

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 9904754**  
**Insp Area: 3**

**Site Address: 5929 61ST ST SAC**  
Parcel No: 027-0284-009

Sub-Type: ASFR  
Housing (Y/N): N

CONTRACTOR  
FBCO CONSTRUCTION  
3319A JULLIARD AV  
SAC CA 95826

OWNER  
BENNETT ARLENE A  
5929 61ST ST  
SACRAMENTO CA 95824

ARCHITECT

**Nature of Work: REMODEL OF BATHROOMS & CONVERT GARAGE TO LIVING SPACE**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 659954 Date 5-12-99 Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

\_\_\_\_\_, I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

\_\_\_\_\_, I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

\_\_\_\_\_ I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 5-12-99 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_\_ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier LEGION INSURANCE CO Policy Number WC31189611 Exp Date 04/01/2000 [Signature]

\_\_\_\_\_, (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall, forthwith comply with those provisions.

Date 5-12-99 Applicant Signature [Signature]

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

### City of Sacramento Development Services Division Planning and Zoning Information Request

Project Address: 5929- 61<sup>st</sup> St

Assessor's Parcel Number: 027 0204 009

PREVIOUS USE \_\_\_\_\_

Current Land Use: SI Parking

Description of Request/Proposed Use: Converting garage to room, other interior work

IS THIS A CHANGE OF USE? \_\_\_\_\_

Zoning Designation: R-1

Prior Applications for Project Site(P#,Z#,DRPB#): \_\_\_\_\_

Comments: They are providing a parking place in lieu of garage

Are There Any Planning Issues?: (Circle One) YES NO

STAFF Site Plan Check Required? (Circle One) YES NO

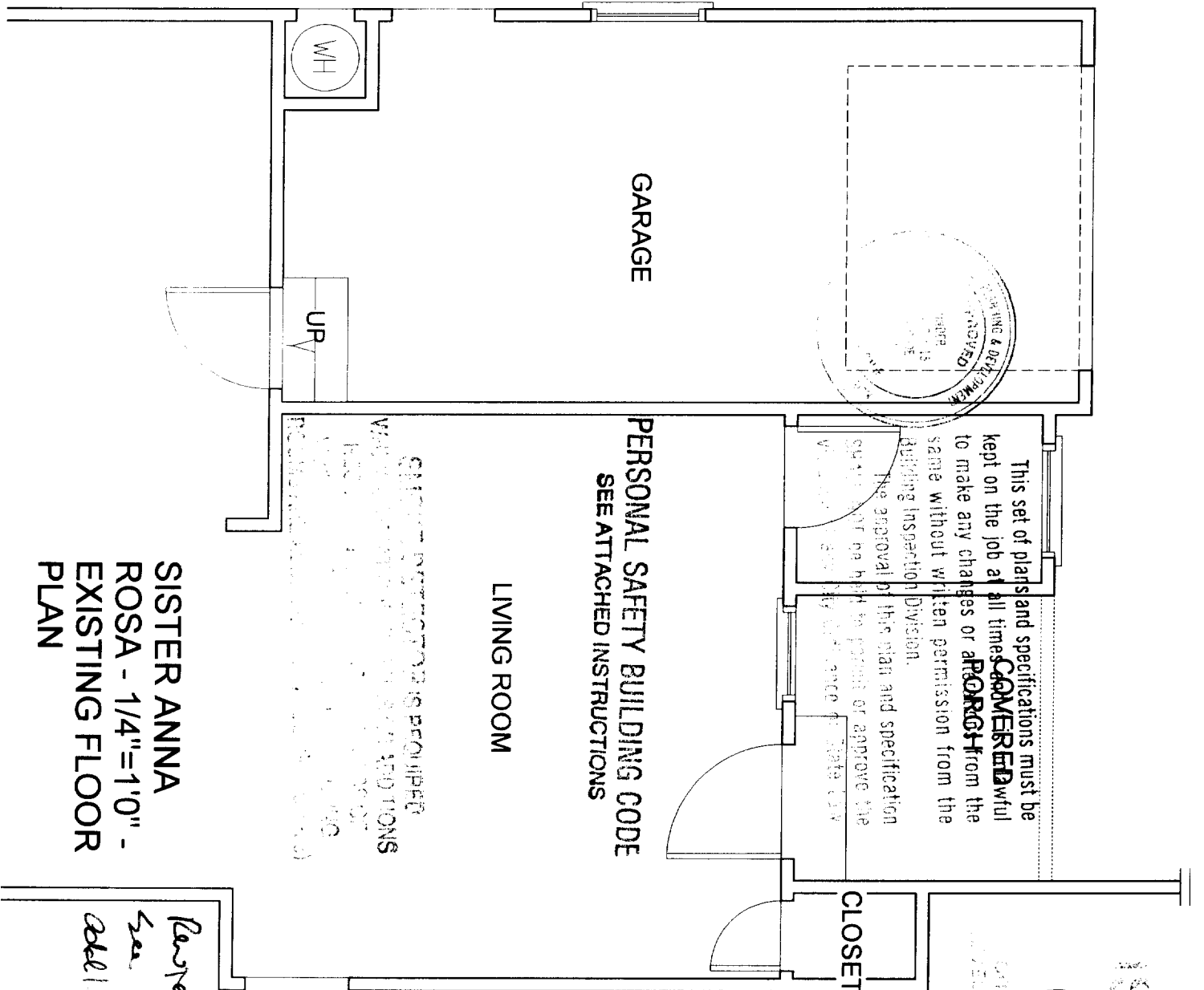
FIELD INSPECTION REQUIRED (Circle one) YES NO

