wall between residential zones and non-residential uses and zones. Because the subject property would be rezoned to a non-residential zone, a six foot high masonry wall is required along the southerly property line as it will separate the subject site from a residentially zoned site to the south. The applicant requests a variance to waive the required wall as the adjoining property is a cemetery and will not be impacted by the project.

Lot Line Adjustment - The lot line adjustment will combine a 100'X 150' parcel with the larger 6± acre parcel. As proposed, the lot merger will provide an area for an additional 27 parking spaces or open area for the project. Staff can support the requested lot line adjustment as it will not have any impact on the surrounding properties.

Parking- The applicant proposes a total of 366 parking spaces for the facility. This number is much more than is required and needed for the 260 employees and visitors who will be utilizing the site. The large number of spaces also contradicts direction given by the City Council to encourage alternative modes of transportation.

The City Council has adopted interim parking regulations that are in effect at this time. Under the interim regulations, the maximum allowed parking for the project is 251 spaces (one space per every 400 square feet of office). The Council's interim parking regulations were adopted in an effort to reduce traffic congestion and air pollution. Currently, there are 282 existing spaces on the site with another 27 spaces proposed adjacent to 21st Street. Approximately 57 more parking spaces are proposed upon an existing tennis court.

The property has been utilized as a paid parking facility for nearby office workers. The use of the site for paid parking for nearby offices may be considered a non-conforming use. However, the applicant will need to provide substantial evidence to demonstrate that the use is a legal non-conforming use. In absence of the evidence, the lot should provide only the maximum number of spaces allowed (251 spaces). The applicant has proposed that the tennis courts be used for parking and/ or for storage of impounded vehicles. The additional parking is

not necessary for the on-site office workers; and, the storage of vehicles of any kind would not be a permitted use in the O-B zone. Staff recommends that the tennis courts be retained as a recreational component of the project and not be converted to parking or storage. At this time, any parking above the 251 spaces would be contrary to the City Council's adopted interim parking regulations. Other parking regulations will need to be followed such as those pertaining to tree shading, surfacing, parking space dimensions, etc.

In addition, the applicant is considered a major employer with over 100 employees. Major employers are required to develop a Transportation Management Plan that will reduce employee trips by 35 percent. Since Broadway is a major bus route, significant public transportation is available to service the facility.

C. Agency Comments

The proposed project was reviewed by City Engineering, Traffic Engineering, Community Services and Building Divisions. Their comments are reflected within the conditions of approval listed below. It should be noted that the City Transportation Division has recommended changes in the driveway access design to improve traffic circulation and safety. The applicant will work with Traffic Engineering to provide the most efficient internal circulation system which includes driveway ingress/ egress and parking aisle directions and layout.

D. Neighborhood Comments

The Sierra Curtis Neighborhood Association has submitted comments related to the subject project (Attachment A). They express concern that the project would be in conflict with any design plans being formulated for the Broadway Corridor. They also indicate that the project is not pedestrian friendly due to a long stretch of parking adjacent to Broadway. The proposed building with ground floor retail could be located in the center of the block. The Sierra Curtis Neighborhood Association additionally notes that the tilt-up concrete building proposed for the site would not contribute to the enhancement of the neighborhood or Broadway Corridor. The design of the building will go before the Design Review Board for review and approval prior to the issuance of any building permits. Building design issues will be considered at that time.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. The mandatory mitigation measures listed below shall be incorporated into the project to reduce potential environmental impacts to below a level of significance.

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RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval to Rezone 6.8± partial developed acres from General Commercial (C-2) and Multi-Family Residential (R-4) to Office Building- Review (OB-R) zone and forward to the City Council;
- C. Approve the Major Project Special Permit to allow an office complex exceeding 40,000 sq. ft. (100,450 sq. ft.) in the Office Building (OB) zone subject to conditions of approval which follow;
- D. Approve the Variance to waive the six foot high masonry wall required between residential and non-residential uses subject to the findings of fact which follow;
- C. Approve the Plan Review to convert the existing Bishop Monogue School into offices and to construct a new two story, 38,300 square foot office building on 6.8± developed acres subject to conditions of approval which follow; and,
- D. Approve the Lot Line Adjustment to merge two existing lots into one lot subject to conditions which follow.

Conditions

- 1. Unless substantial evidence is provided to the Planning Director to establish legal non-conforming status, the maximum number of parking spaces shall be limited to 251 spaces. The existing tennis court shall not be used for parking or storage of vehicles. No final building approval shall be issued until the parking area is brought into conformance with the City Parking Ordinance which includes: surfacing, Tree Shading requirements, etc.;
- 2. The existing parking lot shall conform to City standard for minimum dimensions (18 foot length and 8 foot width) with 26 feet of maneuvering;
- 3. The applicant shall comply with all mitigation measures specified in the negative declaration;
- 5. The applicant shall comply with developer TSM Ordinance as a major project. Approval of an adequate TSM Plan shall be attained prior to the issuance of any building permit;
- 6. Driveways and internal circulation design shall meet the approval

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ITEM NO. 15

of the City Traffic Engineer prior to the issuance of any building permits;

Mandatory Mitigation Measures

- A. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of construction zones. Elements of this program should include the following:
 - o Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50%.
 - o Cover stockpiles of sand, soil, and similar materials with a tarp.
 - o Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
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 - o Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
- B. The 18 inch Ash may be replaced or removed at the applicant/ developer's discretion (due to its health). The applicant/ developer of the proposed project shall transplant the three Valley Oak trees and the one Pone tree. Prior to transplanting, the applicant/ developer shall consult with the City Arborist regarding the time and location of the transplanting.
- C. All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses and oncoming traffic.
- D. The applicant/ developer agrees to pay such lawful fees, taxes or assessments imposed through the use of development fees, impact fees, fee districts, community facilities districts, assessment districts, or other fair, equitable, and appropriate mechanisms designed to address project impacts on the existing combined storm water sewer system, and shall execute an agreement satisfactory to the City Attorney and suitable for recordation

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which obligates the applicant to pay fair, equitable, and appropriate development or related fees, impact fees or assessments or taxes as and when enacted, imposed, or levied.

- E. The applicant will comply with the following State regulation:
- o Section 65-019 of the California Labor Code requires developers to identify all asbestos containing materials in existing building prior to demolition or renovation.

If asbestos containing materials are identified on the project site, the applicant will determine the quantity of material to be removed and comply with the following applicable State and Federal regulations:

- o California Occupational Safety and Health Administration (CAL-OSHA) work safety standards must be applied to any demolition or renovation of structures that contain more than 100 square feet of asbestos containing materials. Specific standards are provided by CAL-OSHA (San Francisco Office (415) 974-7633)).
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In order to document compliance with these measures, the applicant will provide a copy of the awarded demolition bid to the City Environmental Coordinator prior to issuance of a building permit for demolition.

Findings of Fact- Variance

1. Granting the variance will not constitute a special privilege extended to an individual property owner in that a variance would be granted to other property owners facing similar circumstances;
2. Granting the variance will not be injurious to the public welfare in that the cemetery use will not be adversely affected by noise or other negative impacts;
3. Granting the variance does not constitute a use variance in that a office use is permitted in the O-B zone.

RESOLUTION NO.
ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION
ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO MERGE THE COMMON PROPERTY LINE OF ALL THAT PORTION OF LOTS A AND B AS SHOWN ON EXHIBIT E AND F (010-0224-021 and 025) (P91-034)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located at 2541 21st Street; and

WHEREAS, lot line adjustment is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15305{a}); and

WHEREAS, the lot line adjustment is consistent with the General Plan land use designation on the property;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line adjustment for property located at 2541 21st Street, City of Sacramento, be approved as shown and described in Exhibits E, and F attached hereto, subject to the following conditions:

The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment being recorded:

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist and pay necessary fees;
2. File a waiver of parcel map; and
3. Notice: Property to be subdivided in accordance with this map may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army

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Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 1989, available at the City of Sacramento's Public Works Department, Development Services Division, Room 100, 927 10th Street.

