

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0010574
Insp Area: 2

Site Address: 7828 CALZADA WY SAC
Parcel No: 117-1310-027 JACINTO VILLAGE-1 LOT 27

Sub-Type: NSFR
Housing (Y/N): N

CONTRACTOR
I&L PROPERTIES
3434 MARCONI AV. STE. C
SACRAMENTO CA. 95821

OWNER

ARCHITECT

Nature of Work: MP 1872 2 STORY 8 ROOM SFR

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 66102822 Date 9-19-00 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law)

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date _____ Applicant/Agent Signature _____

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier RELIANCE INS CO Policy Number NWA2047932-00 Exp Date 11/18/2000

____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 9-19-00 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Project Address: 7828 CALZADA WY Assessor Parcel # 117-131-27
Lot Number: 27 Subdivision Jacinto Village Unit: 1

OWNER INFORMATION:

Legal Property Owner: J&L Properties Phone# 916-487-3434
Owner Address: 3434 Marconi Ave City Sacto State CA Zip 95821

CONTRACTOR INFORMATION:

Contractor: J&L Properties Lic. # 660088 Phone # 487-3434 Fax 487-3815

PROJECT INFORMATION:

Land Use Zone RIA Occupancy Group R3 Construction Type VN Fed Code 1A

No. of Stories: _____ No. of Rooms: _____ Street Width: _____

1st Floor Area 983 2nd Floor Area 889 Basement _____ Roof Material _____

AREA IN SQUARE FOOT OF:

Dwelling/Living 1872

Garage/Storage 683

Decks/Balconies _____

Carports _____

SCOPE OF WORK: New SFD: PLAN 57J

FOR OFFICE USE ONLY

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
 - a) Assessor's Parcel Number
 - b) New Floor Area
 - c) Owners Name
 - d) Project Address

Date: _____ Received by: (staff) _____ Permit # _____



WesPac

insulation
a MASCO Company



809 North Market Blvd., Ste. 11 • Sacramento, CA 95834
(916) 927-7149 • Fax (916) 927-4257
Lic. #487478

Installed Insulation Certificate

We certify that the building insulation listed herein is installed in conformance with current energy conservation regulations, California Administrative Code, Title 24, State of California

R FACTOR	AREA	TYPE	INCHES/BAGS (BLOWN)
30	ceiling	batt	10
19	ceiling	batt	6
13 1/9	ext. wall	batt	3.5/4

Certified by PHUB
Title Secretary
Address & Lot Number Tranona Point lot 27
Date Installed 12/24/00

Handwritten signature: Frank [unclear]



OMEGA PRODUCTS INTERNATIONAL, INC.

This is to Certify that

PRELANCE LATH

has successfully completed the training course

for application of the

Diamond Wall Insulating One Coat System.

The holder of this certificate is an independent contractor and is beyond the control of Omega Products International, Inc. The issuance of this certificate in no way implies a guarantee by Omega Products International, Inc. of the quality or installation of Omega Applied Products.