Design Review/ Preservation Required?: (Circle One) YES NO

\*\*\*

Planning Review by/Date: \_\_\_\_\_ 5-12-99

egress or rescue windows from sleeping rooms shall have a minimum net clear opening of 5.7 square feet. The minimum net clear opening height dimension shall be 24 inches. The minimum net clear opening width dimension shall be 20 inches. Where windows are utilized as a means of egress or rescue they shall have a finished sill height not more than 44 inches above the floor



**ISSUED**

**MAY 12 1999**

DEPT. OF STATEMENT  
DEVELOPMENT SERVICES DIV.

The approval of all Plumbing  
Mechanical and Electrical  
is subject to field inspection

**SISTER ANNA  
ROSA - 1/4"=1'0" -  
EXISTING FLOOR  
PLAN**

*Revised by Mr. P.S. 5/12/99  
See file 29 +  
addl. inf. - attached*

Remove & frame in garage door. Install pressure treated mudsill directly to concrete. Existing floor with construction adhesive or install concrete capped stem wall, epoxy doweled header into existing concrete floor & side walls. Use #4 rebar per code. *Existing header*

Install ceiling joists for new recessed can lights & new ceiling/wall insulation per code.

Fur out walls of garage as required at existing concrete foundation *3.0x4.0 windows existing*

Gut existing garage completely to studs

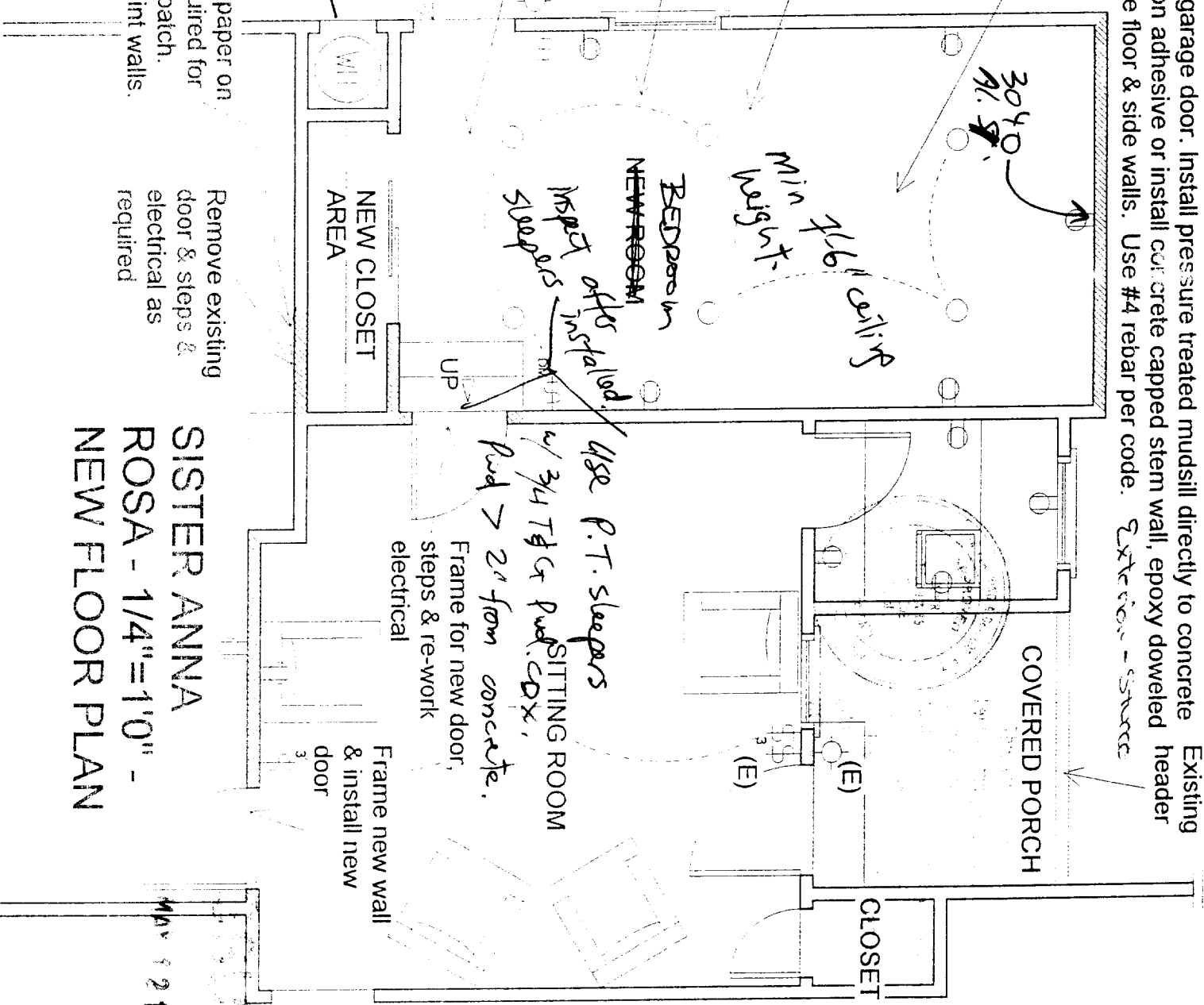
Add HVAC supplies to this room & electrical per code (E)