CHAIRPERSON

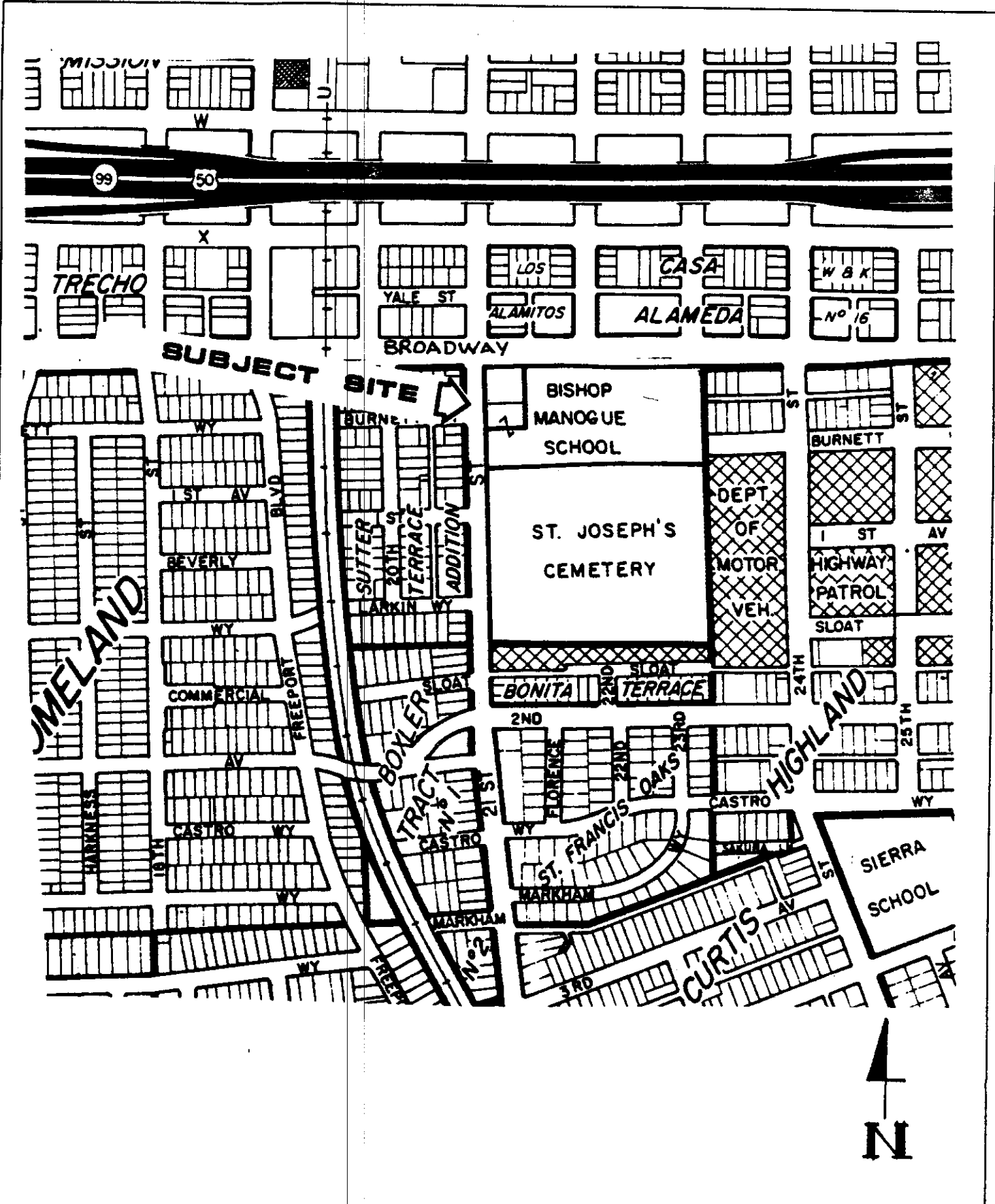
ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

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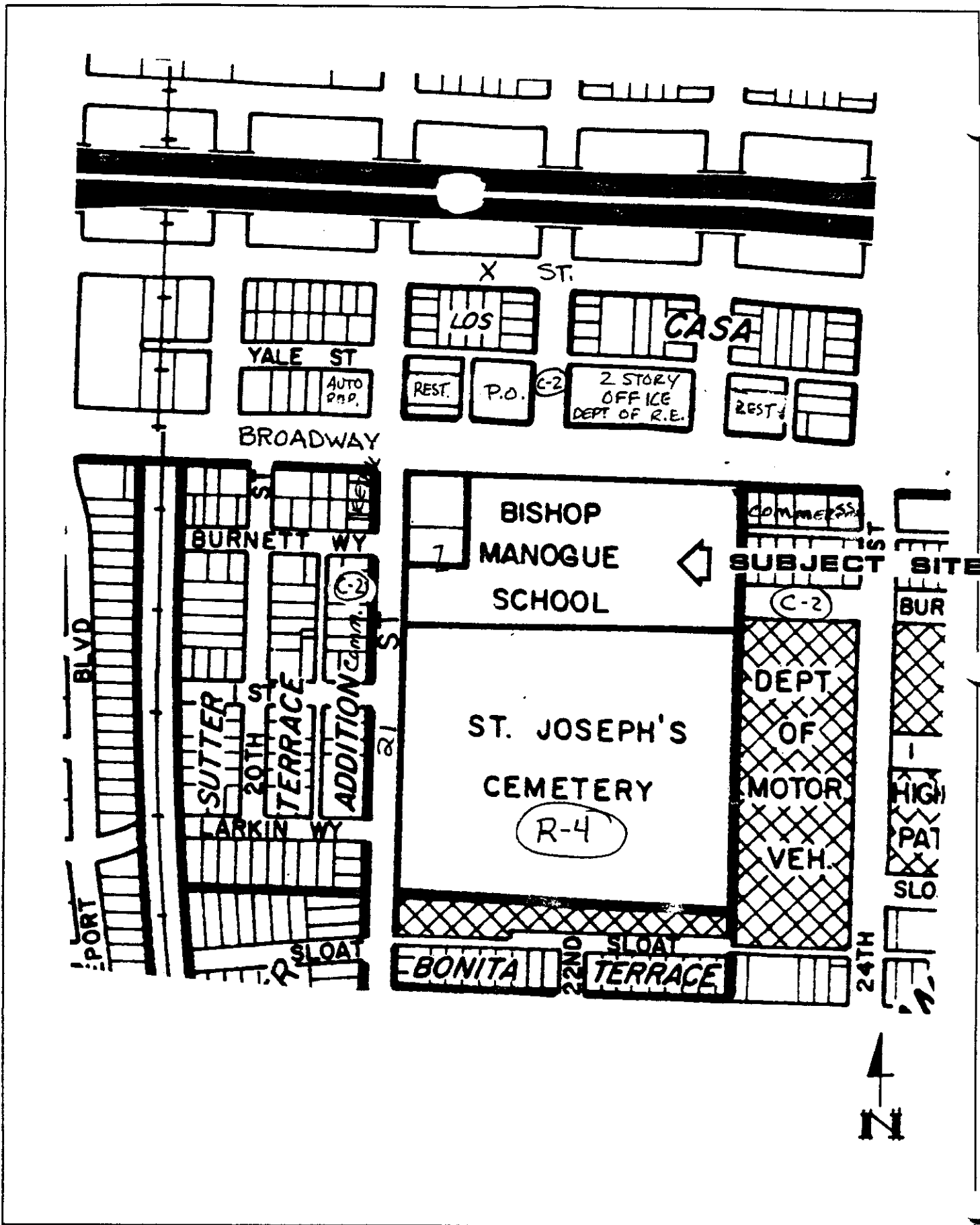
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BISHOP MONOGUE CONVERSION TO OFFICE