Presented at ORANGE, CA

Certified this 20TH day of APRIL 1999

Stephen P. Seif

No. 2332

Laoyne Point

lot

27

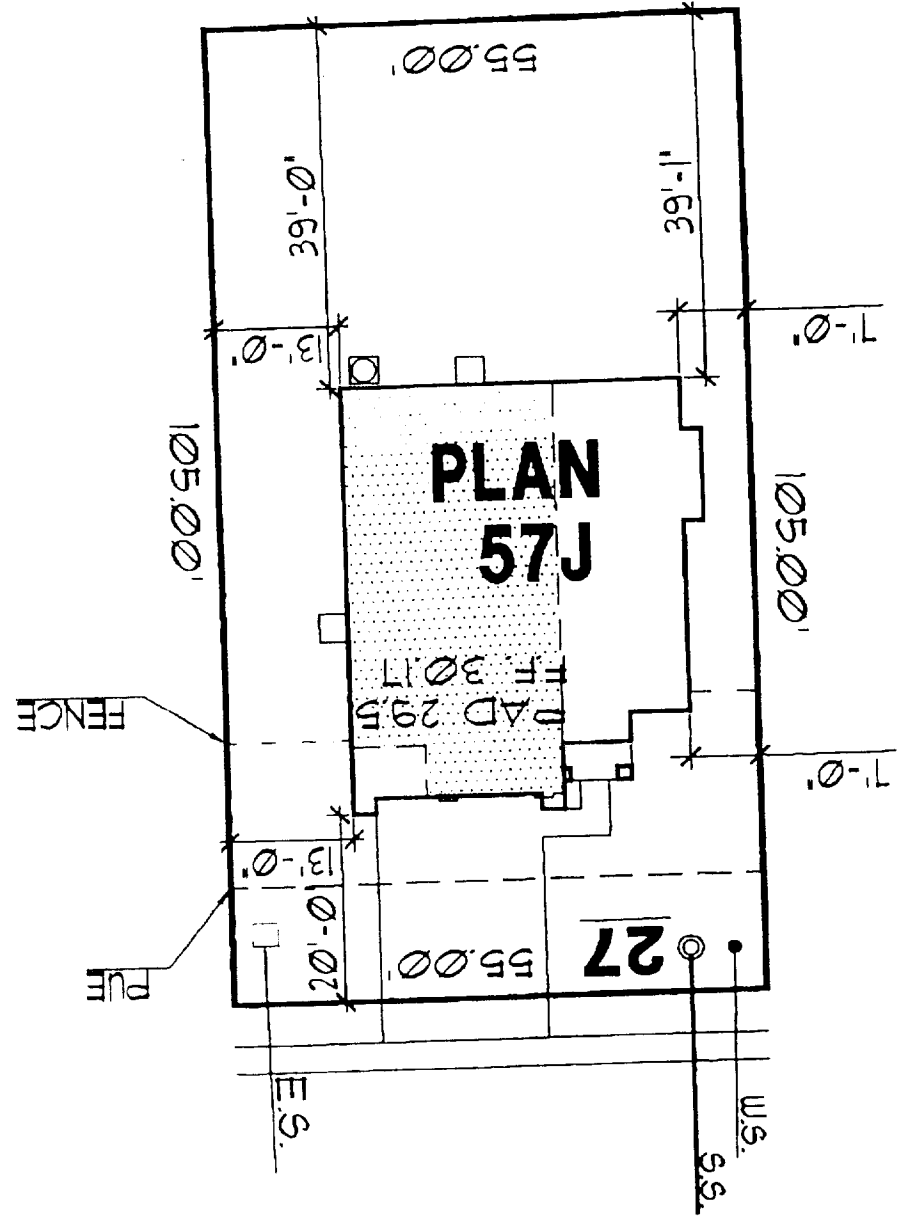
copy

to inspector



1 - STORY HOUSE
 2 - CAR GARAGE
 SO, part of the lot at all times and it is unlawful to break any terms or alterations from the same without written permission from the Building Inspection Division.
 The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

CALZADA WAY



APPROVED FOR RELEASE
 DATE: *Scott Krueger*
 APPROVED BY: *Scott Krueger*
 BUYER: _____

LAGUNA POINTE
 PROPOSED SITE PLAN
 JACINTO VILLAGE UNIT NO. 1
 SUBDIVISION

JTS Communities
 3434 Marconi Avenue
 Sacramento, CA 95821 (916) 487-3434
 Suite A

ORIGINAL
 AUG 15 2000
 Cindy Moreno

JTS
 LARRY T. BISHOP
 REGISTERED ARCHITECT
 J & L Properties
 Architectural Division
 REVISIONS

of _____ sheets
 Sheet _____
 Scale 1/4" = 1'-0"
 Date AUG 9, 2000
 Drawn CD
 Check _____