New exterior door w/threshold

Remove wallpaper on these as required for new drywall patch. Texture & paint walls.

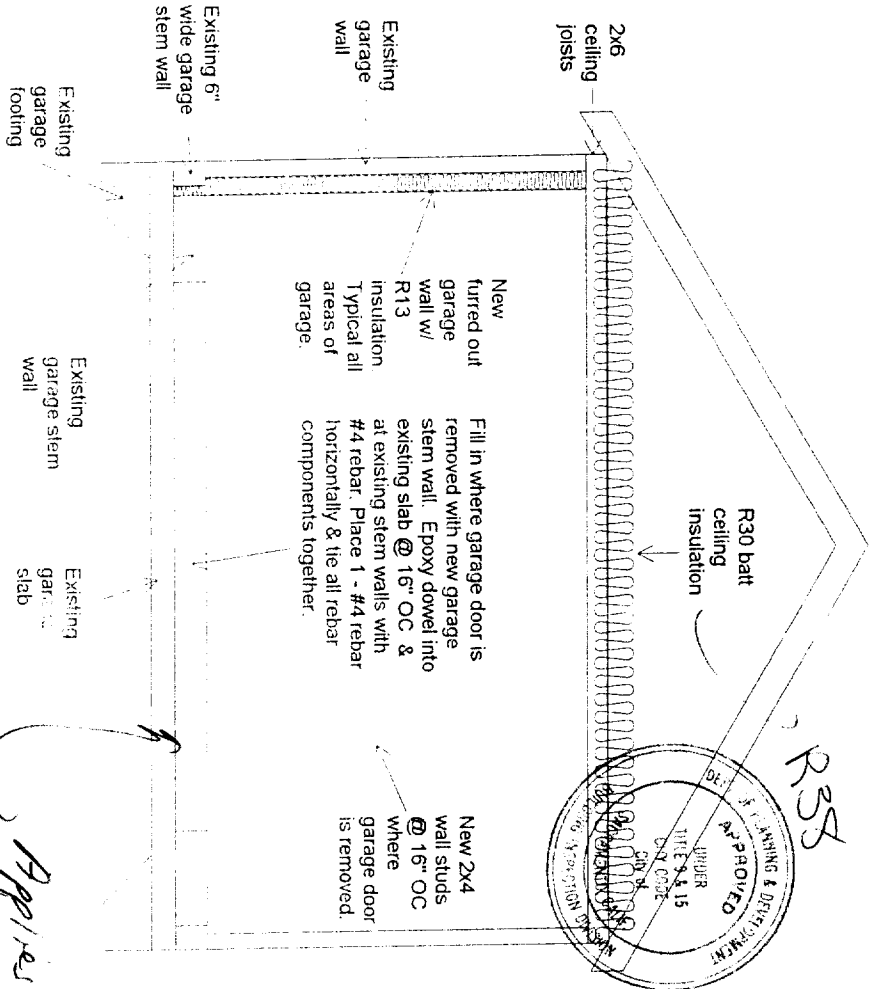
Remove existing door & steps & electrical as required

**SISTER ANNA ROSA - 1/4"=1'0" - NEW FLOOR PLAN**



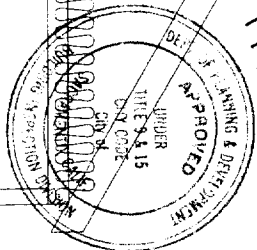
Room 10'0" x 31"  
 Insulation  
 De Nuro, R35  
 walls R13

ED  
 1/2 1999



**GARAGE DOOR REMOVAL & CLOSE-IN DETAIL** - with new concrete stem wall. 1/4" = 1' 0". Actual interior room dimensions are variable. See floor plan for actual room dimensions.