VICINITY MAP

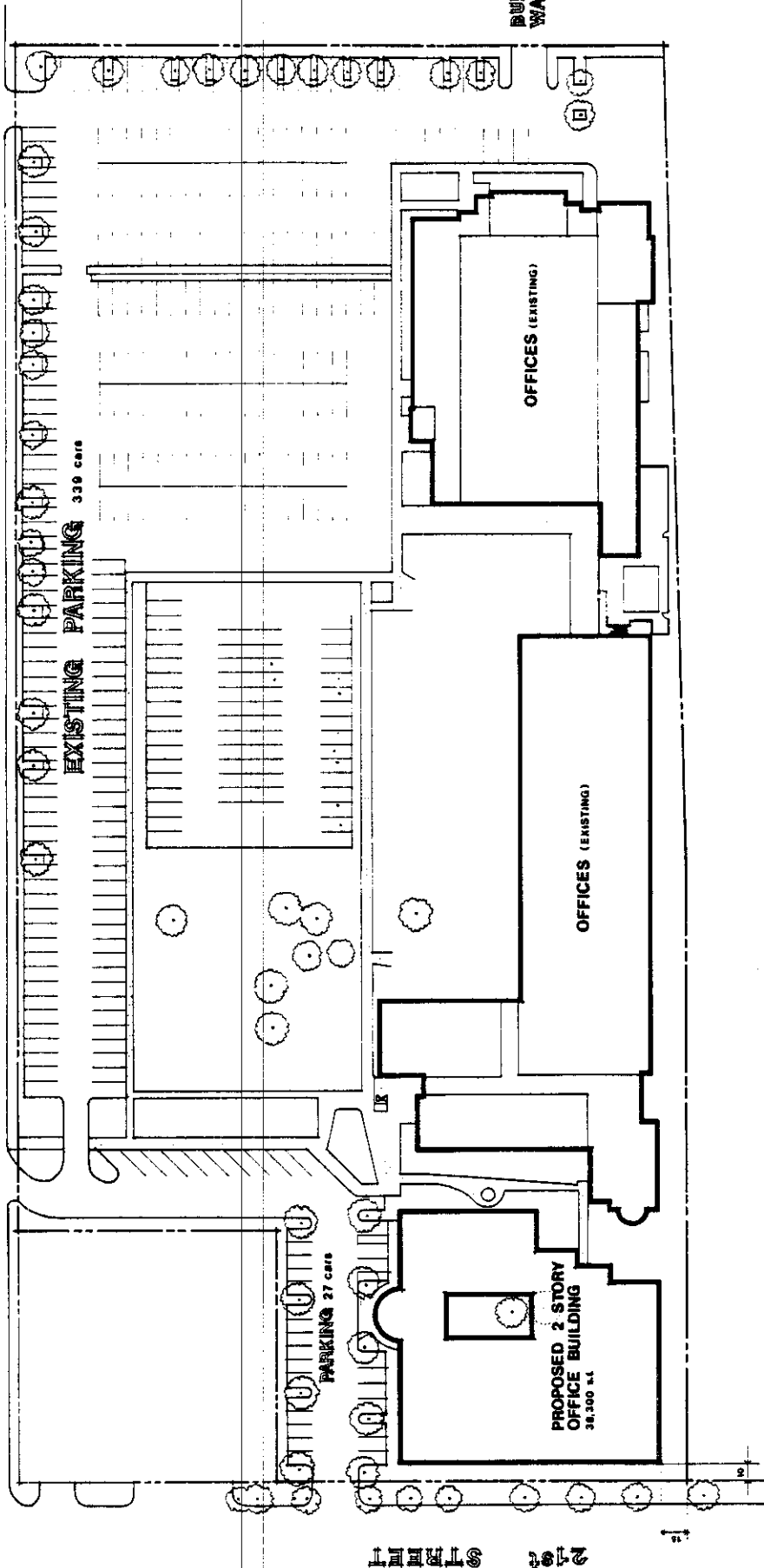


LAND USE & ZONING MAP

EXHIBIT A
SITE PLAN

BROADWAY

BURNETT
WAY



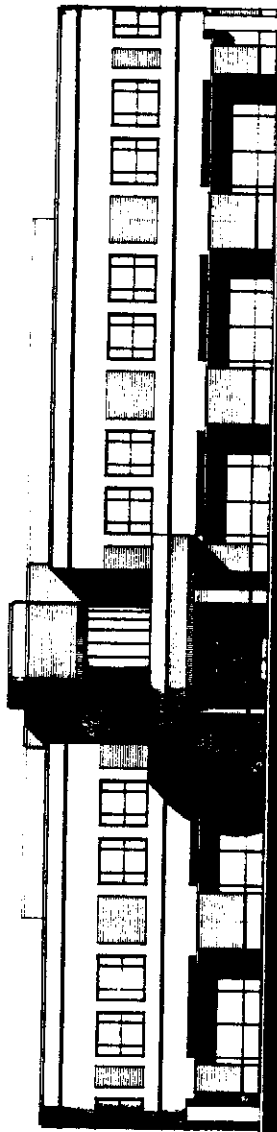
SITE PLAN
1" = 30'-0"



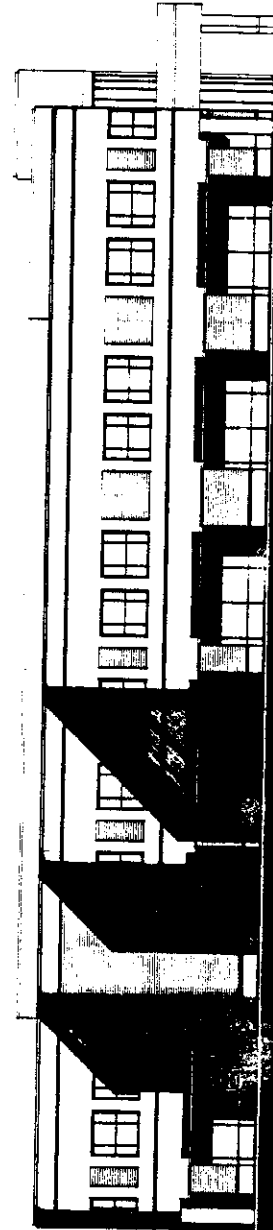
HOSHIDA & REYES
REGISTERED PROFESSIONAL ARCHITECTS
STATE OF CALIFORNIA
No. 10000
Exp. 12/31/98

SK # 1

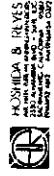
EXHIBIT B-1
ELEVATION PROPOSED BLDG



NORTH ELEVATION
1/8" = 1'-0"



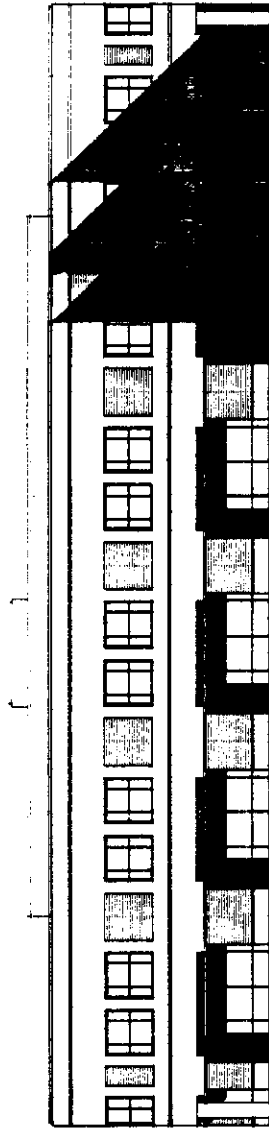
EAST ELEVATION
1/8" = 1'-0"



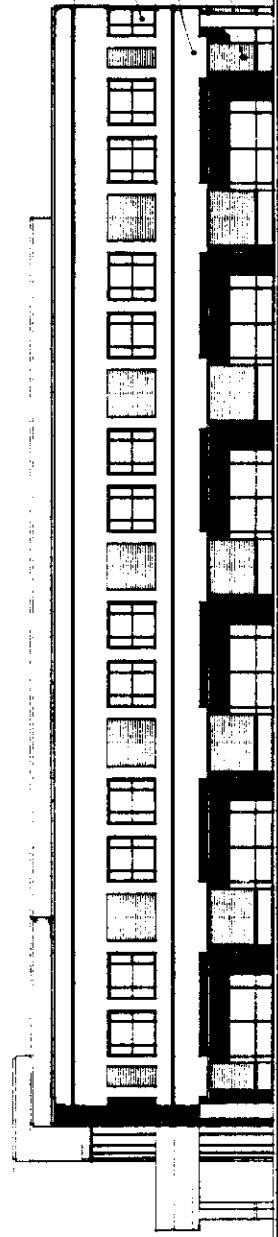
KISHIDA & REYES
ARCHITECTS
1000 W. 10TH AVENUE
DENVER, CO 80202
PHONE 333-1111

SK # 3

EXHIBIT B-2
ELEVATION - PROPOSED BLDG.



SOUTH ELEVATION
1/8"=1'-0"



WEST ELEVATION
1/8"=1'-0"

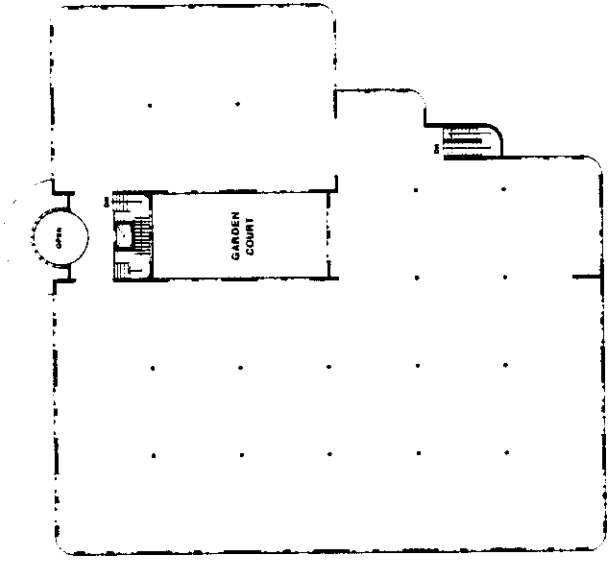
ROOF LINE +27'-0"
ANOD ALUM WINDOW WITH
TINTED GLASS
TILT-UP CONCRETE WITH
ELASTOMERIC FINISH
BRICK TILE VENEER


 HOSHIDA & REYES
 ARCHITECTS
 1000 W. 10TH ST., SUITE 200
 DENVER, CO 80202
 PHONE 333-1111
 FAX 333-1111

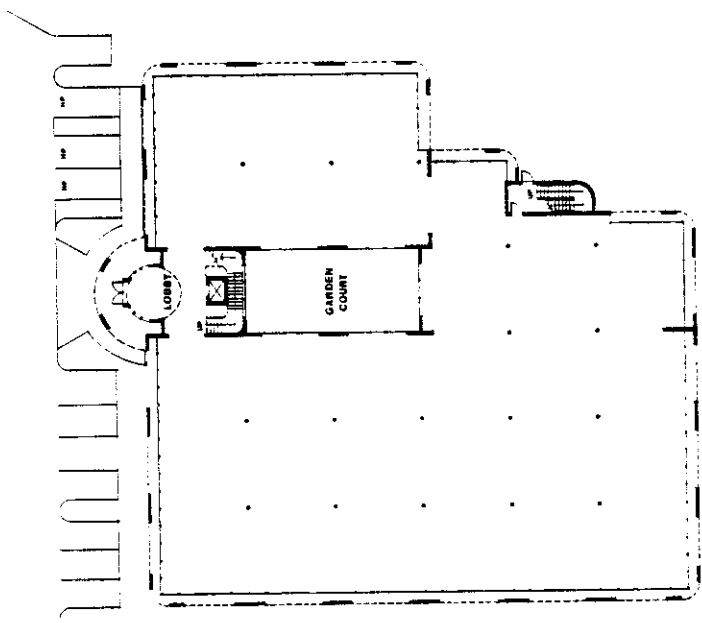
SK #4

EXHIBIT C
 FLOOR PLAN - PROPOSED BLDG.

SK#2
 HOSHIDA & DRIVES
 ARCHITECTS
 1000 BAYVIEW BLVD., SUITE 100
 OAKLAND, CALIF. 94612
 (415) 764-1100



SECOND FLOOR PLAN
 19,600 S.F.
 1/16" = 1'-0"



GROUND FLOOR PLAN
 18,700 S.F.
 1/16" = 1'-0"

GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT "B" BUILDING SPECIFICATIONS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
3. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
4. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
5. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
6. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
7. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
8. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
9. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
10. ALL STATE-ISSUED PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.

LEGEND

- 1. NEW WALL
- 2. NEW PARTITION
- 3. NEW CEILING
- 4. NEW FLOOR
- 5. NEW ROOF
- 6. NEW EXTERIOR FINISH
- 7. NEW INTERIOR FINISH
- 8. NEW MECHANICAL
- 9. NEW ELECTRICAL
- 10. NEW PLUMBING
- 11. NEW PAINT
- 12. NEW GLASS
- 13. NEW METAL
- 14. NEW WOOD
- 15. NEW CONCRETE
- 16. NEW STEEL
- 17. NEW BRICK
- 18. NEW BLOCK
- 19. NEW TILE
- 20. NEW CARPET