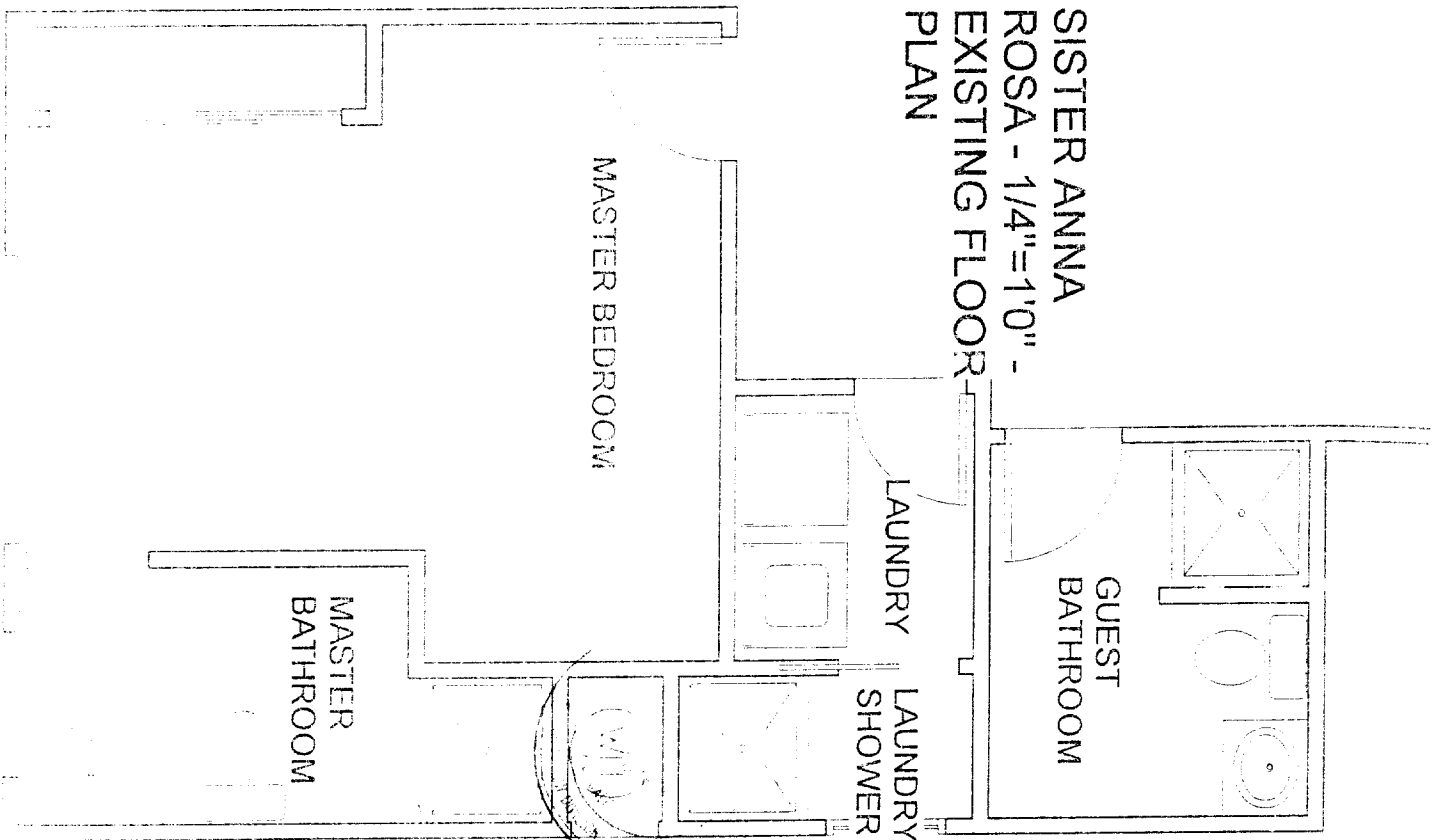
*Applies to doorway that was filled in, in back for*



THIS SEAL IS NOT VALID UNLESS KEPT ON THE DRAWING TO WHICH IT APPLIES. THE SEAL OF AN ENGINEER SHALL NOT BE USED IN VIOLATION OF ANY LAW.