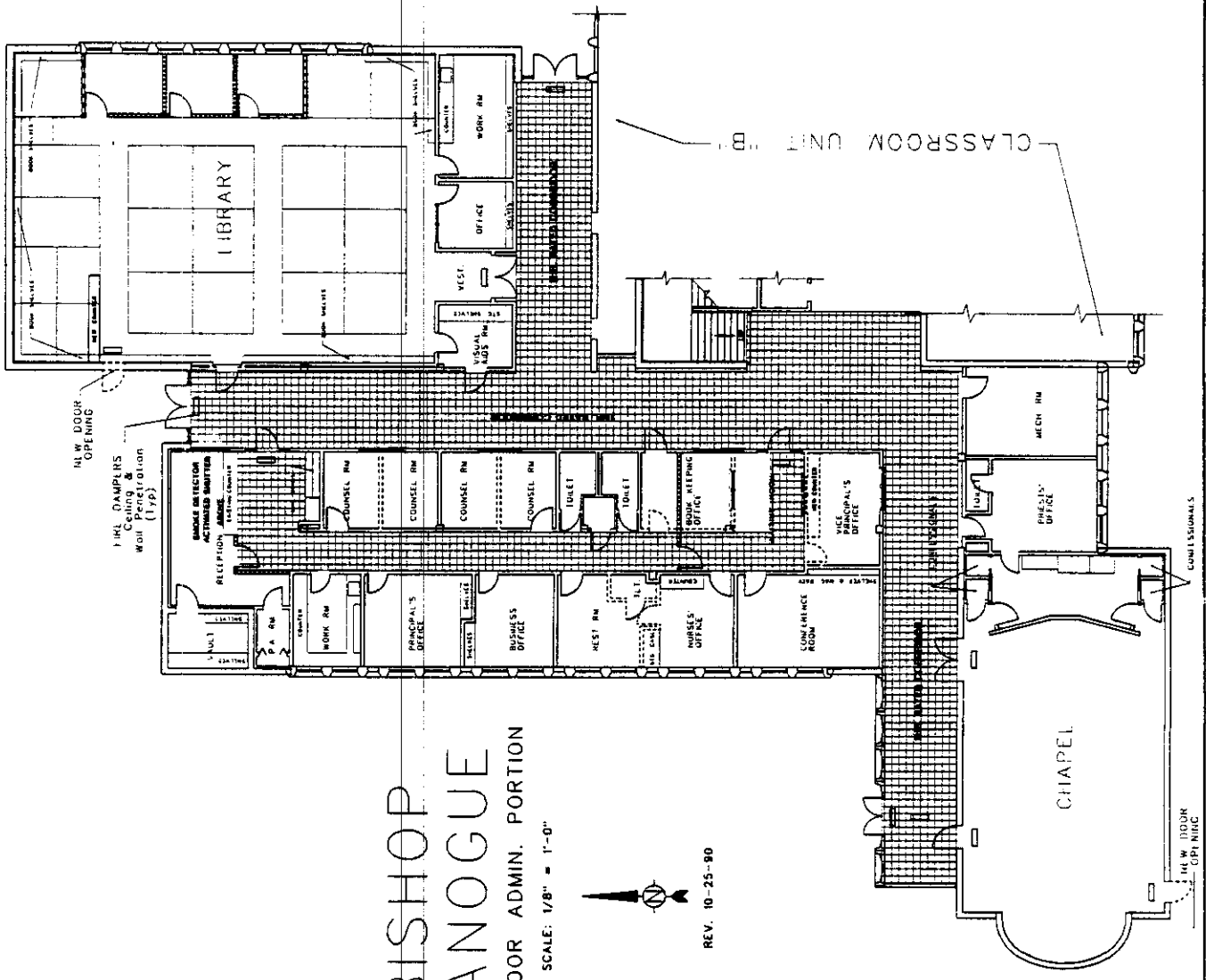
**EXHIBIT D
FLOOR PLAN
EXISTING BLDG**

ABBREVIATIONS

AB	ALUMINUM	BR	BRICK
AC	ACRYLIC	BS	BRICK SURFACE
AS	ASBESTOS	BT	BRICK TOWER
CA	CERAMIC TILE	CC	CONCRETE CURB
CB	CERAMIC BLOCK	CD	CONCRETE DRAIN
CC	CONCRETE CURB	CE	CONCRETE EDGE
CD	CONCRETE DRAIN	CF	CONCRETE FINISH
CE	CONCRETE EDGE	CG	CONCRETE GROUND
CF	CONCRETE FINISH	CH	CONCRETE HOLE
CG	CONCRETE GROUND	CI	CONCRETE INTERIOR
CH	CONCRETE HOLE	CJ	CONCRETE JOINT
CI	CONCRETE INTERIOR	CK	CONCRETE KEY
CJ	CONCRETE JOINT	CL	CONCRETE LIFT
CK	CONCRETE KEY	CM	CONCRETE MOUNT
CL	CONCRETE LIFT	CN	CONCRETE NAIL
CM	CONCRETE MOUNT	CO	CONCRETE OIL
CN	CONCRETE NAIL	CP	CONCRETE PATCH
CO	CONCRETE OIL	CQ	CONCRETE QUOTE
CP	CONCRETE PATCH	CR	CONCRETE REPAIR
CQ	CONCRETE QUOTE	CS	CONCRETE SURFACE
CR	CONCRETE REPAIR	CT	CONCRETE TIE
CS	CONCRETE SURFACE	CU	CONCRETE UNDER
CT	CONCRETE TIE	CV	CONCRETE VENEER
CU	CONCRETE UNDER	CW	CONCRETE WALL
CV	CONCRETE VENEER	CX	CONCRETE X-RAY
CW	CONCRETE WALL	CY	CONCRETE YIELD
CX	CONCRETE X-RAY	CZ	CONCRETE ZONE
CY	CONCRETE YIELD		
CZ	CONCRETE ZONE		

SHEET NO.		A	
PROJECT NO.		A-2	
DATE		9-26-90	
DRAWN BY		J. L. HALL	
CHECKED BY		J. L. HALL	
SCALE		AS SHOWN	
PROJECT		DESIGN SERVICES	
CLIENT		STATE OF CALIFORNIA	
LOCATION		SACRAMENTO	

STATE OF CALIFORNIA
REAL ESTATE & DESIGN SERVICES
 Department of General Services - State of California
 17-2-90



**BISHOP
MANOQUE**
 1st. FLOOR ADMIN. PORTION
 SCALE: 1/8" = 1'-0"

REV. 10-25-90

891-034

MAY 9, 1991

#15

EXISTING BLDG
 FLOOR PLAN
 EXISTING BLDG

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).

LEGEND

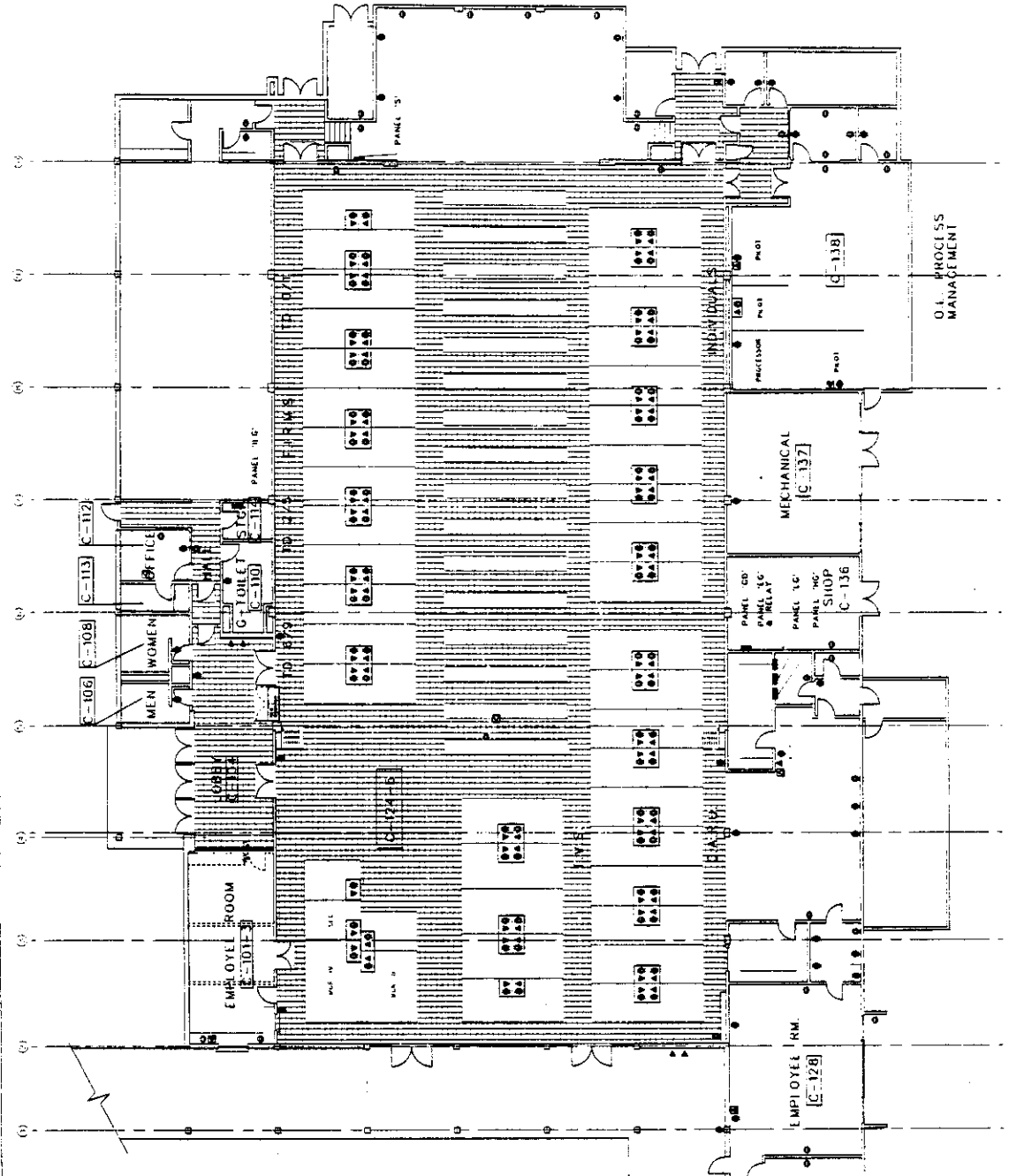
- 1. UNFINISHED FLOOR
- 2. FINISHED FLOOR
- 3. UNFINISHED CEILING
- 4. FINISHED CEILING
- 5. UNFINISHED WALL
- 6. FINISHED WALL
- 7. UNFINISHED DOOR
- 8. FINISHED DOOR
- 9. UNFINISHED WINDOW
- 10. FINISHED WINDOW
- 11. UNFINISHED STAIR
- 12. FINISHED STAIR
- 13. UNFINISHED ELEVATOR
- 14. FINISHED ELEVATOR
- 15. UNFINISHED MECHANICAL
- 16. FINISHED MECHANICAL
- 17. UNFINISHED ELECTRICAL
- 18. FINISHED ELECTRICAL
- 19. UNFINISHED PIPING
- 20. FINISHED PIPING
- 21. UNFINISHED PLUMBING
- 22. FINISHED PLUMBING
- 23. UNFINISHED HVAC
- 24. FINISHED HVAC
- 25. UNFINISHED FIRE
- 26. FINISHED FIRE
- 27. UNFINISHED SECURITY
- 28. FINISHED SECURITY
- 29. UNFINISHED TELECOMMUNICATIONS
- 30. FINISHED TELECOMMUNICATIONS

ABBREVIATIONS

- 1. UNFINISHED FLOOR
- 2. FINISHED FLOOR
- 3. UNFINISHED CEILING
- 4. FINISHED CEILING
- 5. UNFINISHED WALL
- 6. FINISHED WALL
- 7. UNFINISHED DOOR
- 8. FINISHED DOOR
- 9. UNFINISHED WINDOW
- 10. FINISHED WINDOW
- 11. UNFINISHED STAIR
- 12. FINISHED STAIR
- 13. UNFINISHED ELEVATOR
- 14. FINISHED ELEVATOR
- 15. UNFINISHED MECHANICAL
- 16. FINISHED MECHANICAL
- 17. UNFINISHED ELECTRICAL
- 18. FINISHED ELECTRICAL
- 19. UNFINISHED PIPING
- 20. FINISHED PIPING
- 21. UNFINISHED PLUMBING
- 22. FINISHED PLUMBING
- 23. UNFINISHED HVAC
- 24. FINISHED HVAC
- 25. UNFINISHED FIRE
- 26. FINISHED FIRE
- 27. UNFINISHED SECURITY
- 28. FINISHED SECURITY
- 29. UNFINISHED TELECOMMUNICATIONS
- 30. FINISHED TELECOMMUNICATIONS

PROJECT NO.	DATE	SCALE
100-1000	10/16/90	1/8" = 1'-0"
PROJECT NAME	CLIENT	DATE
BISHOP MANOGUE GYMNASIUM	STATE OF OHIO	10/16/90
PROJECT TYPE	PROJECT TYPE	PROJECT TYPE
REVISIONS	REVISIONS	REVISIONS
NO.	DATE	DESCRIPTION
1	10/16/90	ISSUED FOR PERMIT
2	10/16/90	ISSUED FOR PERMIT
3	10/16/90	ISSUED FOR PERMIT
4	10/16/90	ISSUED FOR PERMIT
5	10/16/90	ISSUED FOR PERMIT
6	10/16/90	ISSUED FOR PERMIT
7	10/16/90	ISSUED FOR PERMIT
8	10/16/90	ISSUED FOR PERMIT
9	10/16/90	ISSUED FOR PERMIT
10	10/16/90	ISSUED FOR PERMIT

REAL ESTATE & DESIGN SERVICES
 Division of Construction - State of Ohio



BISHOP MANOGUE
 GYMNASIUM

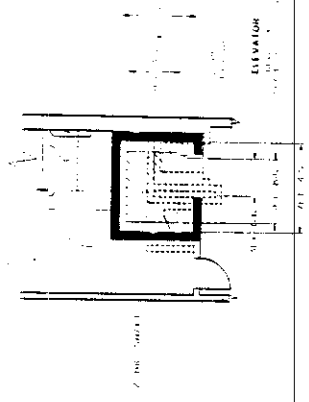
SCALE: 1/8" = 1'-0"