MAY 12 1999

SISTER ANNA  
 ROSA - 1/4"=1'0" -  
 EXISTING FLOOR  
 PLAN



*Remove & Replace  
 Toilet  
 Lav  
 Flooring  
 Cabinets*

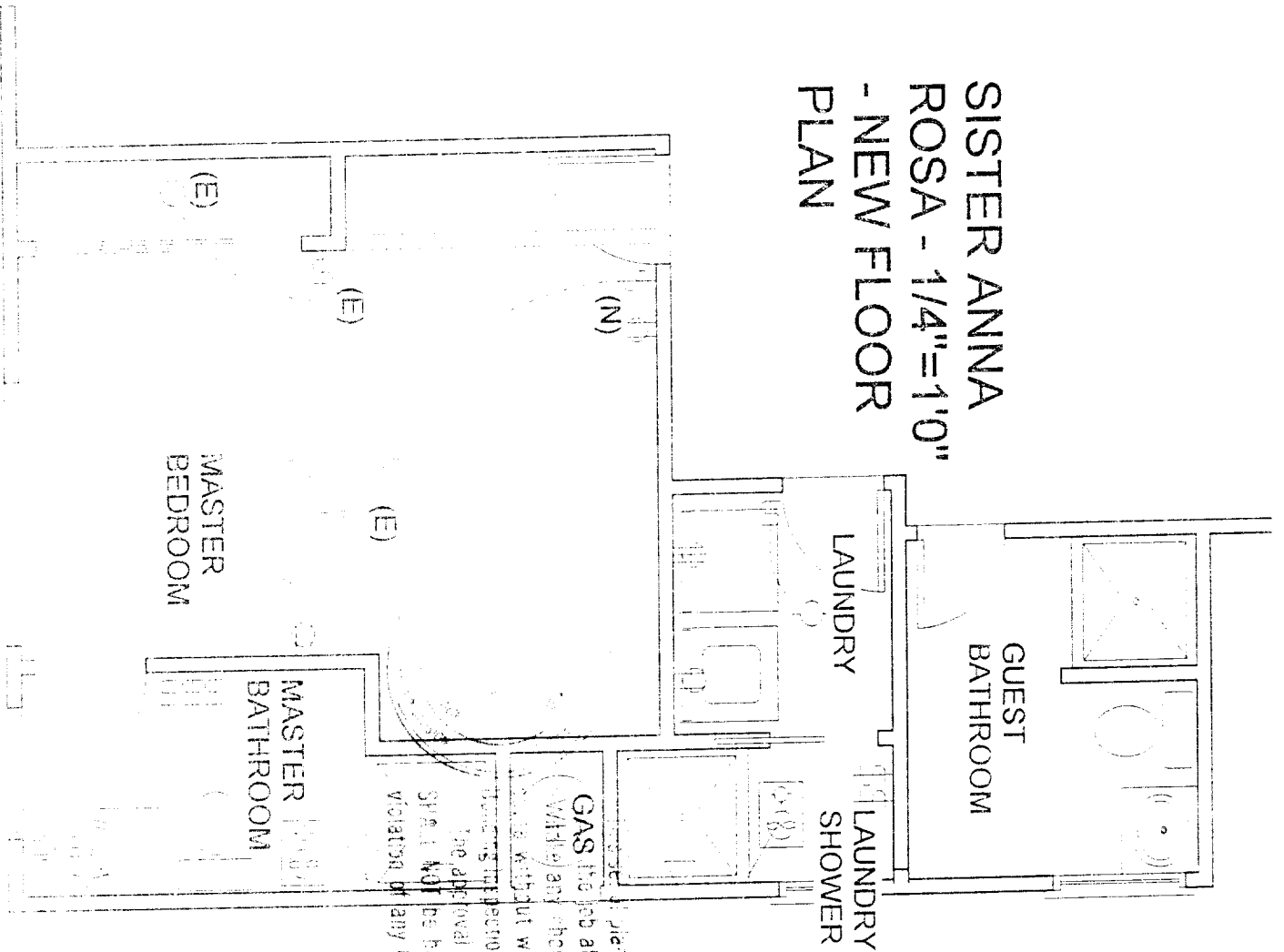
...sections then  
 ... it is under  
 ... alterations from the  
 ... A local written permission from the  
 ... and inspection Division.

The approval of this plan and specification  
 SHALL NOT be held to permit or approve the  
 violation of any City Ordinance or State Law.

ISSUED

MAY 12 1999

SISTER ANNA  
 ROSA - 1/4"=1'0"  
 - NEW FLOOR  
 PLAN



MAY 12 1999

CITY OF SACRAMENTO - BUILDING INSPECTION DIVISION  
SPECIAL PACKAGE D/E FOR RESIDENTIAL ADDITIONS IN CLIMATE ZONE 12  
100 TO 999 SQUARE FEET

NOTE: ADDITIONS OF 100 SQUARE FEET OR L WITH 50% OR LESS GLAZING NEED MEET ONLY APPLICABLE FEATURES OF MANDATORY MEASURES CHECKLIST ON BACK OF THIS FORM.