REV. 10-16-90

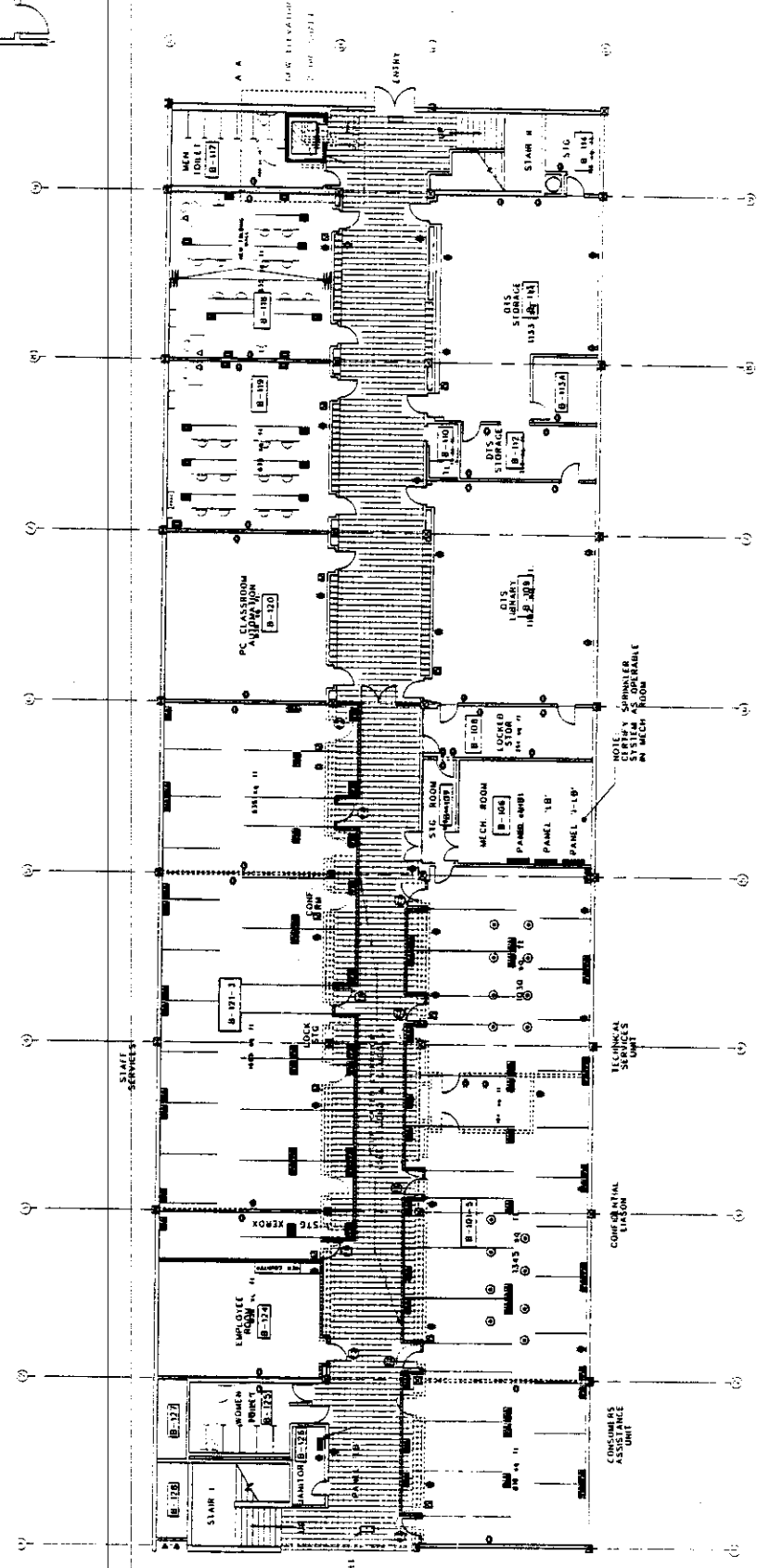


NOTE:
 ACCESS FLOORING AT GYM
 AND CAFETERIA FLOOR
 RECESSED CEILING.

EXHIBIT D FLOOR PLAN EXISTING BLDG



BISHOP MANOGUE



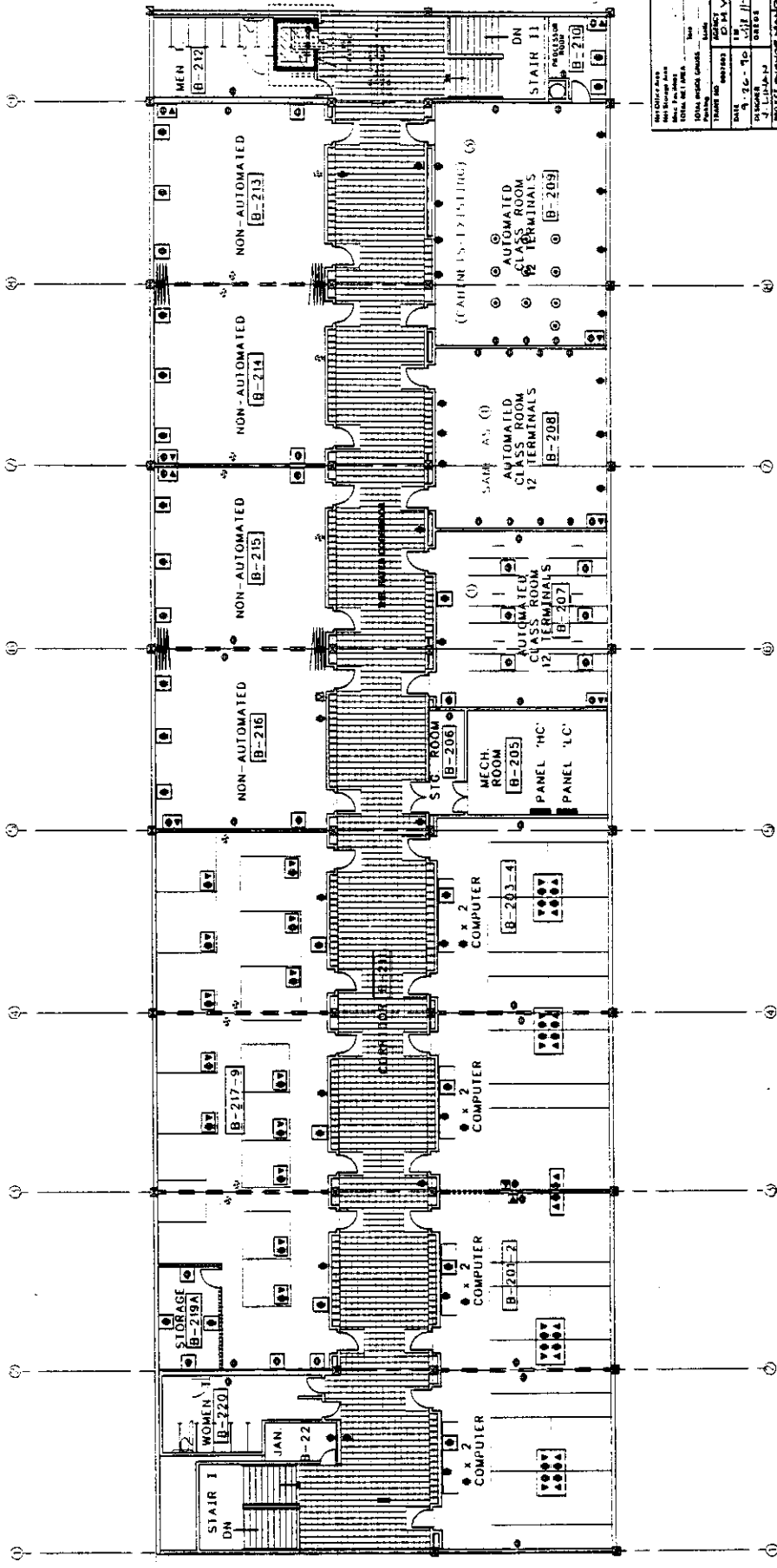
FIRST FLOOR
SCALE: 1/8" = 1'-0"

REAL ESTATE & DESIGN SERVICES Dept. of Capital Budget - State of Oregon 1000 NE Oregon Street, Suite 200 Portland, Oregon 97232 Phone: 503.251.1111 Fax: 503.251.1112 Email: info@resdesign.com	
Project Name: 1000 NE Oregon Street Project No: 09-01 Drawing No: A-3 Date: 10/1/09 Scale: 1/8" = 1'-0" Author: J. [Name] Checker: [Name] Title: [Title]	A A-3

#15

EXHIBIT D
 FLOOR PLAN
 EXISTING BLDG

BISHOP MANOGUE



PROJECT NO.	DATE	SCALE	BY
100-100-100	11-7-91	A-4	J.M.
PROJECT NAME	CLIENT	LOCATION	
BISHOP MANOGUE	STATE DEPT. OF PUBLIC UTILITIES	100-100-100	
DESIGNER	DATE	SCALE	BY
J.M.	11-7-91	A-4	J.M.