CERTIFICATE OF COMPLIANCE OF 1R ADDITION

Project Title Garage Conversion Date 5/12/99  
Project Address 5929 61st St Sac  
Total Floor Area Addition 210 SF Addition and existing total \_\_\_\_\_  
Total Glazing Area Addition 24 SF Glazing removed existing 0

REQUIREMENTS THAT APPLY TO NEW AREA: BUILDING SHELL INSULATION:

COMPONENT	TYPE (BATT OR BLOWN)	100 SQUARE FEET R VALUE MINIMUM	101 - 999 SQUARE FEET R VALUE MINIMUM
Ceiling	<u>R38 Batt</u>	<u>R - 19</u>	<u>R - 38</u>
Wall	<u>R13 Batt</u>	<u>R - 13</u>	<u>R - 13</u>
Raised Floor	<u>n/a.</u>	<u>R - 13</u>	<u>R - 19</u>
Shading			
North/South Facing Glazing	0.66 maximum	Enter Shading Device: _____	
East/West Facing Glazing	0.40 maximum	Enter Shading Device: _____	
Penetration (Glazing)		<u>DOUBLE REQUIRED</u>	<u>9% U = .75 MAX</u>
Maximum Glazing Area of New Addition	16% (Example: New Glazing (-) Removal of Existing Glazing + Total Area Additional Square Footage)		

Thermal Mass: Package D = 20 per cent  
See Worksheet Package E = 05 per cent

COMPLETE ATTACHED WORKSHEET

NEW HEATING, COOLING OR DOMESTIC WATER HEATING:

Systems installed in conjunction with addition must comply with the appliance standards applicable to new residences. Complete the following standards if new equipment is being installed in conjunction with the room addition; cannot add electric resistant heat:

HVAC SYSTEMS	Minimum Efficiency (SE, SEER, HSPF)	Duct Insulation	Output (Btuh)	Manufacturer/Model # (Or approved equal)
Type (Furnace, air conditioner, heat pump)	<u>78% / 8.8</u>	<u>R-4</u>		
	<u>10.0 / 9.7</u>	<u>R-4</u>		

HOT WATER SYSTEMS	Type	Capacity	Manufacturer/Model # (or approved equal)	Special Features
System Type (Storage gas, etc.)				

COMPLIANCE STATEMENT

This certificate of compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6, of the California Code of Regulations, and the administrative regulations to implement them. This certificate has been signed by the individual with overall design responsibility. When this certificate of compliance is submitted for a single building plan to be built in multiple orientations, any shading feature that is varied is indicated in the Special Features/Remarks section.

Designer or Owner (per Business & Professions Code) Cindy Warren Documentation Author \_\_\_\_\_  
Name Ego Construction Inc Name Cindy Warren  
Title/Firm: Contractor Title/Firm: \_\_\_\_\_  
Address: 3319A Jollard Dr. Sac 95821 Address \_\_\_\_\_

ISSUED  
MAY 12 1999



CITY OF SACRAMENTO  
DEPARTMENT OF NEIGHBORHOODS, PLANNING AND DEVELOPMENT SERVICES  
BUILDING INSPECTIONS DIVISIONS  
RESIDENTIAL PLAN CHECK

PLAN CHECK #: \_\_\_\_\_

JOB ADDRESS: 5929 61<sup>st</sup> St. DATE: 5/12/99

These sheets, when attached to a set of plans, become a part of those plans and must remain attached thereto. The items listed below, when circled, must be complied with as well as items noted on plans. The approval of this plan and specification shall not be held to permit or approve the violation of any city ordinance or State law.

I. BUILDING CODE REQUIREMENTS

1. Place 4" of well graded crushed rock under dwelling slab floors (3/8" minimum to 1 1/2 inch maximum).
2. Expansive soils (special foundation requirements). See note on plan. See attached soils report on plan.
3. When required, all bolts, all hold downs and other foundation hardware shall be installed at foundation inspection.
4. All bearing walls supporting a second floor must rest on a continuous footing.
5. Provide 1 square foot of screened opening (1/4" mesh) per 150 sq. ft. of underfloor area.
6. Provide 18" by 24" access to underfloor area. Accessible underfloor clearance shall not be obstructed by pipes, ducts or other construction.
7. Foundation cripple walls must be braced as per bracing requirements of UBC.
8. Stud size, length, and spacing shall conform to UBC.
9. Provide post base and post cap connections.
10. Provide weep screed foundation plate line on all exterior stucco walls.
11. Plywood roof sheathing at overhangs or soffits must be of exterior type.
12. Roof overhang, including gutter, cannot project more than 24" into side yard.
13. Property line walls for zero clearance to be one hour construction.
14. Install materials for one hour construction on garage side of common wall and/or ceiling with dwelling with dwelling. Protect all supportive beams and posts.
15. Door between R-3 (dwelling) and U-1 (garage) to be 1 3/8" solid core, self closing and tight fitting.
16. Stairways shall meet minimum requirements as follows: Maximum rise 8", run (tread) 9", handrail 34" to 38" above nosing, minimum stair width 36" and minimum headroom 6' and 8".
17. Usable storage space under stairways shall be of one hour construction.
18. One operable window in each sleeping room must have a minimum net clear opening width of 20", a minimum net clear height of 24" and a minimum net clear of 5.7 sq. Ft. in that opening. Window sill height shall not exceed 44" above the finished floor.
19. Ventilation for bathrooms, laundry rooms and laundry areas to have 1/20th of floor area in operable window area with a minimum size to 1 1/2 sq. ft. or provide a fan vented to the exterior. Fan to be on a separate switch.
20. Provide attic ventilation. Concealed space between rafter and ceiling joist shall be ventilated unless solidly insulated.
21. Provide truss calculations and layout drawing.
22. Provide an approved 120 volt smoke detector above stairways and at access to bedrooms, on each floor, and in vaulted areas, and in each bedroom.
23. Masonry chimneys shall be fastened at the plate line to the structural framework of the building with 2 1/2" bolts per strap.
24. Chimneys shall terminate with a 14 gauge 3/4" mesh or 12 gauge 1" mesh galvanized spark arrestor 2" above the flue liner.

MAY 12 1999

1501117

## II. ELECTRICAL CODE REQUIREMENTS

25. Electrical meters shall have a minimum of 30" wide and 36" deep clear working space in front of equipment. Install UFER ground per NEC requirements. VERIFY THE SERVICE LOCATION WITH SMUD.
26. Service equipment and panel boards shall not be located in closets, lavatories, or under stairways.
27. Electrical receptacles in habitable rooms shall be placed a maximum 12' apart, 6' maximum from any door opening and any wall space wider than 2'. In kitchen and dining area, any counter wider than 12" separated by ranges, ovens, sink, refrigerator etc., shall be provided with a receptacle.
28. Provide two evenly balanced 20 amp small appliance branch circuits for the receptacles in kitchen, pantry, dining and breakfast areas.
29. Provide one 20 amp circuit for dishwasher and disposal.
30. Provide at least one outside weatherproof, 120 volt G.F.C.I. protected receptacle.
31. Provide G.F.C.I. protection to all 120 volt, 15 & 20 amp receptacles installed outdoors, in bathrooms, in garages, in basements, and within 6' horizontally of a kitchen sink.
32. Provide G.F.C.I. protection to hydromassage tubs.
33. Recessed lighting fixtures installed in insulated ceilings must be I.C. rated and thermally protected. Single wall fixtures required to be boxed in.
34. Surface mounted lighting fixtures in closets must be a minimum of 12" from storage areas. Flush mounted fixtures must be a minimum of 6" away.

## III. PLUMBING/MECHANICAL CODE REQUIREMENTS

35. All heating and cooling units creating a glow or flame installed in a garage must be raised on a stand so the glow or flame is minimum of 18" above the floor. Provide a protective barrier, 3" or larger steel pipe 30" high, concrete filled for hot water heater units and heating units in garage in line with car storage.
36. Water heaters having non-rigid water connections and over 4' in height shall be anchored or strapped.
37. Access doors to enclosed water heaters shall be a minimum of 24" wide.
38. No mechanical equipment shall be located in the side yard setback area which will not meet the minimum noise ordinance requirements (55 dcb's 1' inside adjacent properties at 3' to 5' above ground).
39. Furnace and water heater installations must comply with UMC and UPC requirements.
40. Fireplace gas valves must be located outside of the required hearth area but not more than 48".
41. All hose bibs must have an approved anti-siphon device.
42. Dryer vent 14' total length.
43. Provide 2 X 6 minimum wall construction where 3" ABS pipe is installed. Comply with requirements of UBC for notching requirements.

Note: Electrical, plumbing and mechanical work is not thoroughly checked on plan check review and will be subject to field inspection.

REV: February, 1998

## PERSONAL SAFETY BUILDING CODE

October 21, 1984

### MEMORANDUM

SUBJECT: Personal Safety Building Code

As of the date of this memo, all new dwellings, half-plexes, and duplexes must comply with the personal safety building code, to wit:

1. All building numbers and street addresses shall be clearly visible from all public or private access streets. The streets and building numbers shall be no less than four inches in height and of a contrasting color to their background.
2. All entry doors shall be of the solid core type and be equipped with a single cylinder deadbolt lock meeting the following minimum standards:
  - a) The bolt shall have a throw of at least one inch and be constructed so as to repel cutting tool attack.
  - b) The cylinder of the deadbolt shall be equipped with a guard designed to repel attack by prying or wrenching.
  - c) The deadbolt shall be of the pin tumbler type with a minimum of five pins for a maximum of two entry doors only. Additional entry doors may be fitted with keyless deadbolts.
  - d) Double cylinder deadbolt locks may be used only in accordance with the Uniform Fire Code.
3. Each exterior door hinge shall be secured with a minimum of two (2) number eight screws which must penetrate at least two (2) inches into solid backing beyond the frame to which the hinge is attached.
4. The strike plates designed to receive the deadbolt locks shall be constructed of a minimum 16 U.A. gauge steel, bronze or brass and shall be secured to a wood jamb with not less than two (2) number eight screws which must penetrate at least two (2) inches into solid backing beyond the surface to which the strike is attached. Strike plates attached to metal jambs shall be secured with a minimum of four (4) number eight machine screws.
5. Sliding door and window assemblies shall be so designed that the door or window cannot be lifted from the track when the door or window is in the closed position.
6. Sliding door assemblies shall have an auxiliary locking device permanently mounted on the interior and which is not accessible from the exterior.
7. All primary egress doors shall be so equipped as to provide the occupant with a clear view of that area immediately outside the door. This view may be provided by a one-way door viewer designed to provide a 180° field of view. Such viewer shall not be mounted in excess of 54 inches from the interior floor.