REAL ESTATE & DESIGN SERVICES
 Department of Geologic Survey, State of California

SECOND FLOOR
 SCALE: 1/8" = 1'-0"

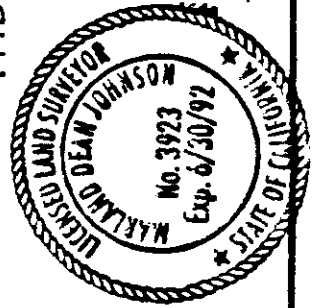
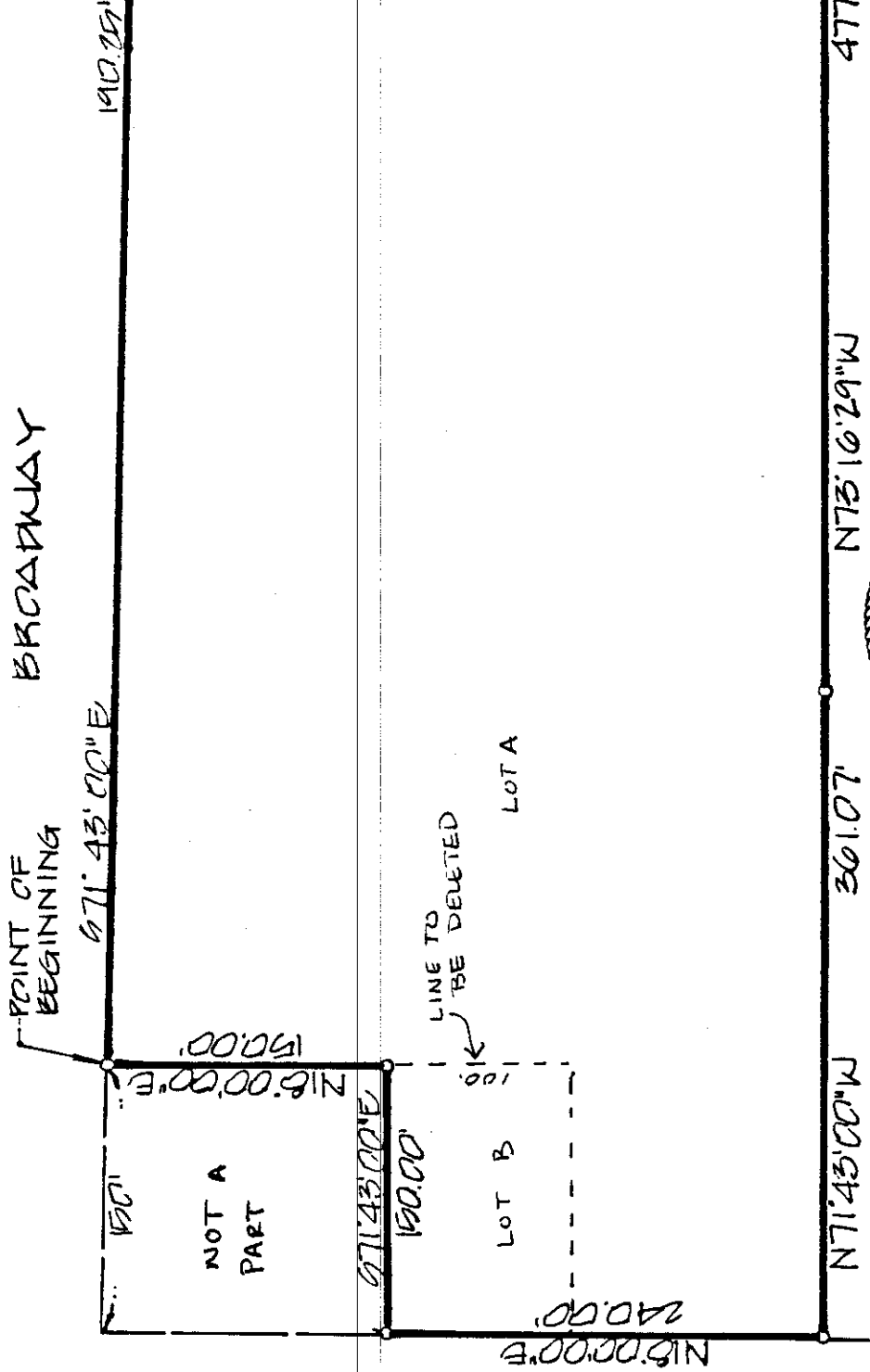
P91-034

MAY 9, 1991

#15

EXHIBIT B - LOT LINE MERGER

DATE: 11.03.21.91
 \$1100



Markland D. Johnson
 MARKLAND D. JOHNSON, L.S. 3923

PORTION PARCEL A & PARCEL B, C, & D - RECORD OF SURVEY BK. 21 PG. 33
 SACRAMENTO CALIFORNIA

DATE: 11.03.21.91
 SHEET: 1 OF 1
 FILE NO.: 110247

mmp MORTON & PITALO, INC.
 CIVIL ENGINEERING · PLANNING · SURVEYING



SCALE: 1" = 100'

EXHIBIT F
LEGAL DESCRIPTION
LOT LINE MERGER



MORTON & PITALO, INC.
Civil Engineering Planning Surveying
1788 Tribute Road, Suite 200
Sacramento, CA 95815
916/927-2400
Fax: 916/567-0120

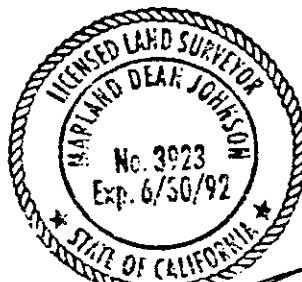
FEBRUARY 15, 1991

DESCRIPTION
MERGER OF APN'S
010-224-21 & 25

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS;

A PORTION OF PARCEL A AND PARCELS B, C, AND D, AS SAID PARCELS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 21 OF SURVEYS AT PAGE 33 OFFICIAL RECORDS OF SAID COUNTY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT ON THE SOUTH LINE OF BROADWAY FROM WHICH THE INTERSECTION OF SAID SOUTH LINE AND THE EAST LINE OF 21ST STREET BEARS NORTH 71°43'00" WEST 150.00 FEET; THENCE FROM SAID POINT OF BEGINNING AND ALONG SAID SOUTH LINE SOUTH 71°43'00" EAST 690.25 FEET; THENCE SOUTH 18°12'30" WEST 377.00 FEET; THENCE NORTH 73°16'29" WEST 477.92 FEET; THENCE NORTH 71°43'00" WEST 361.07 FEET TO A POINT ON THE EAST LINE OF SAID 21ST STREET; THENCE ALONG SAID EAST LINE NORTH 18°00'00" EAST 240.00 FEET; THENCE SOUTH 71°43'00" EAST 150.00 FEET; THENCE NORTH 18°00'00" EAST 150.00 FEET TO THE POINT OF BEGINNING.



SIERRA CURTIS NEIGHBORHOOD ASSOCIATION

2791 24th Street, Sacramento, California 95818, (916) 452-3005

April 3, 1991

CITY OF SACRAMENTO
CITY PLANNING DIVISION

APR 05 1991

Don Smith
Planning Division
City of Sacramento
1231 I St., 2nd floor (Current Planning)
Sacramento, CA 95814

RECEIVED

Re: Bishop Manogue School

Dear Don,

I spoke with you a few weeks ago regarding the Bishop Manogue School conversion at 2541 21st Street (21st and Broadway).

I received the plans for this project as a member of the Sierra Curtis Neighborhood Association Board of Directors. I have discussed the plans that we received for this project with the SCNA Neighborhood Concerns Committee. Our committee had several concerns.


We understand that a new corridor plan for Broadway is now being proposed and considered by the Planning Commission. While we realize that the timing of the Bishop Manogue project may not allow consideration of the new Broadway plan, we would hope that the project would at least be sensitive to some of the issues that will surely arise in the corridor planning process. These issues are "pedestrian-friendly" development, sensitive and attractive design, adequate landscaping and tree planting, and uses compatible with the surrounding neighborhoods and the best aspects of Broadway.

The proposed Bishop Manogue office project is not "pedestrian-friendly". It proposes a long stretch of parking lot adjacent to Broadway. The project seems to include little or no new landscaping. From what we can tell, the new building will be a tilt-up concrete building with some brick tile veneer and aluminum windows with tinted glass. Another tilt-up office building and parking lot is not likely to contribute to the enhancement of Broadway as a retail commercial/ entertainment corridor.

ATTACHMENT A

Thank you for requesting our comments on this project. We hope to be able to work with you and the Planning Division to ensure quality development in the Curtis Park neighborhood.

Sincerely,



Janet D. Robinson
Chairman, Neighborhood
Concerns Committee