An additional requirement of this ordinance is that all above items are retroactive for all non-owner occupied living units (dwellings, half-plexes, duplexes, etc.) and must comply by June 1, 1985.

Ord. #84-056, Eff. 10-21-84  
Add to Chap. 9, Art. XXIII

# Mandatory Measures Checklist: Residential

MF-1R

NOTE: Lowrise residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. Items marked with an asterisk (\*) may be superseded by more stringent compliance requirements listed on the Certificate of Compliance. When this checklist is incorporated into the permit documents, the features noted shall be considered by all parties as binding minimum component performance specifications for the mandatory measures whether they are shown elsewhere in the documents or on this checklist only.

DESCRIPTION	DESIGNER	ENFORCEMENT
<b>Building Envelope Measures</b>		
* §150(a): Minimum R-19 ceiling insulation.	✓	
§150(b): Loose fill insulation manufacturer's labeled R-Value.	✓	
* §150(c): Minimum R-13 wall insulation in framed walls (does not apply to exterior mass walls).	✓	
* §150(d): Minimum R-13 raised floor insulation in framed floors; minimum R-8 in concrete raised floors.	<del>✓</del>	<del>✓</del>
§150(f): Slab edge insulation - water absorption rate no greater than 0.3%, water vapor transmission rate no greater than 2.0 perm/inch.	✓	
§118: Insulation specified or installed meets California Energy Commission quality standards. Indicate type and form.	✓	
§116-17: Fenestration Products, Exterior Doors and Infiltration/Exfiltration Controls		
a. Doors and windows between conditioned and unconditioned spaces designed to limit air leakage.		
b. Manufactured fenestration products have label with certified U-value, and infiltration certification.	✓	
c. Exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed.		
§150(g): Vapor barriers mandatory in Climate Zones 14 and 16 only.	✓	
§150(f): Special infiltration barrier installed to comply with §151 meets Commission quality standards.	✓	
§150(e): Installation of Fireplaces, Decorative Gas Appliances and Gas Logs		
1. Masonry and factory-built fireplaces have:		
a. Closeable metal or glass door		
b. Outside air intake with damper and control		
c. Flue damper and control.		
2. No continuous burning gas pilots allowed.		
<b>Space Conditioning, Water Heating and Plumbing System Measures</b>		
§110-13: HVAC equipment, water heaters, showerheads and faucets certified by the Commission.	✓	
§150(i): Setback thermostat on all applicable heating systems.	✓	
§150(j): Pipe and Tank Insulation		
1. Indirect hot water tanks (e.g., unfired storage tanks or backup solar hot water tanks) have insulation blanket (R-12 or greater) or combined interior/exterior insulation (R-16 or greater).		
2. First 5 feet of pipes closest to water heater tank, non-recirculating systems, insulated (R-4 or greater).		
3. All buried or exposed piping insulated in recirculating sections of hot water system.		
4. Cooling system piping below 55°F insulated.		
5. Piping insulated between heating source and indirect hot water tank.	✓	
* §150(m): Ducts and Fans		
1. Ducts constructed, installed and sealed to comply with UMC Sections 1002 and 1004; ducts insulated to a minimum installed value of R-4.2 or ducts enclosed entirely within conditioned space.		
2. Exhaust fan systems have backdraft or automatic dampers		
3. Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers.	✓	
§114: Pool and Spa Heating Systems and Equipment		
1. System is certified with 78% thermal efficiency, on-off switch, weatherproof operating instructions, no electric resistance heating and no pilot light.		
2. System is installed with:		
a. At least 3/4" pipe between filter and heater for future solar heating.		
b. Cover for outdoor pools or outdoor spa.		
3. Pool system has directional inlets and a circulation pump time switch.		
§115: Gas-fired central furnace, pool heater, spa heater or household cooking appliance have no continuously burning pilot light. (Exception: Non-electrical cooking appliance with pilot < 150 Btu/hr.)		
<b>Lighting Measures</b>		
§150(k): 40 lumens/watt or greater for general lighting in kitchens and rooms with water closets; and recessed ceiling fixtures IC (insulation cover) approved.	✓	